PROJECT INFORMATION

Site Address:
4302 Ford Road
Newport Beach, CA 92660

CONTACT:

OWNERSHIP
HINES
4000 MacArthur Boulevard, Suite 110
Newport Beach, CA 92660
Contact: Tom Lawless
Phone: 949 313 2206

LANDSCAPE
landLAB
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San Diego, CA 92109
Contact: Neil Hadley
Phone: 858.483.9817

ARCHITECT
MVE+PARTNERS
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Irvine, CA 92614
Contact: Pieter Berger
Phone: 949.809.3388

CIVIL
PSOMAS
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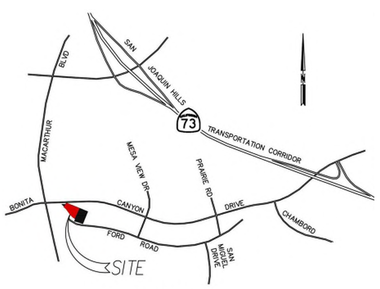
Santa Ana, CA 92707
Contact: Steven M. Zehner
Phone: 714.481.7994



VICINITY MAP
NTS

ZONE

ADDRESS:	Ford Road Newport Beach, CA
APN:	Parcel 1 458-361-02 & 458-361-10
Zone:	RM
Designation:	Multiple Residential Zoning District
FAR:	1.75
Site Area:	45,906 (1.054 AC)
Buildable Area:	33,569 SF

LEGAL DESCRIPTION

PARCEL A:

PARCEL 1, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 65, RECORDER OF ORANGE COUNTY, CALIFORNIA.

EXCEPT THEREFROM THAT PORTION DESCRIBED AS PARCEL 300180 IN THAT CERTAIN FINAL ORDER OF CONDEMNATION, SUPERIOR COURT CASE 737614, A CERTIFIED COPY OF WHICH WAS RECORDED NOVEMBER 27, 1995 AS INSTRUMENT NO. 19950521235, OR OFFICIAL RECORD OF SAID ORANGE COUNTY.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE PARCEL OF LAND HEREINABOVE DESCRIBED, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFORE AND STORING IN AND REMOVING THE SAME FROM SAID LAND OR ANY OTHER LAND, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM LANDS OTHER THAN THOSE HEREINABOVE DESCRIBED, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO THROUGH OR ACROSS THE SUBSURFACE OR THE LAND HEREINABOVE DESCRIBED AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNEL AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, SORE, EXPLORE OR OPERATE THROUGH THE SURFACE OR THE UPPER 500 FEET OF THE SUBSURFACE OF THE LAND HEREINABOVE DESCRIBED, AS RESERVED BY THE IRVINE COMPANY IN DEED RECORDED JUNE 4, 1974 IN BOOK 11161, PAGE 177, OF SAID OFFICIAL RECORDS.

PROJECT DESCRIPTION

This Project Description and Justification is for the proposed multi-family residential project located at 4302 Ford Road, Newport Beach, CA 92660. The project will comprise of 21 dwelling units housed within a 2-3 story above grade building over 1 level of below grade parking. The project goal is to deliver dwelling units for downsizing families within the surrounding neighborhoods. The 21 dwelling units will benefit from custom home amenity features such as a pool and spa, a pool house with dining and BBQ areas, a club room, and a 3rd story amenity deck taking in sweeping views from North Orange County to Saddleback Mountain.

The project design recalls architecture prevalent in the adjacent Port Streets neighborhood. The interplay between cedar shingles and clapboard siding will make up the exterior material palette in a more traditional take on architecture. Wood shutters, expansive decks, and eyebrow window rooftop dormers will all add additional character details to the design. Finally, iconic corner Lighthouse forms will connect the building as a nautical theme that ties into the Port concept of the adjacent neighborhood.

LOT AREA :

Site Area:	45,906 SF (1.054 AC)
Buildable Area:	33,569 SF
Allowable Floor Area Limit:	58,746 SF (1.75 FAR)

SETBACKS

REQUIRED	**(20.18.020)**
Front:	20'-0"
Side:	3'-0" (-/= 40'-0" Lot) 4'-0" (40'-0" - 49'-11" Lot) 8% of average lot width (=/+ 50"-0" Lot)
Rear:	10'-0"

PROPOSED	
Front:	20'-0"
Side:	10'-0" to 12'-0"
Rear:	10'-0"

FLOOR AREA LIMIT

Allowed Gross Area = Allowed Buildable Area x Allowed FAR (33,569 SF x 1.75) :	1.75 FAR 58,746 SF
Total Proposed Floor Area	* 48,574 SF

* Excluded stairwells and elevator shafts above the first level, level B1 parking garage and balconies.

RESIDENTIAL DENSITY

Allowable Unit # :	45,906 sf / 1,200 sf = 38.255 UNITS
Proposed:	21 units

DWELLING UNITS

Dwelling Units Proposed:

2BR/2.5BA	5	24%
3BR/2.5BA	6	28%
3BR/3.0BA	5	24%
4BR/3.0BA	5	24%
	21 DU	**100%**

1,825 SF AVG.
Saleable *38,346 sf*

PARKING

REQUIRED
Residential
2.5 Stalls/Units : 2.5 x 21 — 52.5 Spaces

Total Required : **53 Parking Spaces**

PROPOSED
Residential
13 Standard Prime Spaces
13 Guest Spaces
3 ADA Spaces
26 Tandem Spaces
Total Proposed : **55 Total Spaces**

HEIGHT

Flat Roof:	28'-0"
with Height Increase:	32'-0"
Sloped Roof:	33'-0"
with Height Increase:	37'-0"

(Measured as the vertical distance from the established grade of the pad to the highest part of the structure.* (20.30.060.B.2)
(Increase in Height Limit - 20.30.0600.C.2)

OPEN SPACE

REQUIRED	**UNIT COUNT**	**OPEN SPACE**
Minimum 75 SF/Units	21 Units	1,575 sf
Total Open Space Required	**21 Units**	**1,575 sf**

PROPOSED	
Pool Deck & Courtyard:	6,536 sf
Roof Deck:	735 sf
Landscape/Hardscape Area	16,210 sf
Total Common Open Space	**23,481 sf**
Amenity Room:	1,829 sf
Private Balcony/Decks on Podium Level	7,372 sf
Total Proposed Open Space	**32,681 sf**

PRIVATE OPEN SPACE

REQUIRED	**Total Gross Area**	**OPEN SPACE**
5% of the gross floor area for each unit with minimum dimension of 6 feet	38,343 SF	1,917 sf
Total Private Open Space Required	**21 Units**	**1,917 sf**

Total Proposed Private Open Space **7,372 sf** **19%**

Level 1	Level 1		
UNIT A1	1,433 SF	596 SF	40%
UNIT A1	1,433 SF	596 SF	40%
UNIT B1	2,078 SF	949 SF	45%
UNIT B2	1,746 SF	275 SF	25%
UNIT C1	2,120 SF	1,061 SF	50%
UNIT C2	2,269 SF	721 SF	30%
UNIT C2	2,277 SF	721 SF	30%
	13,357 SF	4,919 SF	38%

Level 2	Level 2		
UNIT A1	1,433 SF	188 SF	14%
UNIT A1	1,433 SF	188 SF	14%
UNIT A2	1,410 SF	188 SF	14%
UNIT B1	2,078 SF	179 SF	8%
UNIT B2	1,746 SF	188 SF	11%
UNIT C1	2,120 SF	106 SF	5%
UNIT C2	2,269 SF	188 SF	9%
UNIT C2	2,277 SF	188 SF	9%
	14,767 SF	1,414 SF	10%

Level 3	Level 3		
UNIT A1	1,431 SF	188 SF	14%
UNIT A1	1,445 SF	188 SF	14%
UNIT A2	1,410 SF	188 SF	14%
UNIT B1	2,088 SF	179 SF	8%
UNIT B2	1,746 SF	188 SF	11%
UNIT C1	2,086 SF	106 SF	5%
	10,205 SF	1,038 SF	11%
	38,329 SF	7,372 SF	19%

Hines
4000 MacArthur Boulevard, Suite 110, Newport Beach, CA 92660
TELEPHONE: (949) 313-2206 M: (774) 239-6123
Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE
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SHEET TITLE
COVER SHEET

SHEET NUMBER
A0.00

JOB NO. 2015.10197
DATE 2019-04-08
SCALE

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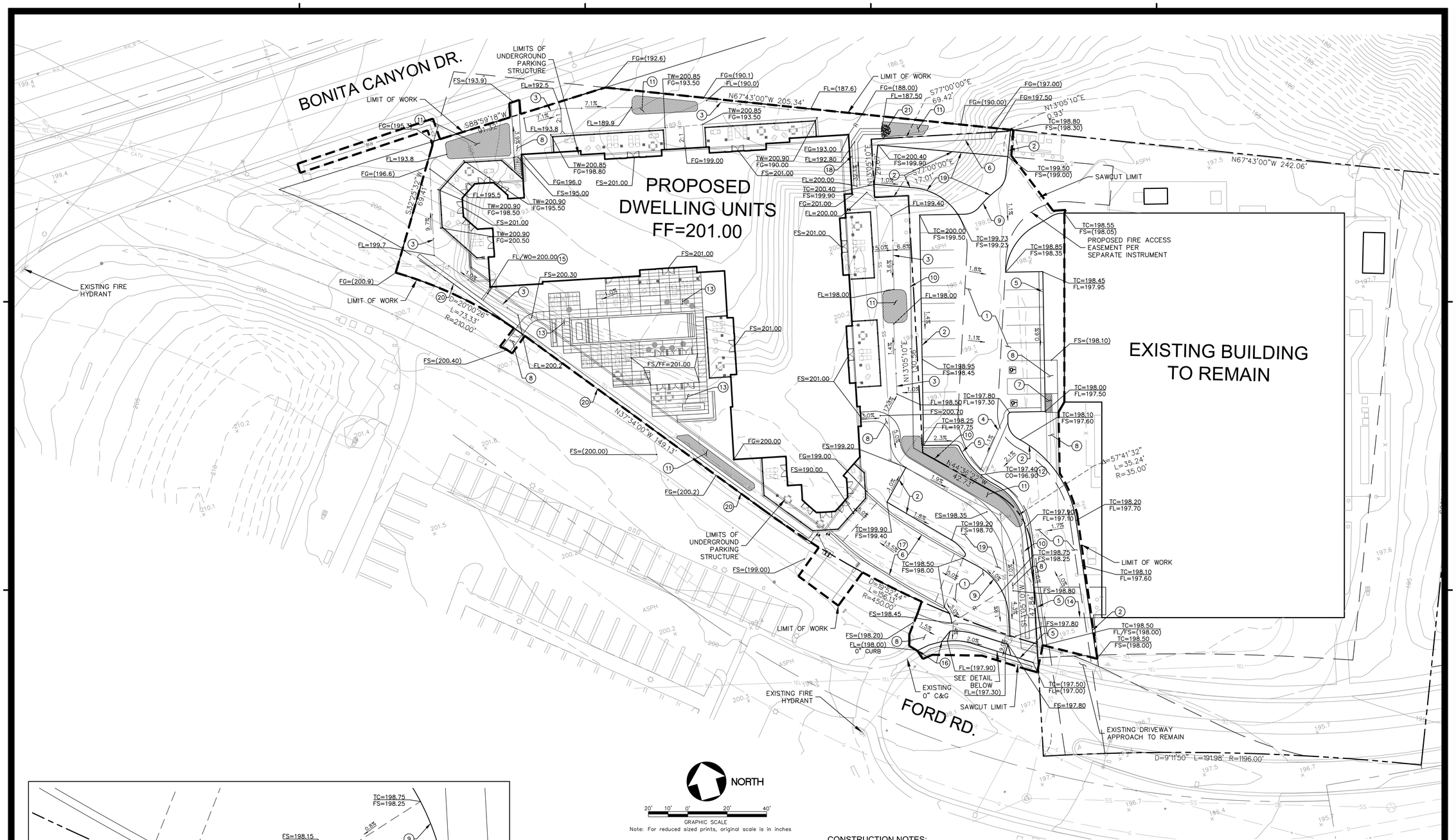
Site Development Review Resubmittal_ 2019-04-08

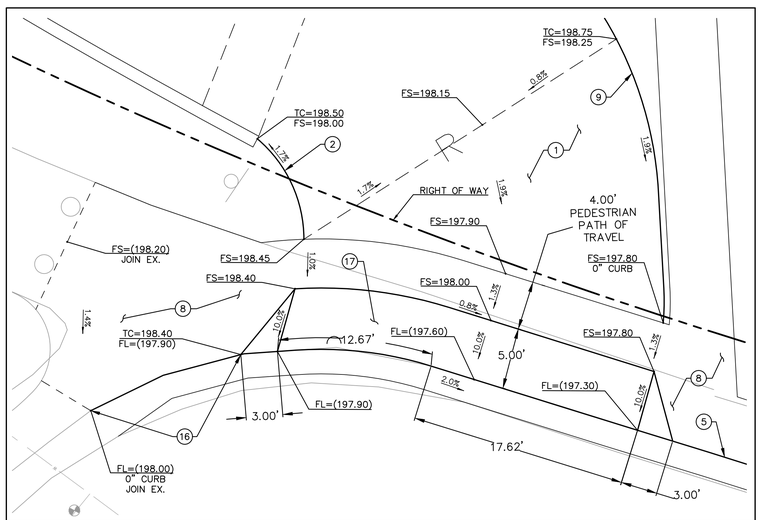


NORTH

20' 10' 0' 20' 40'

GRAPHIC SCALE

Note: For reduced sized prints, original scale is in inches



DRIVEWAY APPROACH DETAIL

SCALE: 1"=5'

CONSTRUCTION NOTES:

1. ASPHALT PAVEMENT.
2. 6-INCH CURB TYPE "B" PER CITY OF NEWPORT BEACH STANDARD DRAWING STD-182-L.
3. FLOWLINE
4. V-GUTTER
5. CURB AND GUTTER TYPE "A" PER CITY OF NEWPORT BEACH STANDARD DRAWING STD-182-L.
6. RETAINING WALL.
7. DETECTABLE WARNING SURFACE.
8. SIDEWALK PER CITY OF NEWPORT BEACH STANDARD DRAWING STD-180-L.
9. 6-INCH MOUNTABLE CURB TYPE "D" PER CITY OF NEWPORT BEACH STANDARD DRAWING STD-183-L.
10. CHAINLINK FENCE.
11. PROPOSED INFILTRATION BASIN.
12. CURB OPENING
13. PAVERS.
14. GATE PER ARCHITECTURAL PLANS SHEET A0.40
15. WALL OPENING
16. 6" TO 0" CURB AND GUTTER TRANSITION
17. DRIVEWAY APPROACH TYPE I PER CITY OF NEWPORT BEACH STANDARD DRAWING STD-160-L-A AND STD-160-L-C.
18. DOWNDRAIN
19. GRASSCRETE PAVING.
20. SCREEN WALL.
21. RIPRAP

NOTE: STANDARD PLANS REFERENCED HEREON ARE PRELIMINARY ONLY. ALL CITY OF NEWPORT, ORANGE COUNTY & GREENBOOK STANDARD PLANS APPLY TO THIS PROJECT.

LEGEND

SD	STORM DRAIN PIPE
W	WATER LINE
SS	SANITARY SEWER LINE
FW	FIRE WATER LINE
IW	IRRIGATION LINE
SS	SANITARY SEWER LINE
T	TELECOMMUNICATION LINE
G	GAS LINE
E	ELECTRIC LINE
	FLOWLINE
	PROPERTY LINE
	SETBACK
	EASEMENT
	LIMIT OF WORK
R	RIDGE LINE
38.55 FS	PROPOSED GRADE CALLOUT
(38.55) FS	EXISTING GRADE CALLOUT
200	EXISTING CONTOUR
200	PROPOSED CONTOUR

PLANS PREPARED BY:
PSOMAS
3 HUTTON CENTRE DRIVE, SUITE 200
SANTA ANA, CA 92707
(714) 751-7373 Fax (714) 545-8883

Hines

ADDRESS
TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE

SHEET TITLE

PRELIMINARY GRADING

SHEET NUMBER	JOB NO.
C-1	2015.10197
	DATE 2019.04-05
	SCALE As indicated

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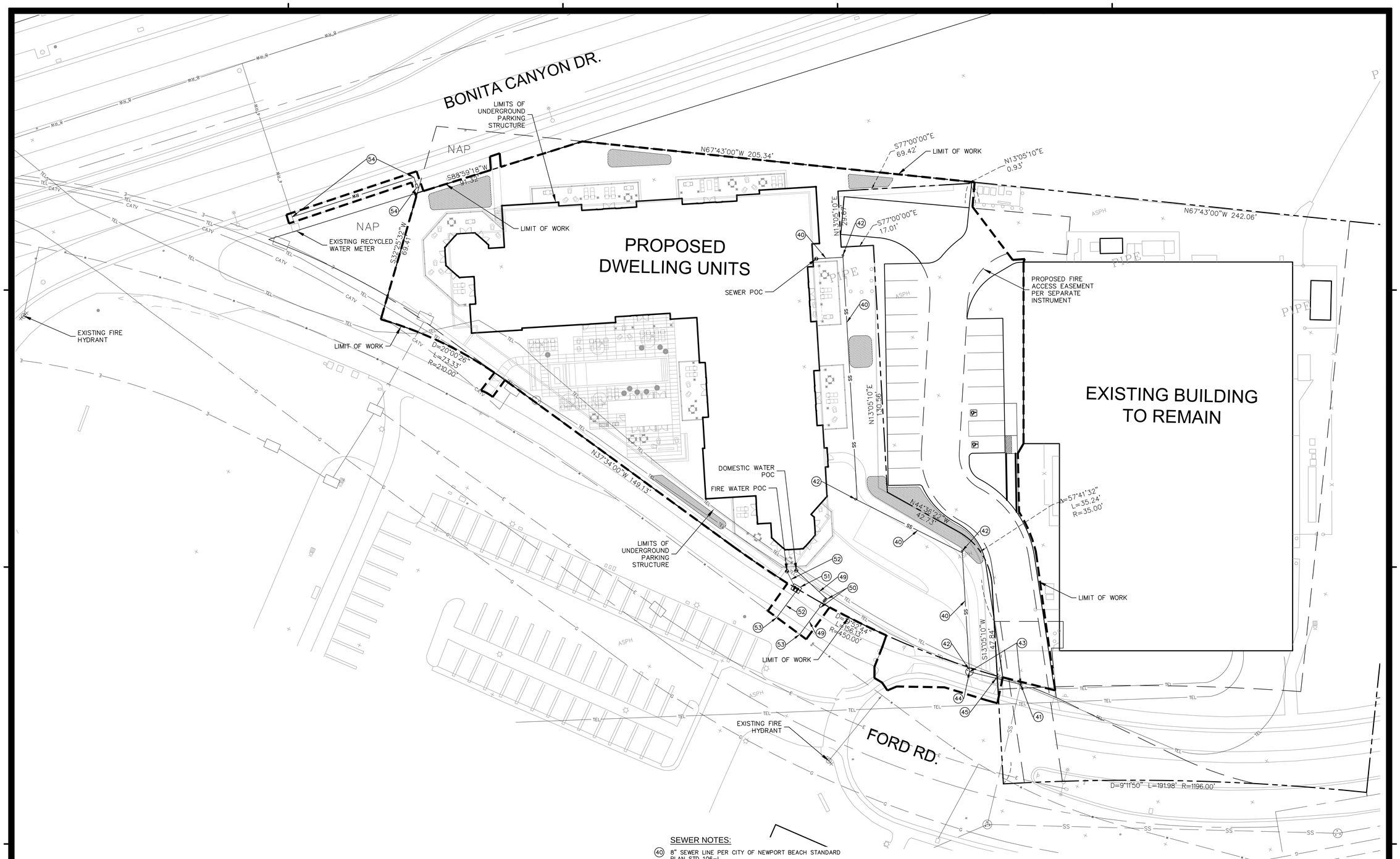

SEWER NOTES:

(40) 8" SEWER LINE PER CITY OF NEWPORT BEACH STANDARD PLAN STD 106-L.

(41) CONNECT TO EXISTING SEWER CLEANOUT.

(42) SEWER CLEANOUT PER CITY OF NEWPORT BEACH STANDARD DRAWING STD. 406-L.

(43) 8" SEWER LATERAL PER CITY OF NEWPORT BEACH STANDARD DRAWING STD. 406-L.

(44) SEWER MANHOLE PER CITY OF NEWPORT BEACH STANDARD DRAWING STD. 401-L.

(45) INSTALL SEWER CLEANOUT WITH 12" LID PER CITY OF NEWPORT STANDARD DRAWING STD. 400-L

WATER NOTES:

(49) 3" DOMESTIC WATER MAIN. BEDDING PER CITY OF NEWPORT BEACH STANDARD PLAN STD 160-L. 42" MINIMUM COVER.

(50) 3" REDUCED PRESSURE BACKFLOW ASSEMBLY AND METER PER CITY OF NEWPORT BEACH STANDARD DRAWING STD. 520-L-B.

(51) 6" DOUBLE CHECK DECTOR BACKFLOW ASSEMBLY PER CITY OF NEWPORT BEACH STANDARD DRAWING STD. 517-L.

(52) 6" FIRE WATER MAIN. BEDDING PER CITY OF NEWPORT BEACH STANDARD PLAN STD 160-L. 42" MINIMUM COVER.

(53) WATERLINE TAP TO EXISTING MAIN PER CITY OF NEWPORT BEACH STANDARD PLAN STD 507-L.

(54) 1" RECYCLED WATER SERVICE AND METER PER IRWD STD. DWGS. W-2 AND W-3.

NOTE: PROPOSED SIZES OF UTILITIES ARE PRELIMINARY ONLY AND SHALL BE SIZED BASED ON THE REQUIRED DEMAND AND INTERIOR PLUMBING DESIGN.

NOTE: STANDARD PLANS REFERENCED HEREON ARE PRELIMINARY ONLY. ALL CITY OF NEWPORT, ORANGE COUNTY & GREENBOOK STANDARD PLANS APPLY TO THIS PROJECT.

NOTE: DOMESTIC AND FIRE ASSEMBLY TO BE INSTALLED ABOVE GROUND. NO UNDERGROUND VAULTS SHALL BE INSTALLED PER CITY OF NEWPORT REQUIREMENTS.

LEGEND

W	WATER LINE
SS	SANITARY SEWER LINE
FW	FIRE WATER LINE
T	TELECOMMUNICATION LINE
G	GAS LINE
E	ELECTRIC LINE
	FLOWLINE
	PROPERTY LINE
	SETBACK
	EASEMENT
	LIMIT OF WORK

NORTH

20' 10' 0' 20' 40'

GRAPHIC SCALE

Note: For reduced sized prints, original scale is in inches

PLANS PREPARED BY:

PSOMAS

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(714) 751-7373 Fax (714) 545-8883

Hines

ADDRESS
TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE

SHEET TITLE

PRELIMINARY UTILITIES

SHEET NUMBER	JOB NO.
C-2	2015.10197
	DATE 2019.04-05
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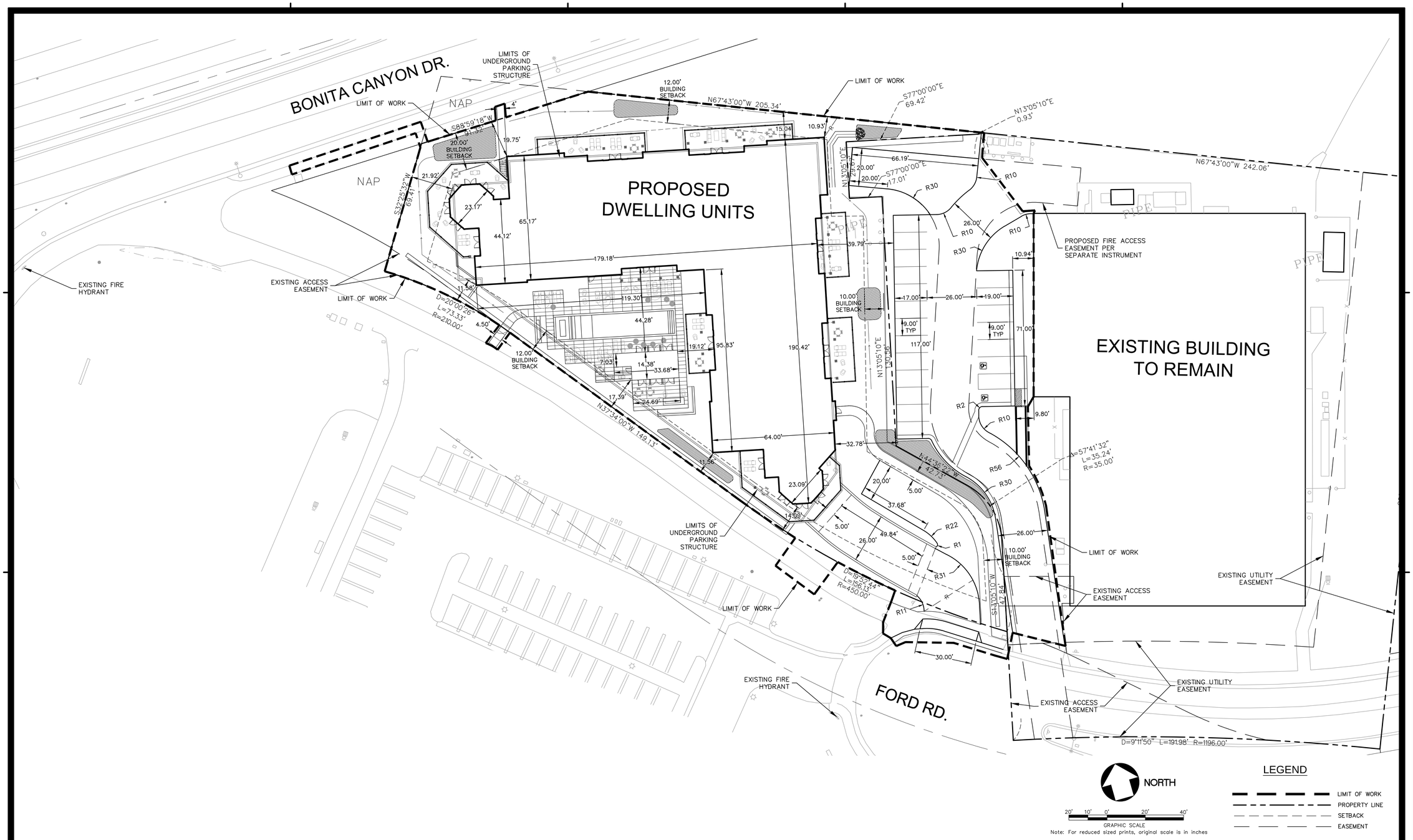

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TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

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SHEET TITLE

PRELIMINARY HORIZONTAL CONTROL

SHEET NUMBER

C-3

JOB NO. 2015.10197
DATE 2019.04-05
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Entitlement Set Progress_2019-04-05

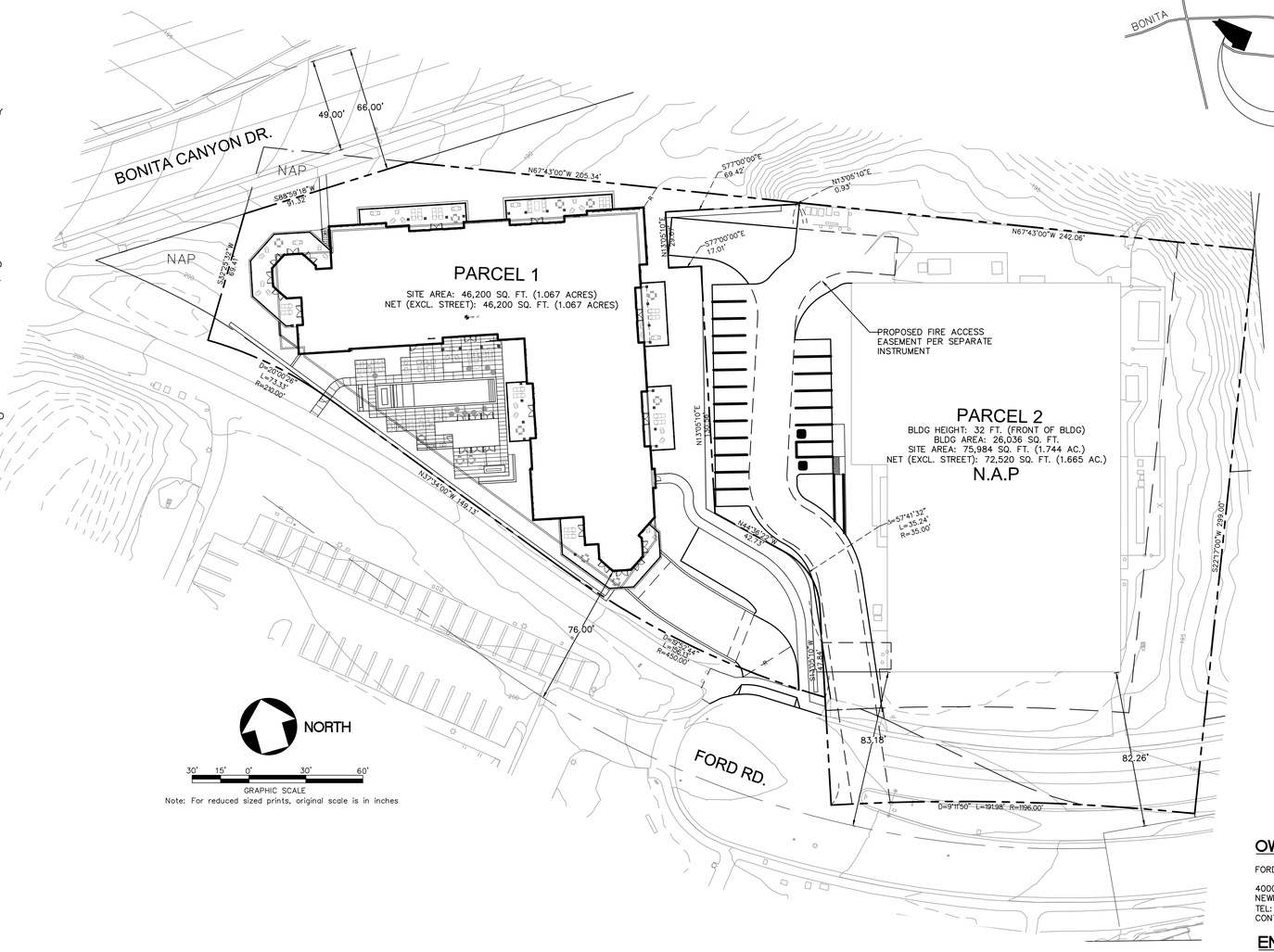
VESTING TENTATIVE TRACT MAP NO. 18144

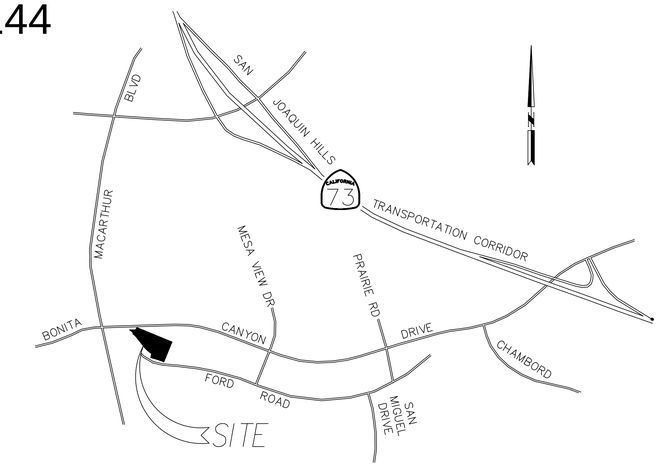
IN THE CITY OF NEWPORT, COUNTY OF ORANGE, STATE OF CALIFORNIA
(FOR CONDOMINIUM PURPOSES)

PARCEL 1, AS SHOWN ON A PARCEL MAP NO. 16760 FILED IN BOOK 65, PAGE 4 OF PARCEL MAPS
IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

NOTES:

1. EXISTING LAND USE: VACANT
   PROPOSED LAND USE: RESIDENTIAL DWELLING UNITS
   EXISTING ZONING: PF (PUBLIC FACILITIES)
   PROPOSED ZONING:
   LOCATED IN THE PC-50 (BONITA CANYON) PLANNED COMMUNITY
2. ADJACENT ZONING/LAND USE:
   NORTH: MISCELLANEOUS (VACANT)
   SOUTH: PF (PUBLIC FACILITIES)
   EAST: OFFICE
   WEST: MISCELLANEOUS (VACANT)
3. PROPOSED UTILITIES TO BE:
   UNDERGROUND ELECTRICAL: SOUTHERN CALIFORNIA EDISON COMPANY
   GAS: SOUTHERN CALIFORNIA GAS COMPANY
   TELEPHONE: AT&T
   CABLE TELEVISION: COX CABLE
   DOMESTIC WATER, RECLAIMED WATER AND SANITARY SEWER: IRVINE RANCH WATER DISTRICT
4. ACREAGE:
   SITE GROSS ACREAGE: 1.067 ACRES (PARCEL 1)
5. DRAINAGE ON THIS SITE WILL BE CONVEYED VIA SURFACE DRAINAGE TO INFILTRATION BASINS.
6. THE TOTAL NUMBER OF MULTI-FAMILY DWELLING UNITS PROPOSED FOR THIS TENTATIVE TRACT MAP: 21
7. PROPOSED WATER FACILITIES: STANDARD DOMESTIC CONNECTIONS TO EXISTING WATER SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY OF NEWPORT STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF WATER, SEWER AND RECLAIMED WATER FACILITIES.
8. PROPOSED SEWER FACILITIES: STANDARD CONNECTIONS TO EXISTING SEWER SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY OF NEWPORT STANDARDS SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER FACILITIES.
9. DRAINAGE FACILITIES TO BE DESIGNED IN ACCORDANCE WITH THE CITY OF NEWPORT STANDARDS
10. SUBJECT PROPERTY IS LOCATED IN ZONE X OTHER FLOOD HAZARD AREAS: AREA BEING PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD HAZARD BY A LEVEE SYSTEM. FLOOD INFORMATION WAS TAKEN FROM FLOOD INSURANCE RATE MAP NO. 06059C0288J, DATED DECEMBER 03, 2009.





VICINITY MAP

NTS

STATEMENT OF OWNERSHIP

WE, DO HEREBY STATE THAT WE ARE THE OWNERS OF THE PROPERTY COMPRISING THIS TENTATIVE MAP, AND WE HAVE CONSENTED TO THE SUBMISSION OF SAID MAP.

BY: _____ _____
RAY LAWLER DATE
FORD ROAD HOLDINGS LP

UTILITY PURVEYORS:

STORM DRAIN: CITY OF NEWPORT
DEPARTMENT OF PUBLIC WORKS
CONTACT:
100 CIVIC CENTER DRIVE
NEWPORT BEACH CA, 92660
TEL: (949) 644-3311

SEWER/WATER CITY OF NEWPORT
DEPARTMENT OF PUBLIC WORKS
CONTACT:
100 CIVIC CENTER DRIVE
NEWPORT BEACH CA, 92660
TEL: (949) 644-3311

ELECTRICAL: SOUTHERN CALIFORNIA EDISON COMPANY
CONTACT: MICHAEL BEHL
1444 E. McFADDEN AVENUE
SANTA ANA, CA 92705
TEL: (714) 796-9931
FAX: (714) 796-9999

TELEPHONE/DATA: AT&T ENGINEERING
CONTACT: ERNEST ESTACIO
3939 CORONADO ST. 2ND FLOOR
ANAHEIM, CA 92807
TEL: (714) 575-8452
FAX:

GAS: SOUTHERN CALIFORNIA GAS COMPANY
CONTACT: DAVE BALDWIN
1919 SOUTH STATE COLLEGE BLVD.
ANAHEIM CA. 92806
TEL: (714) 634-3267
FAX:

CABLE: COX COMMUNICATIONS
CONTACT: CHARLES NEVEL
29947 AVENIDA DE LAS BANDERAS
RANCHO SANTA MARGARITA, CA 92688
TEL: (949) 546-2810
FAX: (949) 546-3810

OWNER

FORD ROAD HOLDINGS LP

4000 MACARTHUR BLVD., SUIT 110
NEWPORT BEACH, CA 92660
TEL: (949) 313-2200
CONTACT: TOM LAWLESS

ENGINEER:

PSOMAS
3 HUTTON CENTRE DRIVE, SUITE 200
SANTA ANA, CA 92707
TEL:
CONTACT: BOB TALAFUS

PROJECT ADDRESS:

4302 FORD ROAD
NEWPORT BEACH, CA 92660

SHEET INDEX

TITLE SHEET & NOTES	1
EXISTING SITE	2

PLANS PREPARED BY:
PSOMAS
3 HUTTON CENTRE DRIVE, SUITE 200
SANTA ANA, CA 92707
(714) 751-7373 Fax (714) 545-8883

Hines

ADDRESS
TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE
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SHEET TITLE
VESTING TENTATIVE TRACT MAP TITLE SHEET

SHEET NUMBER
VTM-1

JOB NO. 2015.10197
DATE 2019.04-05
SCALE As indicated

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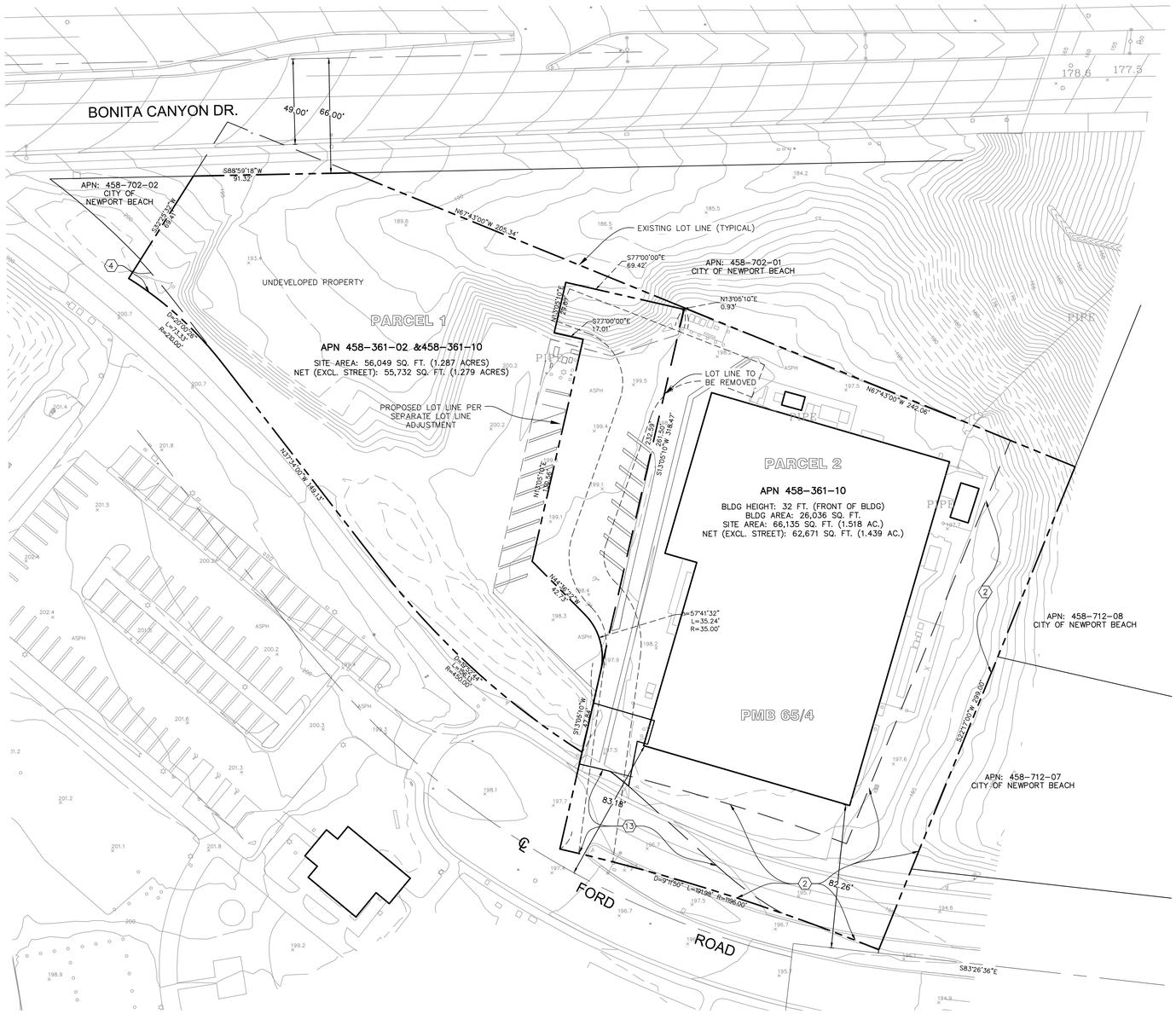

FIDELITY NATIONAL TITLE COMPANY
PRELIMINARY REPORT ORDER NO. 997-23046485-A-TC1
DATED SEPTEMBER 18, 2014

LEGAL DESCRIPTION

PARCEL A:

PARCEL 1, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 65, PAGE 4, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

EXCEPT THEREFROM THAT PORTION DESCRIBED AS PARCEL 300180 IN THAT CERTAIN FINAL ORDER OF CONDEMNATION, SUPERIOR COURT CASE 737614, A CERTIFIED COPY OF WHICH WAS RECORDED NOVEMBER 27, 1995 AS INSTRUMENT NO. 19950521235, OF OFFICIAL RECORDS OF SAID ORANGE COUNTY.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE PARCEL OF LAND HEREINABOVE DESCRIBED, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFORE AND STORING IN AND REMOVING THE SAME FROM SAID LAND OR ANY OTHER LAND, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM LANDS OTHER THAN THOSE HEREINABOVE DESCRIBED, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTOK THROUGH OR ACROSS THE SUBSURFACE OF THE LAND HEREINABOVE DESCRIBED AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, SORE, EXPLORE OR OPERATE THROUGH THE SURFACE OR THE UPPER 500 FEET OF THE SUBSURFACE OF THE LAND HEREINABOVE DESCRIBED, AS RESERVED BY THE IRVINE COMPANY IN DEED RECORDED JUNE 4, 1974 IN BOOK 11161, PAGE 177, OF SAID OFFICIAL RECORDS.

APN: 458-361-10

PARCEL B:

PARCEL 2 OF PARCEL MAP NO. 16760, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 65, PAGE 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNT RECORDER OF SAID COUNTY.

APN: 458-361-02; 458-361-10

SCHEDULE B EXCEPTIONS

ITEM 1 REFERS TO WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

ITEM (2) REFERS TO COVENANTS, CONDITIONS, AND RESTRICTIONS AND EASEMENTS AS SET FORTH IN A DOCUMENT RECORDED JUNE 12, 1964 IN BOOK 7085 PAGE 258 OF OFFICIAL RECORDS

ITEM 3 REFERS TO COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED JUNE 4, 1974 IN BOOK 11161 PAGE 177 OF OFFICIAL RECORDS

ITEM (4) REFERS TO AN EASEMENT TO THE CITY OF IRVINE FOR STREET AND HIGHWAY PURPOSES AS GRANTED IN A DOCUMENT RECORDED MAY 1, 1979 IN BOOK 13127 PAGE 1776 OF OFFICIAL RECORDS

ITEM 5 REFERS TO MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "ANNEXATION AND DEVELOPMENT"

ITEM 6 REFERS TO ANY LIENS AND ENCUMBRANCES, INCLUDING BONDED TRUST INDENTURES, MADE OR SUFFERED BY PACIFIC BELL TELEPHONE

ITEM 7 REFERS TO ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, THE SUBJECT PROPERTY, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS

ITEM 8 REFERS TO ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT

ITEM 9 REFERS TO MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY THIS ALTA/ACSM LAND TITLE SURVEY AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF

ITEM 10 REFERS TO TITLE COMPANY REQUIREMENTS

ITEM 11 REFERS TO

ITEM 12 REFERS TO MATTERS WHICH MAY BE DISCLOSED BY AN OWNER'S AFFIDAVIT OR DECLARATION.

ITEM (13) REFERS TO EASEMENT TO THE CITY OF NEWPORT BEACH FOR STREET AND HIGHWAY PURPOSES AS GRANTED IN A DOCUMENT RECORDED DECEMBER 17, 1970 IN BOOK 9493, PAGE 363 OF OFFICIAL RECORDS
AFFECTS A PORTION OF PARCEL B.

(#) INDICATES PARKING SPACES

(HC) INDICATES HANDICAP PARKING SPACE

BASIS OF BEARINGS/RECORD DATA NOTE
THE EASTERLY LINE OF PARCEL 2 SHOWN AS S22°17'00"W PER PARCEL MAP NO. 238, P.M.B. 65/4 WAS HELD AS THE BASIS OF BEARINGS FOR THIS MAP.

MONUMENT NOTES
● INDICATES MONUMENT FOUND AS NOTED

BOUNDARY ESTABLISHMENT
THE PROPERTY LINES SHOWN HEREON OF PARCELS 1 AND 2 OF PARCEL MAP FILED IN BOOK 65 PAGE 4 OF PARCEL MAPS , WERE ESTABLISHED FROM RECORD INFORMATION PER SAID PARCEL MAP BY A SURVEY THROUGH FOUND MONUMENTS. THE EXCEPTION TO SAID PARCEL 1 WAS CALCULATED FROM RECORD OF SURVEY NO. 96-1029 FILED IN BOOK 161 PAGE 1 THROUGH 5 OF RECORDS OF SURVEY OF ORANGE COUNTY

NOTES:
FLOOD ZONE: X
ZONING: PF (PUBLIC FACILITIES)

MINIMUM SETBACK REQUIREMENTS
AS SET FORTH IN A SPECIAL CASE FILE AVAILABLE AT THE CITY.

ENCROACHMENTS
NONE OBSERVED

PARKING TABULATION

REGULAR/COMPACT	20
HANDICAPPED	2
TOTAL	22

TABLE A NOTES

ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

ITEM 17 THERE ARE NO PURPOSED CHANGES IN THE STREET RIGHT OF WAY LINES (PER CITY OF INDUSTRY). THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

ITEM 18 THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP.

ITEM 19 THERE ARE NO WETLAND AREAS, AS DELINEATED BY APPROPRIATE AUTHORITIES, ON THIS SITE.

PLANS PREPARED BY:
PSOMAS
3 HUTTON CENTRE DRIVE, SUITE 200
SANTA ANA, CA 92707
(714) 751-7373 Fax (714) 545-8883

Hines

ADDRESS
TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE
1		
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SHEET TITLE
VESTING TENTATIVE
TRACT MAP
EXISTING CONDITION

SHEET NUMBER
VTM-2

JOB NO. 2015.10197
DATE 2019.04-05
SCALE As indicated

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TELEPHONE: (

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Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE
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SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
L0.10

JOB NO. 2015.10197
DATE 2017.10-13
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SHEET TITLE
SITE PLAN

SHEET NUMBER
L0.20

JOB NO. 2015.10197
DATE 2017.10-13
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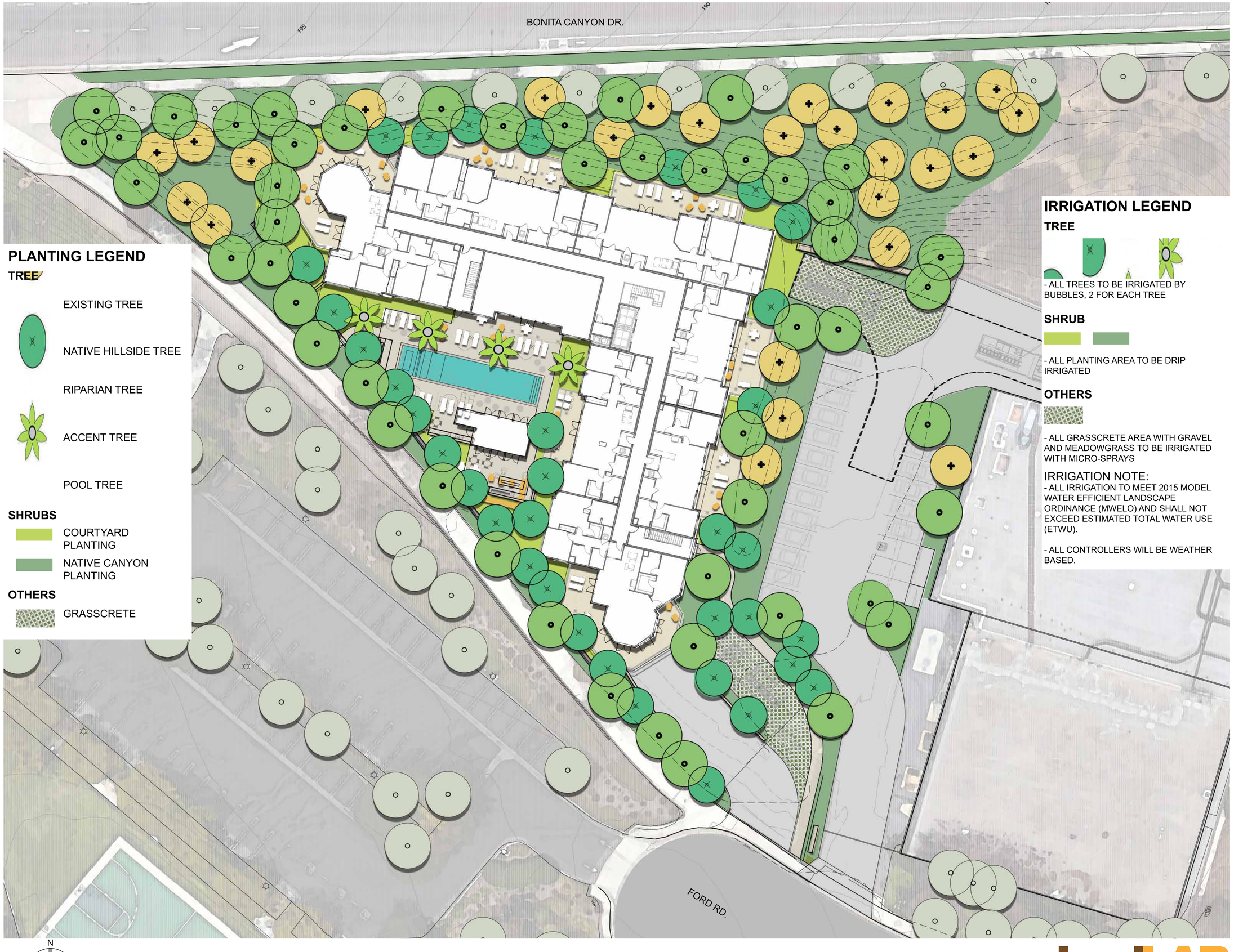

PLANTING LEGEND

TREE

- EXISTING TREE
- NATIVE HILLSIDE TREE
- RIPARIAN TREE
- ACCENT TREE
- POOL TREE

SHRUBS

- COURTYARD PLANTING
- NATIVE CANYON PLANTING

OTHERS

- GRASSCRETE

IRRIGATION LEGEND

TREE

- ALL TREES TO BE IRRIGATED BY BUBBLES, 2 FOR EACH TREE

SHRUB

- ALL PLANTING AREA TO BE DRIP IRRIGATED

OTHERS

- ALL GRASSCRETE AREA WITH GRAVEL AND MEADOWGRASS TO BE IRRIGATED WITH MICRO-SPRAYS

IRRIGATION NOTE:

- ALL IRRIGATION TO MEET 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) AND SHALL NOT EXCEED ESTIMATED TOTAL WATER USE (ETWU).

- ALL CONTROLLERS WILL BE WEATHER BASED.

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SHEET TITLE
PLANTING AND IRRIGATION PLAN

SHEET NUMBER
L0.30

JOB NO. 2015.10197
DATE 2017.10-13
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Entitlement Set Progress_2017-10-24

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	FORM	WATER	BOX SIZE REQ.	PAVING OFFSET
	TREES						
	OLEA EUROPAEA 'WILSONII'	FRUITLESS OLIVE TREE	24" BOX 36" BOX 48" BOX	STANDARD & LOW BRANCHING	LOW	7-10'T/6-7'W	SEE PLANS
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX 36" BOX 48" BOX	STANDARD & LOW BRANCHING	LOW	7-10'T/6-7'W	SEE PLANS
	PHOENIX DACTYLIFERA 'MEDJOOL'	MEDJOOL DATE PALM	15' BTH	SINGLE			SEE PLANS
	PLATANUS MEXICANA	MEXICAN SYCAMORE	24" BOX 36" BOX 48" BOX	STANDARD & NATURAL		8-10'T/4-5'W	SEE PLANS
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX 36" BOX 48" BOX	STANDARD & NATURAL		8-10'T/4-5'W	SEE PLANS
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX 36" BOX 48" BOX	NATURAL	LOW	8-10'T/6-7'W 11-14'T/7-8'W 14-16'T/8-9W	SEE PLANS
	QUERCUS ENGELMANNII	ENGELMANN OAK	24" BOX 36" BOX 48" BOX	NATURAL	LOW	8-10'T/6-7'W 11-14'T/7-8'W 14-16'T/8-9W	SEE PLANS
	QUERCUS ILEX	HOLLY OAK	24" BOX 36" BOX 48" BOX	NATURAL	LOW	8-10'T/6-7'W 11-14'T/7-8'W 14-16'T/8-9W	SEE PLANS
	QUERCUS LOBATA	VALLEY OAK	24" BOX 36" BOX 48" BOX	NATURAL	LOW	8-10'T/6-7'W 11-14'T/7-8'W 14-16'T/8-9W	SEE PLANS
	EXISTING TREE TO REMAIN	SEE PLANS	VARIES	VARIES	VARIES		SEE PLANS

	NATIVE CANYON PLANTING SUCH AS:		SIZE	SPACING	WATER	MATURE SIZE	PAVING OFFSETS
	ACHILLEA SSP	YARROW	SIZE TO RANGE FROM- 1 GAL TO 15 GAL	2' O.C.	LOW	2.5'-3'T/W	2'
	BACCHARIS PILULARIS 'PIGEON POINT'	COYOTE BRUSH	1 GALLON	3'-0"	4'-0"	262	
	CAREX SPISSA	SAN DIEGO SEDGE		30" O.C.	LOW	3-4'T/2-3'W	2'
	CEANOTHUS 'CONCHA'	CONCHA CEANOTHUS		9' O.C.	LOW FULL SUN-LIGHT SHADE	8-10'T/W	6'
	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CEANOTHUS		8' O.C.	LOW FULL SUN-SHADE	2-3'T/8-10'W	6'
	CERCIS OCCIDENTALIS	WESTERN REDBUD		15' O.C.	LOW SUN/SHADE	10-15' T/W	10'
	CONVULVULUS MAURITANICUS	GROUND MORNING GLORY	1 GALLON	2'-0"	3'-0"	1341 SQ FT	
	HETEROMELES ARBUTIFOLIA 'DAVIS GOLD'	DAVIS GOLD TOYON		5' O.C.	LOW SUN/SHADE	6-10'T/6-8'W	5'
	FESTUCA RUBRA 'MOLATE'	CREEPING RED RESCUE		18" O.C.	LOW TO MEDIUM	1.5-2'T/W	18"
	FESTUCA MAIREI	ATLAS FESCUE		2' O.C.	LOW	2.5'-3'T/W	2'
	FESTUCA 'SISKYOU BLUE'	BLUE FESCUE		18"-24" O.C.	LOW	12-18"T/W	18"
	JUNCUS PATENS	COMMON RUSH		30" O.C.	LOW	12-18"T/W	12"
	LEYMUS C. 'CANYON PRINCE'	CANYON PRINCE WILD RYE		3' O.C.	LOW	2-3'T/W	2'
	IVA HAYSIANA	POVERTY WEED		30" O.C.	LOW GROUNDCOVER	2-3'T/W	2'
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GALLON	3'-0"	3'-0"	55	
	MUHLENBERGIA RIGENS	DEER GRASS		3' O.C.	LOW	4-5'T/4-6'W	4'
	ROSA CALIFORNICA	CALIFORNIA ROSE		4' O.C.	LOW	4-8' T/W	6'
	RHAMNUS CALIFORNICA	COFFEEBERRY		3' O.C.	LOW SUN/SHADE	6-10'T/6-8'W	5'
	RHAMNUS CALIFORNICA 'EVE CASE'	EVE CASE COFFEEBERRY	5 GALLON	3'-0"	4'-0"	140	
	SALVIA MELLIFERA	BLACK SAGE		3' O.C.	FULL SUN/SHADE	3-6'T/3-5'W	4'
	SALVIA CHAMAEDROIDES	GERMANDER SAGE	1 GALLON	3'-0"	4'-0"	202	
	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GALLON	3'-0"	4'-0"	282	
	SALVIA L. 'SANTA BARBARA'	SANTA BARBARA SAGE	1 GALLON	3'-0"	4'-0"	162	
	VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	1 GALLON	2'-6"	3'-0"	205	
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		30" O.C.	MEDIUM PART-SHADE	3-5'T/W	3'

	COURTYARD PLANTING SUCH AS:		SIZE	SPACING			
	AGAVE ATTENUATA 'BLUE FLAME'	BLUE FLAME AGAVE	SIZE TO RANGE FROM- 1 GAL TO 15 GAL	30" O.C.	LOW	2-3'T/W 10' CLUMPS	SEE PLANS
	AGAVE CELSII 'MULTICOLOR'	GHOST AGAVE		30" O.C.	LOW	2'T/2-4'W	3'
	AGAVE DESMETIANA ' VARIEGATA'	VARIEGATED DWARF CENTURY PLANT		60" O.C.	LOW	3'T/4-6' W	4'
	AGAVE PARRYI VAR 'TRUNCATA'	GENTRY FORM		48" O.C.	LOW	2-3'T/3-4'W	3'
	AGAVE 'WHALES TONGUE'	WHALES TONGUE AGAVE		30" O.C.	LOW	3-4'T/W	3'
	ALOE X NOBILIS	GOLDEN TOOTHED ALOE		30" O.C.	LOW	1-2'T/1-2'W	2'
	ALOE SPICATA	BOTTLE-BRUSH ALOE		72" O.C.	LOW	4-6'T/4-6'W	4'
	CISTANTHE GRANDEFLORA 'JAZZ TIME'	CALANDRINIA		36 O.C.	LOW	1'T/2-3'W	2'
	DESCHAMPSIA CESPITOSA 'PIXIE FOUNTAIN'	PIXIE FOUNTAIN TUFTED HAIR GRASS		18" O.C.	MEDIUM PLANT EN MASSE	1-2'T/1-2'W	2'
	DIANELLA 'CASSA BLUE'	BLUE FLAX LILY		2' O.C.	LOW TO MEDIUM	1.5'T/1.5'W	12"
	DIANELLA TASMAICA	TASMAN FLAX LILY		30" O.C.	MEDIUM	2-3'T/W	18"
	EUPHORBIA CHARACIAS 'PORTUGUESE VELVET'	PORTUGUESE VELVET EUPHORBIA		48" O.C.	LOW	2-3' T/3-4'W	3'
	FICUS NITIDA-STAKED COLUMN	INDIAN LAUREL FIG		PER PLAN	MEDIUM SUN/SHADE	8-12'T/6-8'W	5'
	HESPERALOE PARVIFLORA	RED YUCCA		4' O.C.	LOW	3-4'T/2-4'W	3'
	LAVANDULA GROSSO	GROSSO LAVENDER	1 GALLON	2'-6"	2'-6"	393	
	MISCANTHUS TRANSMORIENSIS	EVERGREEN EULALIA		48" O.C.	LOW	3-4'T/3-4'W	3'
	MISCANTHUS SINENSIS 'ADAGIO'	DWARF MAIDEN GRASS		48" O.C.	LOW	2-3'T/3-4'W	2'
	PENNISETUM SPATHIOLATUM	SLENDER VELDT GRASS		2' O.C.	LOW	1-2'T/1-2'W	18"
	SANTOLINA VIRENS	GREEN LAVENDER COTTON		30" O.C.	LOW GROUNDCOVER	2-3'T/W	2'
	SEDUM SPECTABILE 'AUTUMN JOY'	SHOWY STONECROP		30" O.C.	LOW	2'T/2'W	18"
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS		2' O.C.	LOW	1-2'T/1-2'W	18"
	TEUCRIUM CHAMAEDRYS X LUCIDRYS 'PROSTRATA'	GERMANDER		30" O.C.	MEDIUM GROUNDCOVER	4-6"T/3'W	2'
	THYMUS VULGARIS	COMMON THYME		6" O.C.	LOW NO SHADE	8"T/1'W	12"

	GRASSCRETE	
	MEADOW GRASSES	GRAVEL INFILL WITH NATIVE GRASS PLUGS

MULCH

ROCK MULCH - TYPE 1 SMALL	50% 3/8" - 50% 3/4" 'PARADISE PEBBLE'	PER SPECS	DECORATIVE STONE SOLUTIONS 800.699.1878
ROCK MULCH - TYPE 2 LARGE (AT BIOSWALE AREAS)	75% 3" MINUS 'DUNE', 25% 10" MINUS 'DUNE'	PER SPECS	DECORATIVE STONE SOLUTIONS 800.699.1878
ROCK MULCH - EXISTING ROCK MULCH AT PARKING LOT ISLANDS			
BARK MULCH	1/4"-3/8" FIR AND PINE BARK	PER SPECS	JOHN DEERE LANDSCAPES 800-347-4272

OTHER

ROOTBARRIER (AT ALL TREE CUTOUTS) TYPICAL	BIO-BARRIER	10' LENGTH FROM BASE OF TRUNK EACH WAY	JOHN DEERE LANDSCAPES 800-347-4272
SOIL & PERCOLATION TEST LOCATION	QUANTITY INDICATED ON DRAWING	PER SPECS	
HEADER	CORTEN HEADER	PER SPECS	
BOULDERS		TBD	

1. ALL NEW PLANTING AREAS TO RECEIVE A MIN. 3" MULCH REFER TO PLANTING DETAILS.

2. REMOVE ANY CONCRETE, ASPHALT AND ASSOCIATED BASE COURSE FROM ALL PLANTING AREAS. ALL NEW PLANTING AREAS TO BE RIPPED AND RECOMPACTED PER SPECIFICATIONS.

3. ALL PLANTING SHALL BE IMPLEMENTED WITHIN 60 DAYS OF COMPLETION OF THE CONSTRUCTION.

4. ALL PLANTING SHALL BE MAINTAINED IN GOOD GROWING CONDITION.

5. RODENTICIDES CONTAINING ANY ANTICOAGULANT COMPOUNDS SHALL NOT BE USED.

6. SEE PLANS FOR SPECIFIC PLANT LOCATIONS; SPACING IS TYPICAL UNLESS OTHERWISE NOTED BY DIMENSIONS ON PLANS

PLANTING NOTES

GENERAL NOTES

1 IF THE MOISTURE CONTENT OF THE SOIL SHOULD REACH SUCH A LEVEL THAT WORKING IT WOULD DESTROY SOIL STRUCTURE, SPREADING AND GRADING OPERATIONS SHALL BE SUSPENDED UNTIL, IN THE OPINION OF THE OWNERS REPRESENTATIVE, THE MOISTURE CONTENT IS INCREASED OR REDUCED TO ACCEPTABLE LEVELS AND THE DESIRED RESULTS ARE LIKELY TO BE OBTAINED.

2 ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICE AS APPROVED BY THE OWNERS REPRESENTATIVE. CONTRACTOR SHALL ONLY INSTALL AS MANY PLANTS PER DAY AS CAN BE PLANTED AND WATERED ON THAT SAME DAY.

3 ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND SHALL IMMEDIATELY INFORM THE OWNERS REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS.

4 PLANT MATERIAL QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. VERIFY COUNT AND PROVIDE NUMBER TO FULFILL INTENT OF DRAWINGS PRIOR TO ORDERING FROM NURSERIES.

5 PROTECTION OF EXISTING TREES, SHRUBS, AND GROUNDCOVER:

A THE OWNERS REPRESENTATIVE SHALL IDENTIFY EXISTING TREES AND SHRUBS OF WHICH ARE TO BE PRESERVED WITHIN THE PROJECT LIMITS, PRIOR TO THE START WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH PLANT MATERIAL TO BE PRESERVED, RELOCATED, AND REMOVED.

B ALL PLANTING TO REMAIN SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY MEN AND EQUIPMENT. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TUNNELING UNDER ROOTS 2" AND LARGER SHALL BE DONE AND ONLY DONE AFTER RECEIPT OF WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PAINT CUT ROOTS WITHIN 24 HOURS; WHERE THIS IS NOT POSSIBLE, KEEP THE SIDE OF EXCAVATION ADJACENT TO TREE SHADED WITH MOIST BURLAP OR CANVAS. ALL MINOR DAMAGE BY CONTRACTOR TO EXISTING TREES AND SHRUBS SHALL BE REPAIRED AT HIS EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL.

C DAMAGE TO A TREE OR SHRUB, WHICH RESULTS IN DEATH OR PERMANENT DISFIGURATION, SHALL RESULT IN THE CONTRACTORS COMPLETE REMOVAL OF SAID TREE OR SHRUB, INCLUDING ROOTS, FROM THE SITE. THE CONTRACTOR SHALL REPLACE THE TREE OR SHRUB AS ESTABLISHED BY THE OWNERS REPRESENTATIVE WITH ONE OF EQUAL VALUE AT HIS OWN EXPENSE, OR SHALL REIMBURSE TO THE OWNER THE COST OF SAID REPLACEMENT. THE OWNERS REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE CONDITION OF ANY TREE OR SHRUB.

D ALL PLANTS TO REMAIN ON-SITE WILL BE IRRIGATED AS NECESSARY DURING THE ENTIRE CONSTRUCTION CONTRACT.

DEEP WATER LEACHING

1 FILL IN ALL DEPRESSIONS, VOIDS, EROSION SCARS, OR SETTLED TRENCHES GENERATED BY THE DEEP LEACHING WITH CONDITIONED SOIL, LEAVING A FINAL GRADE SMOOTH AND EVEN (IF LEACHING IS REQUIRED).

FINAL GRADES

1 MINOR MODIFICATIONS TO GRADE MAY BE REQUIRED TO ESTABLISH THE FINAL GRADES.

PERCOLATION TESTING AND DRAINAGE

1 A MINIMUM OF THREE (3) SOILS PERCOLATION TESTS SHALL BE PERFORMED BY FILLING TREE PLANTING PITS (SEE PLANS FOR APPROPRIATE SIZE OF TREE PIT) WITH WATER, WAITING 12 HOURS AND THEN COMPLETELY REFILLING. IF ALL THE WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING IT HAS FAILED THE TEST. UPON FAILURE, CONTACT OWNERS REPRESENTATIVE FOR WITH REMEDIAL MEASURES PER SPECIFICATIONS.

2 BID PRICE SHALL BE BASED ON STANDARD TREE PLANTING PIT DETAILS SHOWN ON THE PLANS.

WEED CONTROL

1 PRIOR TO PLANTING, ERADICATE WEEDS WITHIN THE LIMITS OF WORK IN THE FOLLOWING ORDER:

A IRRIGATE TWICE EACH DAY FOR APPROXIMATELY 5 TO 10 MINUTES EACH WATERING TIME (AS APPROPRIATE TO SITE CONDITIONS) FOR A PERIOD OF 30 CALENDAR DAYS.

B APPLY POST EMERGENT HERBICIDE (SUCH AS "ROUND-UP PRO") PER CALIFORNIA LICENSED PEST CONTROL ADVISOR AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. TAKE CARE TO PROTECT EXISTING PLANT MATERIAL WHICH IS TO REMAIN AS SHOWN ON THE PLANS.

C WAIT THE REQUIRED PERIOD FOR THE HERBICIDE TO TAKE EFFECT (APPROXIMATELY 7-14 DAYS).

D PHYSICALLY REMOVE WEEDS DEAD OR ALIVE WITHIN THE PROJECT LIMITS.

2 EXISTING NATIVE VEGETATION SHALL NOT BE IRRIGATED AND IRRIGATION RUN-OFF SHALL NOT SPREAD TO AREAS WITH EXISTING NATIVE PLANTS.

SOIL CONDITIONING AND FERTILIZING

1 GRUB / CLEAN AND ROTOTILL ALL PLANTING AREAS TO A DEPTH OF EIGHTEEN (18) INCHES, REMOVING ALL WEEDS, DEBRIS, ROCKS, OR OTHER DELETERIOUS MATTER 1" DIAMETER OR LARGER FROM THE SITE TO 12 INCH DEPTH(UNLESS SPECIFIED OTHERWISE). THEN BLEND IN CONDITIONERS CALLED FOR IN SPECIFICATIONS BASED ON SOILS REPORT.

2 PLANTER SOIL FOR RAISED PLANTER (S) SHALL BE AMENDED NATIVE TOPSOIL PER SPECIFICATIONS.

GENERAL PLANTING

1 PRUNING SHALL NOT BE DONE EXCEPT BY APPROVAL OF OWNERS REPRESENTATIVE.

2 PLANT LOCATIONS SHALL BE CHECKED FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND PIPING, PRIOR TO EXCAVATION OF HOLES. IF UNDERGROUND CONSTRUCTION OR UTILITY LINES ARE ENCOUNTERED IN THE EXCAVATION OF PLANTING AREAS, NOTIFY THE OWNER. EXPENSES FOR REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. MINIMUM TREE SEPARATION DISTANCES ARE AS FOLLOWS:

A TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET
B UNDERGROUND UTILITY LINES - 5 FEET
C ABOVE GROUND UTILITY STRUCTURES -10 FEET
D DRIVEWAY (ENTRIES) -10 FEET
E INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) -25 FEET

3 ALL EXCAVATED HOLES SHALL HAVE VERTICAL SIDES WITH ROUGHENED SURFACES AND SHALL BE OF THE MINIMUM SIZES INDICATED ON DRAWINGS, HOLES SHALL BE, IN ALL CASES, LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY OR BREAKAGE OF ROOT BALLS OR ROOTS.

C UPON ACCEPTANCE OF CONTRACTOR PLANT SUBMITTAL BY LANDSCAPE ARCHITECT, CONTRACTOR SHALL SECURE PLANTS WITHIN FIVE (5) DAYS AND ARRANGE FOR DELIVERY FROM NURSERIES.

D THE USE OF ANY PLANT MATERIAL THAT IS LISTED IN THE CURRENT VERSION OF THE INVASIVE PLANT INVENTORY, PREPARED BY THE CALIFORNIA INVASIVE PLAN COUNCIL (CAL-IPC), IS STRICTLY PROHIBITED. A COPY OF THE COMPLETE LIST CAN BE OBTAINED FROM CAL-IPC'S WEB SITE AT http://www.cal-ipc.org, BEFORE THE INSTALLATION OF ANY TEMPORARY OR PERMANENT LANDSCAPING, ALL PLANT AND SEED LISTS SHALL BE REVIEWED AND APPROVED BY THE CITY PLANNER (OR DESIGNATE) FOR COMPLIANCE WITH THIS BAN.

TREES, SHRUBS AND VINES

1 EACH TREE AND SHRUB SHALL BE PLACED IN THE CENTER OF THE HOLE AND SHALL BE SET PLUMB AND HELD RIGIDLY IN POSITION UNTIL THE PLANTING BACKFILL HAS BEEN TAMPED DOWN AROUND EACH ROOTBALL.

2 ALL PLANTS SHALL BE SET AT SUCH A LEVEL THAT AFTER SETTLING THEY ARE 2" HIGHER THAN THE SURROUNDING FINISH GRADE AS DETAILED UNLESS OTHERWISE NOTED

3 ALL PLANTS SHALL BE THOROUGHLY WATERED INTO THE FULL DEPTH OF EACH PLANTING HOLE IMMEDIATELY AFTER PLANTING.

4 ROOT BARRIERS: ROOT CONTROL BARRIERS SHALL BE INSTALLED WHERE INDICATED ON PLANTING PLANS. INSTALL ROOT BARRIERS ADJACENT, AND PARALLEL TO, EDGE OF HARDSCAPE PER MANUFACTURERS INSTRUCTIONS. (LINEAR APPLICATION) AND NOT ENCIRCLING ROOTBALL. BARRIERS SHALL BE 20- FT. MIN. LENGTH; CENTER STRIP OF ROOT BARRIER ON THE TREE TRUNK.

PLANTING SOD TURF/GRASSCRETE

1 SEE SPECIFICATIONS FOR LAWN AREA SOIL PREPARATION AND SOD INSTALLATION.

MAINTENANCE PERIOD

1 LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS, NOXIOUS GRASS, AND ALL OTHER UNDESIRED VEGETATIVE GROWTH AND DEBRIS.

2 PLANT MATERIALS SHALL BE KEPT IN A HEALTHY, OPTIMUM GROWING CONDITION AND IN A VISUALLY PLEASING APPEARANCE BY WATERING, PRUNING, MOWING, FERTILIZING, RESTAKING, PEST AND DISEASE CONTROLLING, SPRAYING, WEEDING, CLEAN-UP AND ANY MAINTENANCE OPERATION NECESSARY TO INSURE A HEALTHY, VIGOROUS STAND OF PLANTS AT THE TIME OF FINAL INSPECTION.

3 SEE SPECIFICATIONS FOR APPLICATION OF THE POST PLANTING FERTILIZER AT THE RATE SPECIFIED.

4 CONTRACTOR IS RESPONSIBLE FOR THE LANDSCAPE MAINTENANCE FOR ALL PLANTED AND/OR IRRIGATED AREAS SHOWN ON THE PLANS FOR THE INITIAL 90-DAY MAINTENANCE PERIOD.

landLAB
environmental design

Hines

ADDRESS
TELEPHONE: (

Ford Road Residential
Newport Beach, CA

REVISIONS

	DESCRIPTION	DATE
1		
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SHEET TITLE
PLANTING LEGEND AND NOTES

SHEET NUMBER
L0.40

JOB NO. 2015.10197
DATE 2017.10-13
SCALE As indicated

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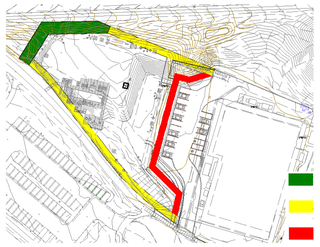
Entitlement Set Progress_2017-10-24

PROJECT DATA
Multiple Residential Zoning District (RM)
Site Area: 45,906 SF (1.054 AC)
Site Area per Dwelling Unit: 1,200 SF
Buildable Area: 33,569 SF
FAR: 1.75
Allowable Buildable Area: 58,746 SF

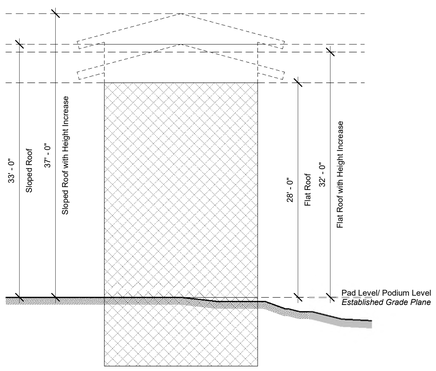
Dwelling Units Proposed: 21 Dwelling Units
Setbacks Proposed:
Front: 20'0"
Side: 10'-0" to 12'-0"
Rear: 10'0"

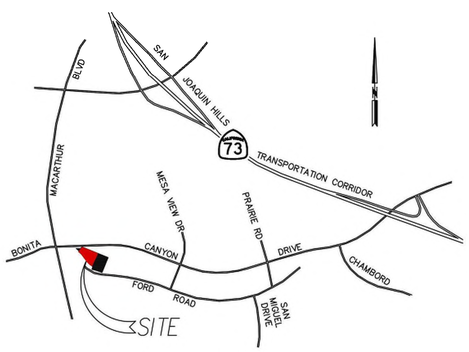


Height Limit:
Flat Roof: 28'0"
with Height Increase *32'0"*

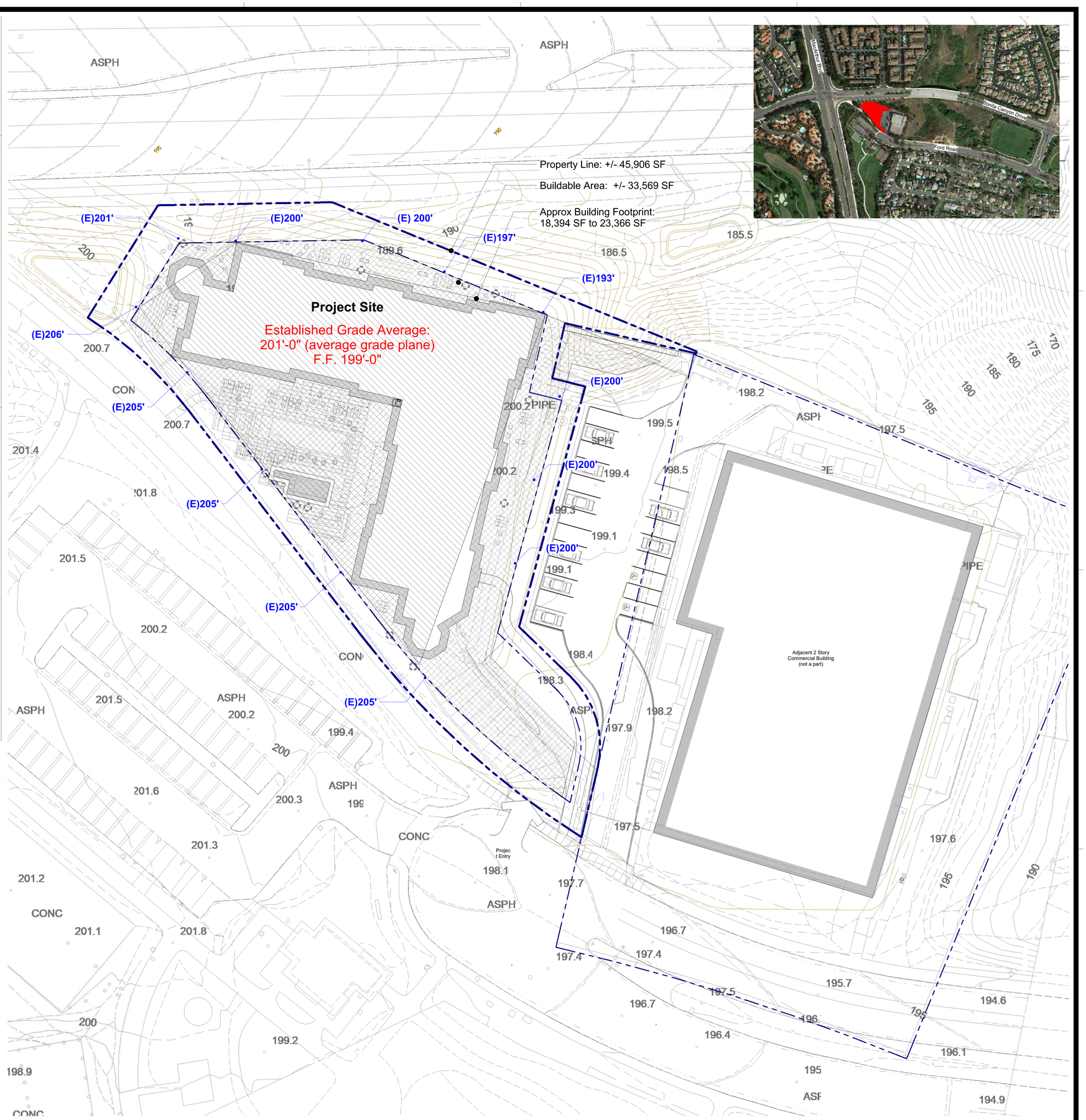
Sloped Roof: 33'0"
with Height Increase *37'0"*

"Measured as the vertical distance from the established grade of the pad to the highest part of the structure." *(20.30.060.B.2)*
(Increase in Height Limit - 20.30.060.C.2)





VICINITY MAP
NTS



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	DESCRIPTION	DATE

SHEET TITLE
SITE CONSTRAINTS

SHEET NUMBER
A0.01

JOB NO. 2015.10197
DATE 2019-04-08
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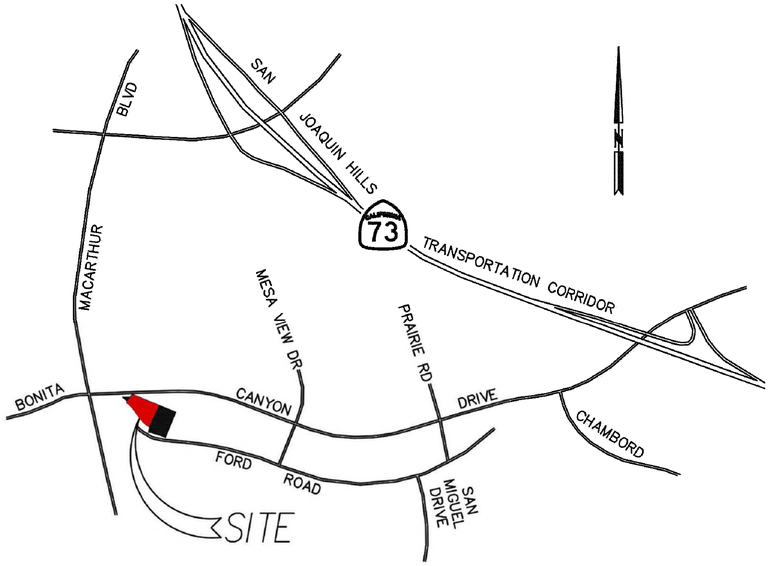
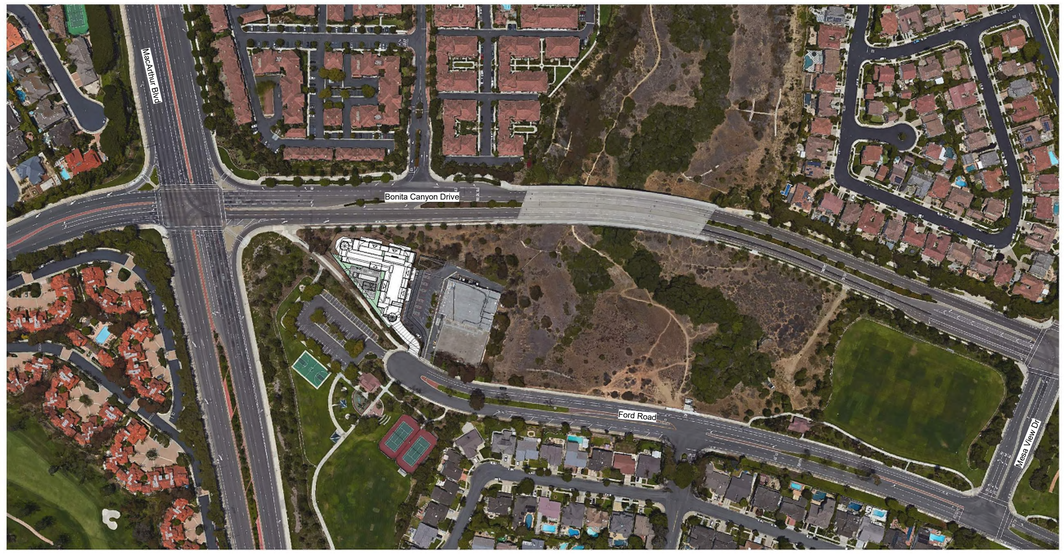
11 - Site Aerial 1" = 100'-0" **1**



VICINITY MAP
NTS



12 - Site Circulation 1" = 160'-0" **2**

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SHEET TITLE
CONTEXT AERIAL (FOR REFERENCE ONLY)

SHEET NUMBER
A0.20

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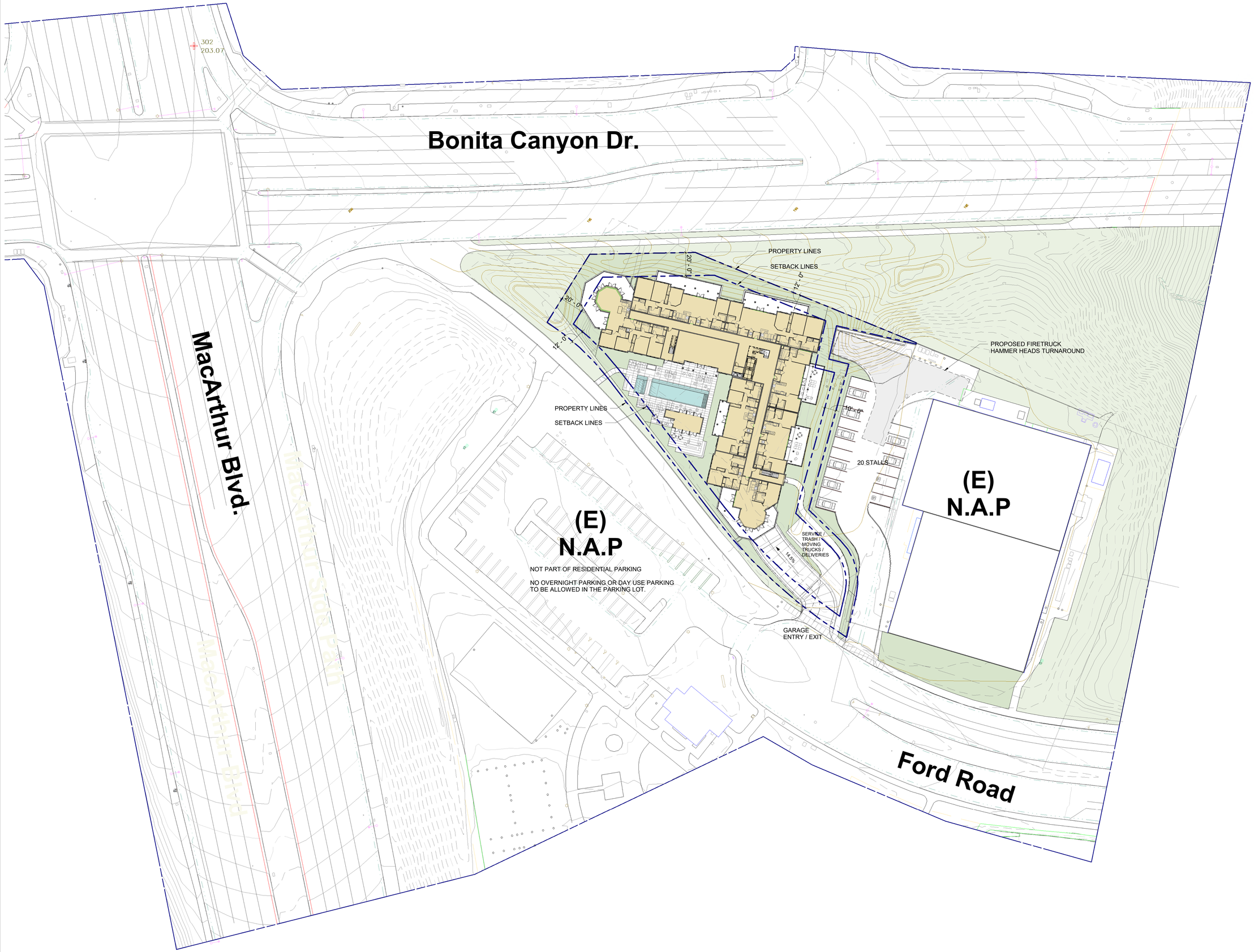

SITE PLAN | 1" = 30'-0" | 1

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SHEET TITLE

SITE PLAN

SHEET NUMBER

A0.30

JOB NO. 2015.10197

DATE 2019-04-08

SCALE 1" = 30'-0"

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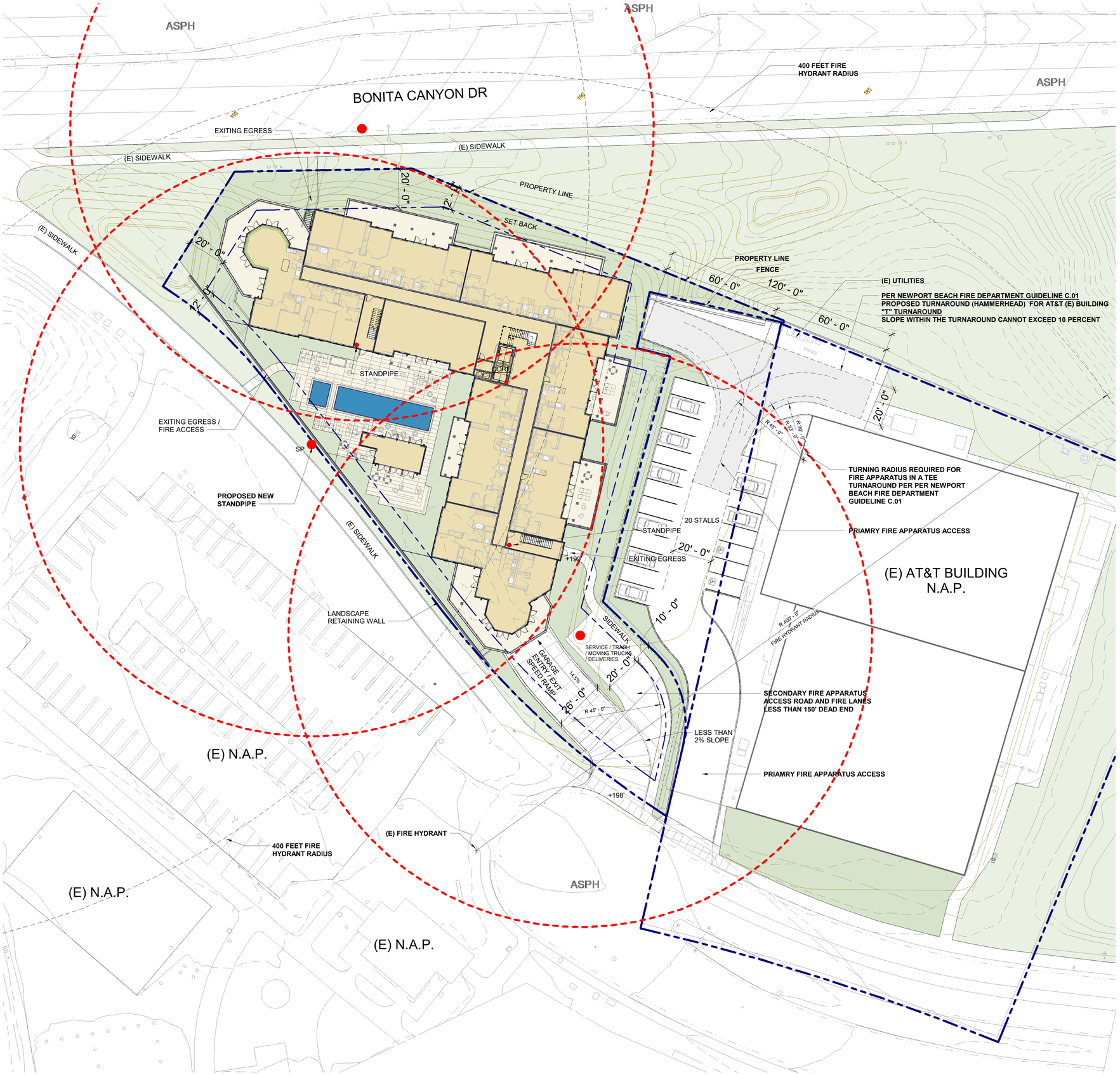


BUILDING PLAN LEGEND

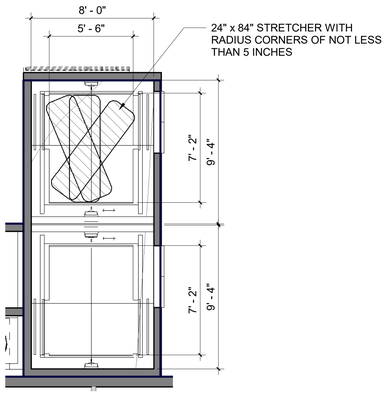
INDICATES 150' HOSE PULL

INDICATES NEWPORT BEACH FIRE DEPARTMENT TURNING RADII

PROPOSED STANDPIPE

FIRE SAFETY NOTES

1. SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
   A. ON THE CEILING OR WALL OUTSIDE OF EACH, SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS
   B. IN EACH ROOM USED FOR SLEEPING PURPOSES
2. A FIRE ALARM SYSTEM IS REQUIRED AS PER CFC CHAPTER 907.
3. PUBLIC SAFETLY RADIO SYSTEM COVERAGE IS REQUIRED AS PER CFC SECTION 510.1 AND CITY OF NEWPORT BEACH GUIDELINE D.05.
4. STANDBY POWER SHALL BE PROVIDED FOR EMERGENCY RESPONDER RADIO COVERAGE SYSTEM AS REQUIRED IN SECTIN 510.4.2.3. THE STANDBY POWER SUPPLY SHALL BE CAPABLE OF OPERATING THE EMERGENCY RESPONDER RADIO COVERAGE SYSTEM AFOR A DURATION OF NOT LESS THAN 24 HOURS. CFC SECTION 604.2.3
5. FIRE SPINKLERS WILL BE REQUIRED AND MUST BE INSTALLED AS PER THE REQUIRMENTS OF CFC SECTIN 903
6. A 13R FIRE SPRINKLERS SYSTEM IS PERMITTED IN THE RESIDENTIAL PORTION OF THE BUILDING; HOWEVER, THE GARAGE AREA LOCATED BENEATH THE HORIZONTAL SEPARATION WILL BE REQUIRED TO BE NFPA 13 SYSTEM.
7. THE FIRE PIT MUS BE LOCATED AT DISTANCES FROM COMBUSTIBLES RECOMMENDED BY THE MANUFACTURE OR THE CALIFRONIA MECHANICAL CODE.
8.



CAB WITH CENTER OR SIDE OPENING WITH ENTER AND EXIT ON SAME SIDE FROM LEVEL 1 TO LEVEL 3 AND OPOSITE ENTER/EXIT ON BASEMENT PARKING LEVEL

FIRE ACCESS DIAGRAM | 1" = 20'-0" | 1

STRETCHER/ GURNEY ELEVATOR | 1/4" = 1'-0" | 2

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FIRE ACCESS DIAGRAM

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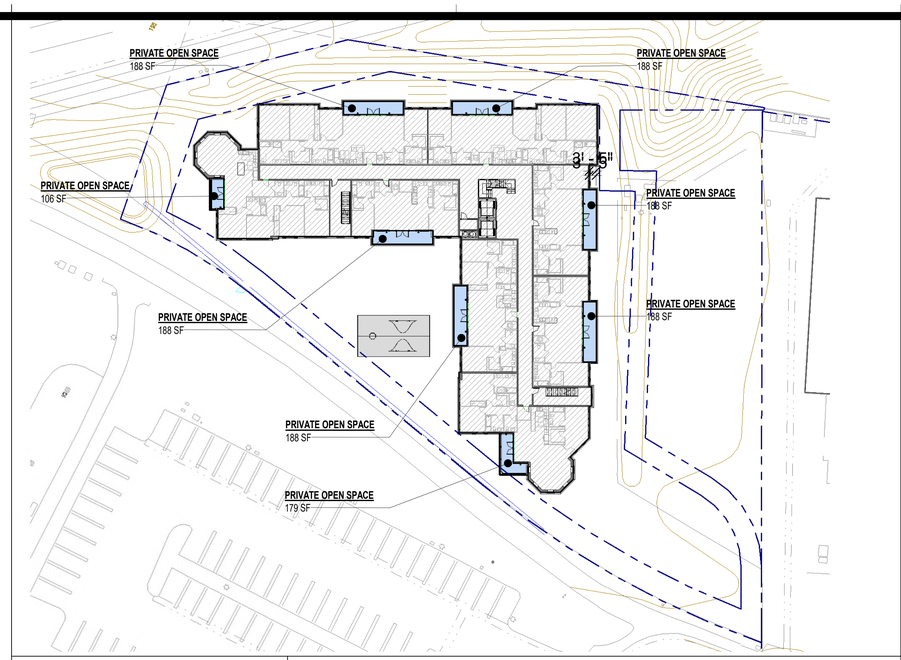
OPEN SPACE AREA - SUMMARY BY LEVEL

Level 1	
COMMON INDOOR OPEN SPACE	
AMENITY	1,392 SF
POOL ROOM	437 SF
COMMON OPEN SPACE (PUBLIC)	
LANDSCAPE	16,210 SF
COMMON OPEN SPACE (RESIDENTIAL)	
POOL COURTYARD	6,536 SF
PRIVATE OPEN SPACE	
UNIT A1	596 SF
UNIT A1	596 SF
UNIT B1	949 SF
UNIT B2	275 SF
UNIT C1	1,061 SF
UNIT C2	721 SF
UNIT C2	721 SF
	29,494 SF
Level 2	
PRIVATE OPEN SPACE	
UNIT A1	188 SF
UNIT A1	188 SF
UNIT A2	188 SF
UNIT B1	179 SF
UNIT B2	188 SF
UNIT C1	106 SF
UNIT C2	188 SF
UNIT C2	188 SF
	1,414 SF
Level 3	
COMMON OPEN SPACE (RESIDENTIAL)	
ROOF DECK	735 SF
PRIVATE OPEN SPACE	
UNIT A1	188 SF
UNIT A1	188 SF
UNIT A2	188 SF
UNIT B1	179 SF
UNIT B2	188 SF
UNIT C1	106 SF
	1,773 SF
Grand total	32,681 SF

OPEN SPACE AREA - SUMMARY BY USAGE

COMMON INDOOR OPEN SPACE		
AMENITY	1,392 SF	Level 1
POOL ROOM	437 SF	Level 1
	1,829 SF	
COMMON OPEN SPACE (PUBLIC)		
LANDSCAPE	16,210 SF	Level 1
	16,210 SF	
COMMON OPEN SPACE (RESIDENTIAL)		
POOL COURTYARD	6,536 SF	Level 1
ROOF DECK	735 SF	Level 3
	7,271 SF	
PRIVATE OPEN SPACE		
UNIT A1	596 SF	Level 1
UNIT A1	596 SF	Level 1
UNIT A1	188 SF	Level 2
UNIT A1	188 SF	Level 2
UNIT A1	188 SF	Level 3
UNIT A1	188 SF	Level 3
UNIT A2	188 SF	Level 2
UNIT A2	188 SF	Level 3
UNIT B1	949 SF	Level 1
UNIT B1	179 SF	Level 2
UNIT B1	179 SF	Level 3
UNIT B2	275 SF	Level 1
UNIT B2	188 SF	Level 2
UNIT B2	188 SF	Level 3
UNIT C1	1,061 SF	Level 1
UNIT C1	106 SF	Level 2
UNIT C1	106 SF	Level 3
UNIT C2	721 SF	Level 1
UNIT C2	721 SF	Level 1
UNIT C2	188 SF	Level 2
UNIT C2	188 SF	Level 2
	7,372 SF	
Grand total	32,681 SF	



LEGEND

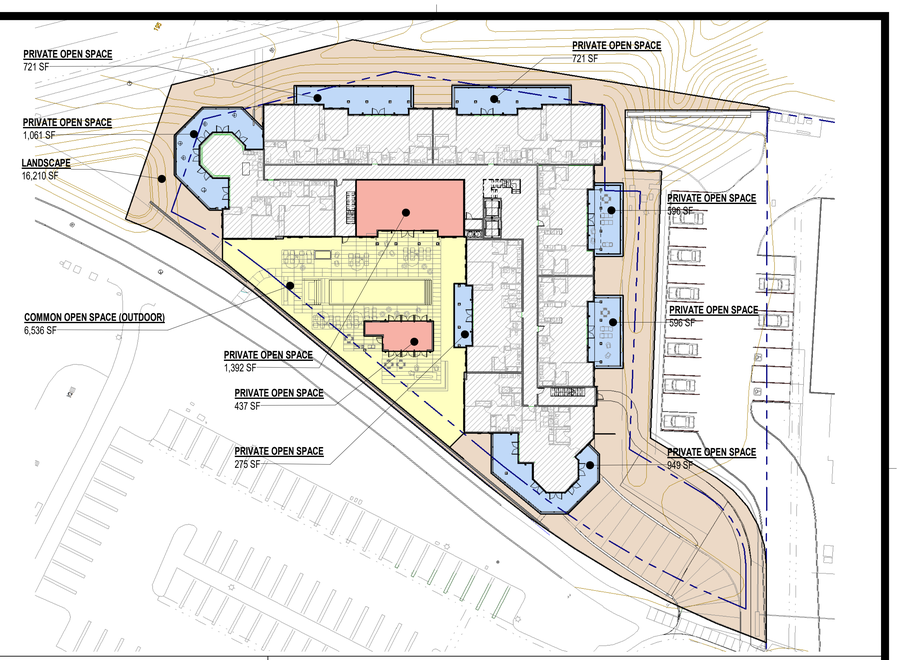
- COMMON OPEN SPACE (RESIDENTIAL)
- PRIVATE OPEN SPACE
- COMMON INDOOR OPEN SPACE
- COMMON OPEN SPACE (PUBLIC)

FLOOR SUMMARY

OPEN SPACE AREA - L2 PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
UNIT A1	188 SF
UNIT A1	188 SF
UNIT A2	188 SF
UNIT B1	179 SF
UNIT B2	188 SF
UNIT C1	106 SF
UNIT C2	188 SF
UNIT C2	188 SF
	1,414 SF

LEVEL 2 OPEN SPACE DIAGRAM 1" = 30'-0" **2**



LEGEND

- COMMON OPEN SPACE (RESIDENTIAL)
- PRIVATE OPEN SPACE
- COMMON INDOOR OPEN SPACE
- COMMON OPEN SPACE (PUBLIC)

FLOOR SUMMARY

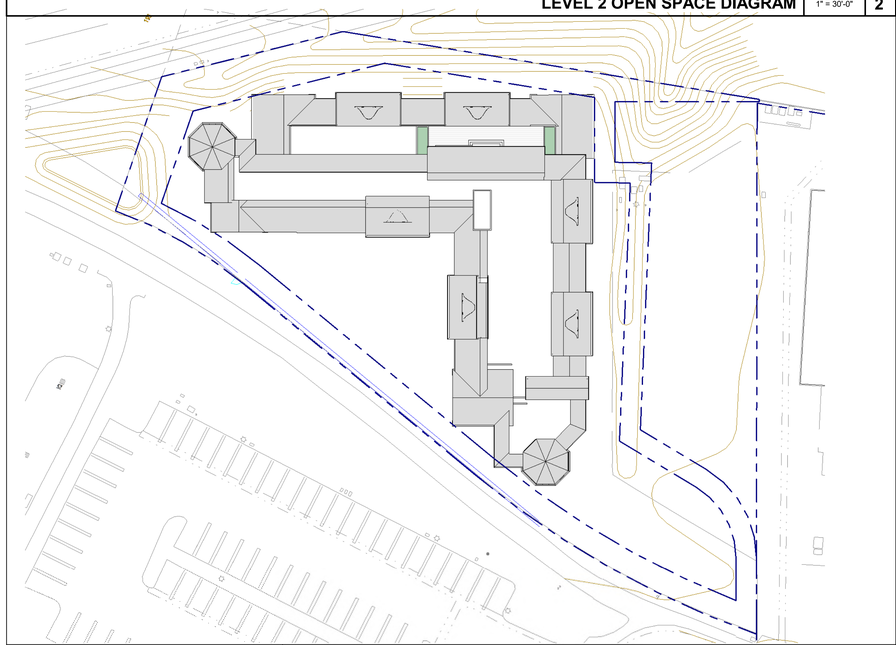
OPEN SPACE AREA - LEVEL 1

COMMON INDOOR OPEN SPACE	1,829 SF
COMMON OPEN SPACE (PUBLIC)	16,210 SF
COMMON OPEN SPACE (RESIDENTIAL)	6,536 SF
Grand total: 4	24,575 SF

OPEN SPACE AREA - L1 PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
UNIT A1	596 SF
UNIT A1	596 SF
UNIT B1	949 SF
UNIT B2	275 SF
UNIT C1	1,061 SF
UNIT C2	721 SF
UNIT C2	721 SF
	4,919 SF

LEVEL 1 OPEN SPACE DIAGRAM 1" = 30'-0" **1**

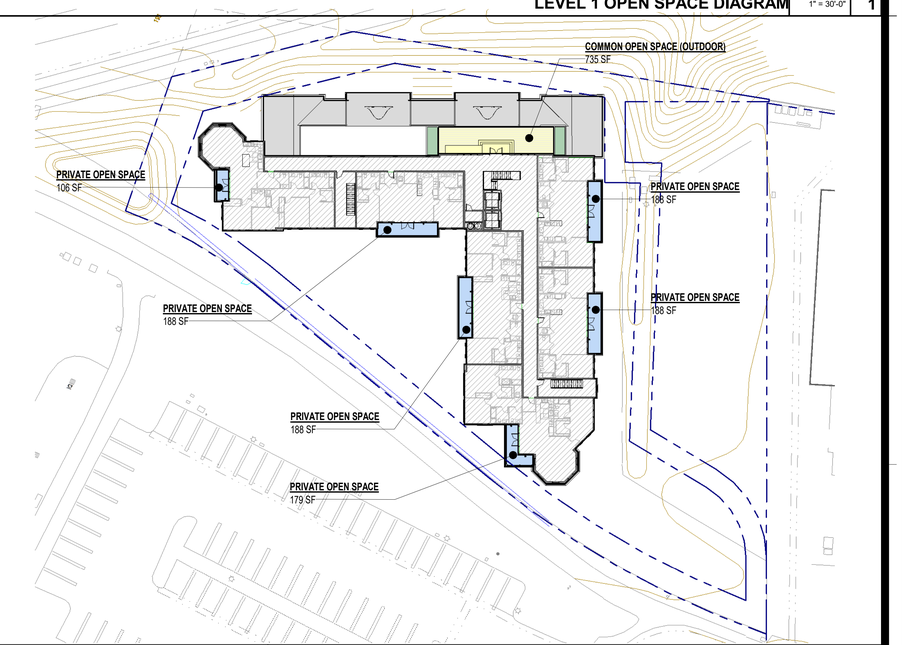


LEGEND

- COMMON OPEN SPACE (RESIDENTIAL)
- PRIVATE OPEN SPACE
- COMMON INDOOR OPEN SPACE
- COMMON OPEN SPACE (PUBLIC)

FLOOR SUMMARY

ROOF PLAN OPEN SPACE DIAGRAM 1" = 30'-0" **4**



LEGEND

- COMMON OPEN SPACE (RESIDENTIAL)
- PRIVATE OPEN SPACE
- COMMON INDOOR OPEN SPACE
- COMMON OPEN SPACE (PUBLIC)

FLOOR SUMMARY

OPEN SPACE AREA - LEVEL 3

COMMON OPEN SPACE (RESIDENTIAL)	735 SF
Grand total: 1	735 SF

OPEN SPACE AREA - L3 PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
UNIT A1	188 SF
UNIT A1	188 SF
UNIT A2	188 SF
UNIT B1	179 SF
UNIT B2	188 SF
UNIT C1	106 SF
	1,038 SF

LEVEL 3 OPEN SPACE DIAGRAM 1" = 30'-0" **3**

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Ford Road Residential
Newport Beach, CA

REVISIONS

DESCRIPTION	DATE

SHEET TITLE
OPEN SPACE DIAGRAMS

SHEET NUMBER
A0.50

JOB NO. 2015.10197
DATE 2019-04-08
SCALE 1" = 30'-0"

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Site Development Review Resubmittal_ 2019-04-08

PROJECT DATA

Parking Required:

2.5 Stalls/Unit

53 *Parking Stalls*

42 Stalls for Residents

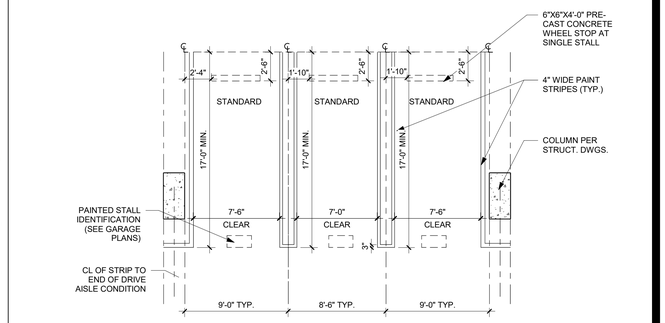
11 Stalls for Guest

Parking Provided:

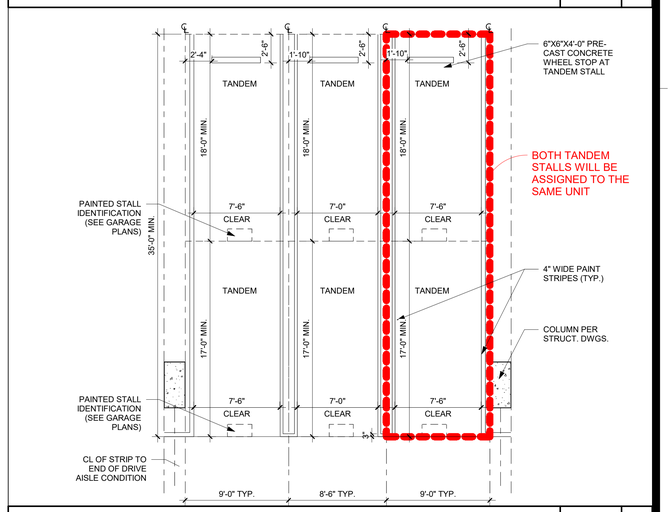
Level B1

13	Standard Stalls
13	Guest Stalls
26	Tandem Stalls
3	ADA
55	Total

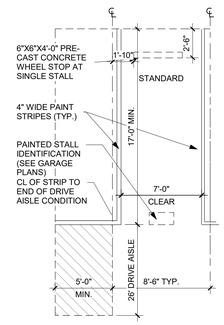
FLOOR PLAN - B1 PARKING PLAN 3/32" = 1'-0" **1**



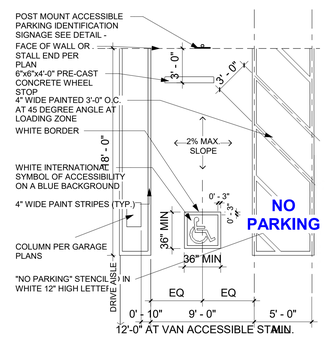
TYPICAL PARKING STALL STANDARD 3/16" = 1'-0" **2**



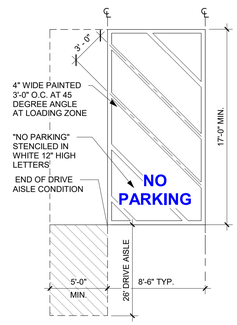
TYPICAL PARKING STALL TANDEM 3/16" = 1'-0" **3**



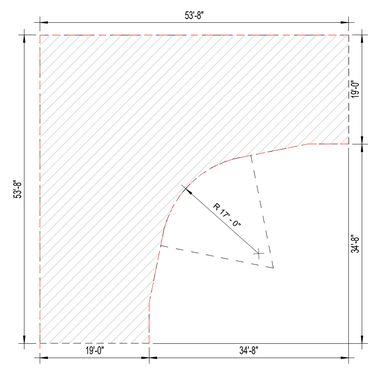
5 TYPICAL PARKING STALL DEAD END CONDITION
3/16" = 1'-0"



TYP. ACCESSIBLE PARKING STALL 3/16" = 1'-0" **4**



7 TYPICAL DEDICATED TURN-AROUND SPACE
3/16" = 1'-0"



TYPICAL TURNING RADIUS 3/32" = 1'-0" **6**

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Ford Road Residential

Newport Beach, CA

REVISIONS

DESCRIPTION	DATE

SHEET TITLE

FLOOR PLAN - B1 PARKING

SHEET NUMBER

A1.00

JOB NO. 2015.10197
DATE 2019-04-08
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FLOOR PLAN - LEVEL 1 3/32" = 1'-0" 1

BUILDING PLAN LEGEND

Building Area Legend

- A1_2BR-2.5BA
- AMENITY
- B1_3BR-3.5BA
- B2_3BR-3.5BA
- BALCONY
- C1_4BR-3.5BA
- C2_4BR-3.5BA
- CORE
- CORRIDOR
- POOL ROOM
- RESIDENT COURTYARD
- STAIR
- SWIMMING POOL

PROJECT DATA

Floor Area Proposed: +/- 48,574SF

Dwelling Units Proposed:

A1	2BR/2.5BA	1,433 SF	6 DU
A2	2BR/2.5BA	1,410 SF	2 DU
B1	3BR/3.5BA	2,078 SF	3 DU
B2	3BR/3.5BA	1,746 SF	3 DU
C1	4BR/3.5BA	2,120 SF	3 DU
C2	4BR/3.5BA	2,277 SF	4 DU

21 DU
1,826 SF AVG.
Rentable/Saleable 38,358 sf

PROJECT DATA

Parking Required:
2.5 Stalls/Unit
53 *Parking Stalls*

Parking Provided:
Level B1

13	Standard Stalls
13	Guest Stalls
3	ADA Stalls
26	Tandem Stalls
55	**Total**

BUILDING GROSS AREA	
Level 1	
AMENITY	1,829 SF
CIRCULATION	3,036 SF
UNITS	13,357 SF
	18,222 SF
Level 2	
CIRCULATION	2,661 SF
UNITS	14,767 SF
	17,428 SF
Level 3	
CIRCULATION	2,701 SF
UNITS	10,205 SF
	12,906 SF
	48,556 SF

BUILDING SALEABLE - UNIT AREA		
Level 1	UNITS	13,357 SF
Level 2	UNITS	14,767 SF
Level 3	UNITS	10,205 SF
		38,329 SF

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Parking Schedule	
Type	Count
Level B1	
ADA 9'-0" X 19'-0"	2
ADA 12'-0" X 19'-0"	1
STANDARD 8'-6" X 19'-0"	13
TANDEM 8'-6" X 19'-0"	13
TRANSFER 8'-6" X 19'-0"	13
Visitor 8'-6" X 19'-0"	12
Visitor 12' X 19'-0"	1
	55

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SHEET TITLE
FLOOR PLAN - L1
LEVEL 1

SHEET NUMBER
A1.01

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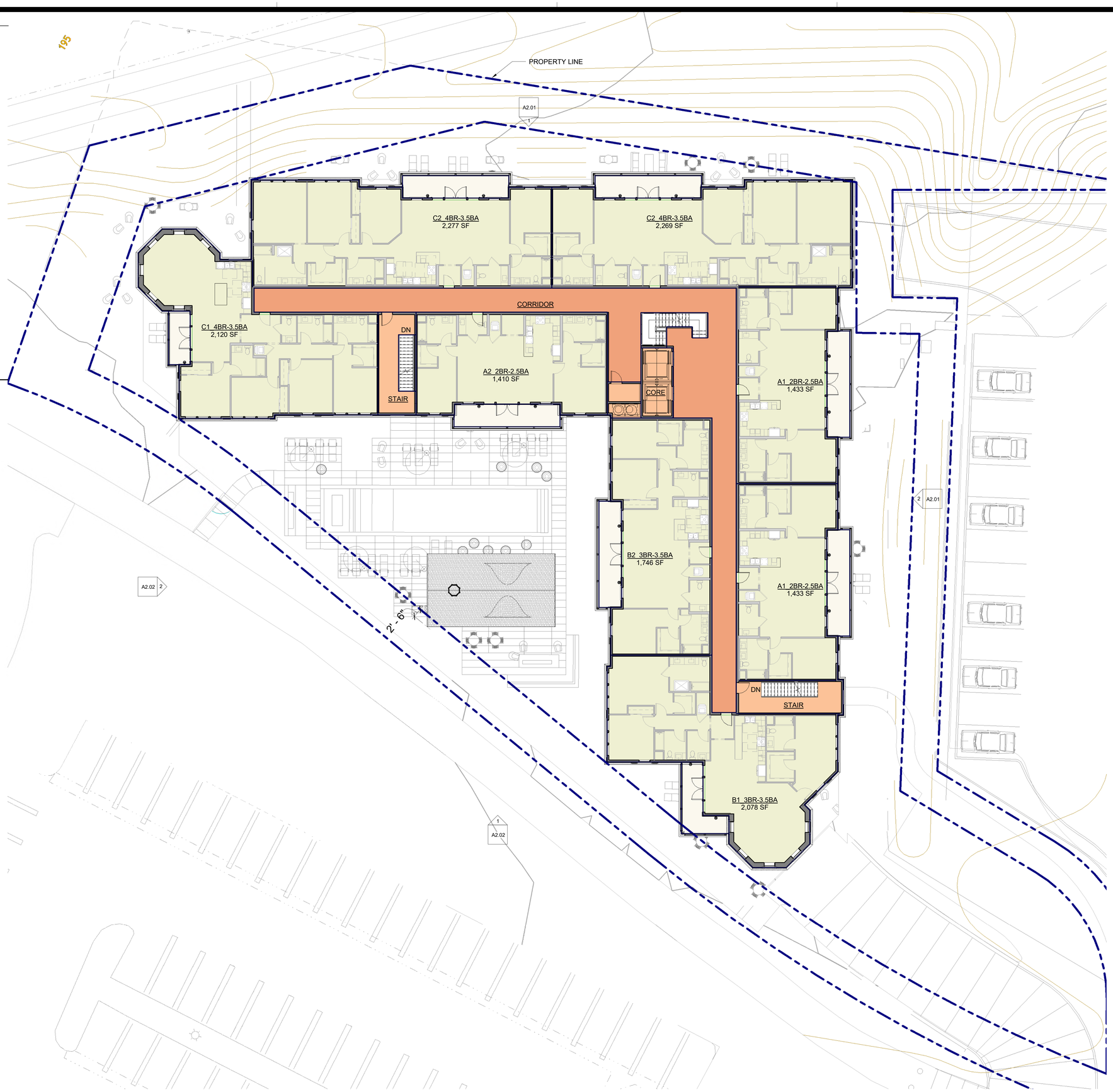

FLOOR PLAN - LEVEL 2 | 3/32" = 1'-0" | 1

BUILDING PLAN LEGEND

Building Area Legend

- A1_2BR-2.5BA
- A2_2BR-2.5BA
- B1_3BR-3.5BA
- B2_3BR-3.5BA
- BALCONY
- C1_4BR-3.5BA
- C2_4BR-3.5BA
- CORE
- CORRIDOR
- STAIR

PROJECT DATA
Floor Area Proposed: +/- 48,574SF

Dwelling Units Proposed:

A1	2BR/2.5BA	1,433 SF	6 DU
A2	2BR/2.5BA	1,410 SF	2 DU
B1	3BR/3.5BA	2,078 SF	3 DU
B2	3BR/3.5BA	1,746 SF	3 DU
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21 DU
1,826 SF AVG.
Rentable/Saleable 38,358 sf

PROJECT DATA
Parking Required:
2.5 Stalls/Unit
53 *Parking Stalls*

Parking Provided:
Level B1

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13	Guest Stalls
3	ADA Stalls
26	Tandem Stalls
55	**Total**

BUILDING GROSS AREA	
Level 1	
AMENITY	1,829 SF
CIRCULATION	3,036 SF
UNITS	13,357 SF
	18,222 SF
Level 2	
CIRCULATION	2,661 SF
UNITS	14,767 SF
	17,428 SF
Level 3	
CIRCULATION	2,701 SF
UNITS	10,205 SF
	12,906 SF
	48,556 SF

BUILDING SALEABLE - UNIT AREA		
Level 1	UNITS	13,357 SF
Level 2	UNITS	14,767 SF
Level 3	UNITS	10,205 SF
		38,329 SF

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Newport Beach, CA

REVISIONS

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SHEET TITLE
FLOOR PLAN - L2
LEVEL 2

SHEET NUMBER
A1.02

JOB NO. 2015.10197
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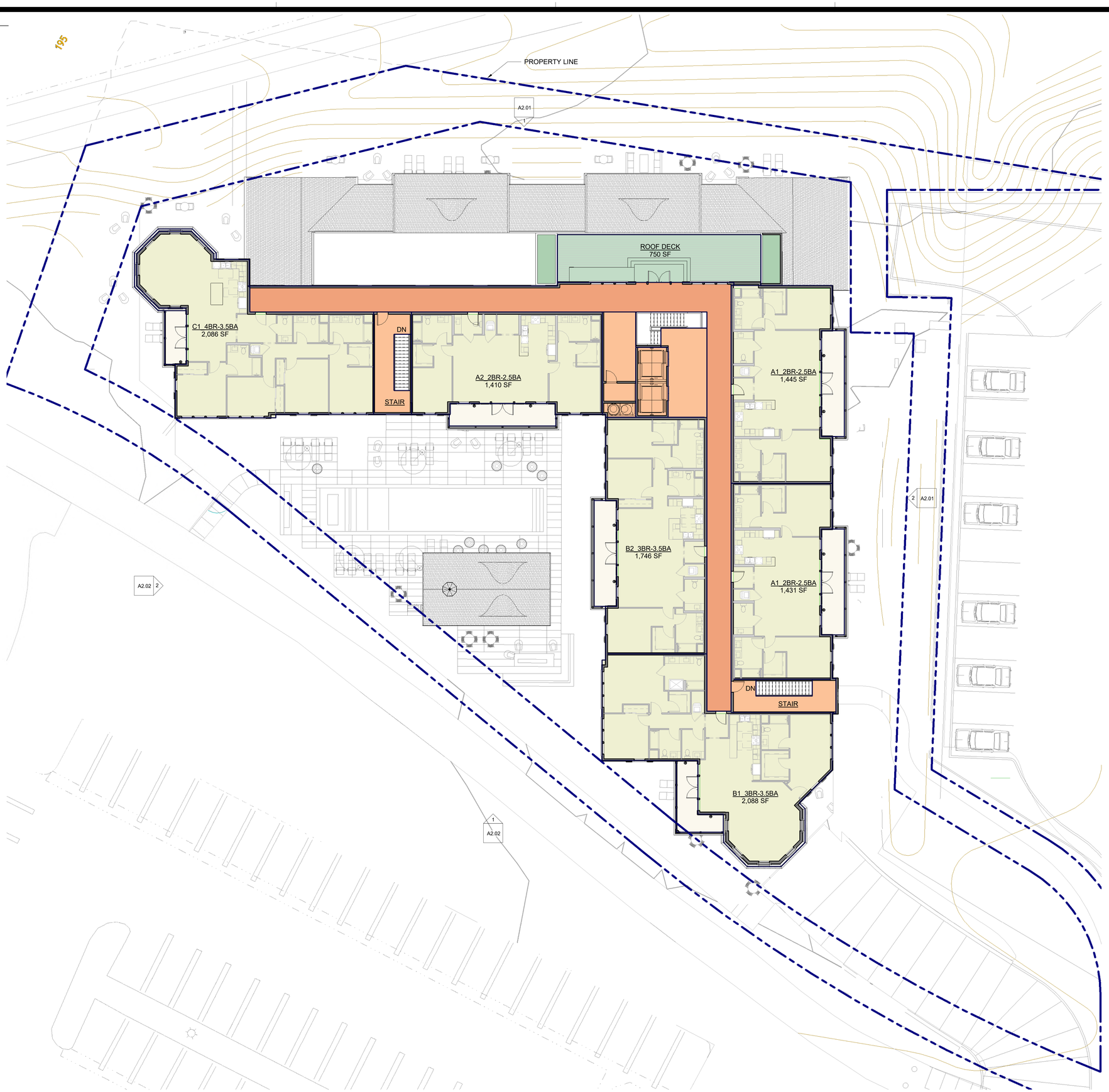

FLOOR PLAN - LEVEL 3 | 3/32" = 1'-0" | 1

BUILDING PLAN LEGEND

Building Area Legend

- A1_2BR-2.5BA
- A2_2BR-2.5BA
- B1_3BR-3.5BA
- B2_3BR-3.5BA
- BALCONY
- C1_4BR-3.5BA
- CORE
- CORRIDOR
- ROOF DECK
- STAIR

PROJECT DATA

Floor Area Proposed: +/- 48,574SF

Dwelling Units Proposed:

A1	2BR/2.5BA	1,433 SF	6 DU
A2	2BR/2.5BA	1,410 SF	2 DU
B1	3BR/3.5BA	2,078 SF	3 DU
B2	3BR/3.5BA	1,746 SF	3 DU
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21 DU
1,826 SF AVG.
Rentable/Saleable 38,358 sf

PROJECT DATA

Parking Required:
2.5 Stalls/Unit
53 *Parking Stalls*

Parking Provided:
Level B1

13	Standard Stalls
13	Guest Stalls
3	ADA Stalls
26	Tandem Stalls
55	**Total**

BUILDING GROSS AREA	
Level 1	
AMENITY	1,829 SF
CIRCULATION	3,036 SF
UNITS	13,357 SF
	18,222 SF
Level 2	
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UNITS	14,767 SF
	17,428 SF
Level 3	
CIRCULATION	2,701 SF
UNITS	10,205 SF
	12,906 SF
	48,556 SF

BUILDING SALEABLE - UNIT AREA		
Level 1	UNITS	13,357 SF
Level 2	UNITS	14,767 SF
Level 3	UNITS	10,205 SF
		38,329 SF

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Ford Road Residential
Newport Beach, CA

REVISIONS

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SHEET TITLE
FLOOR PLAN - L3
LEVEL 3

SHEET NUMBER
A1.03

JOB NO. 2015.10197
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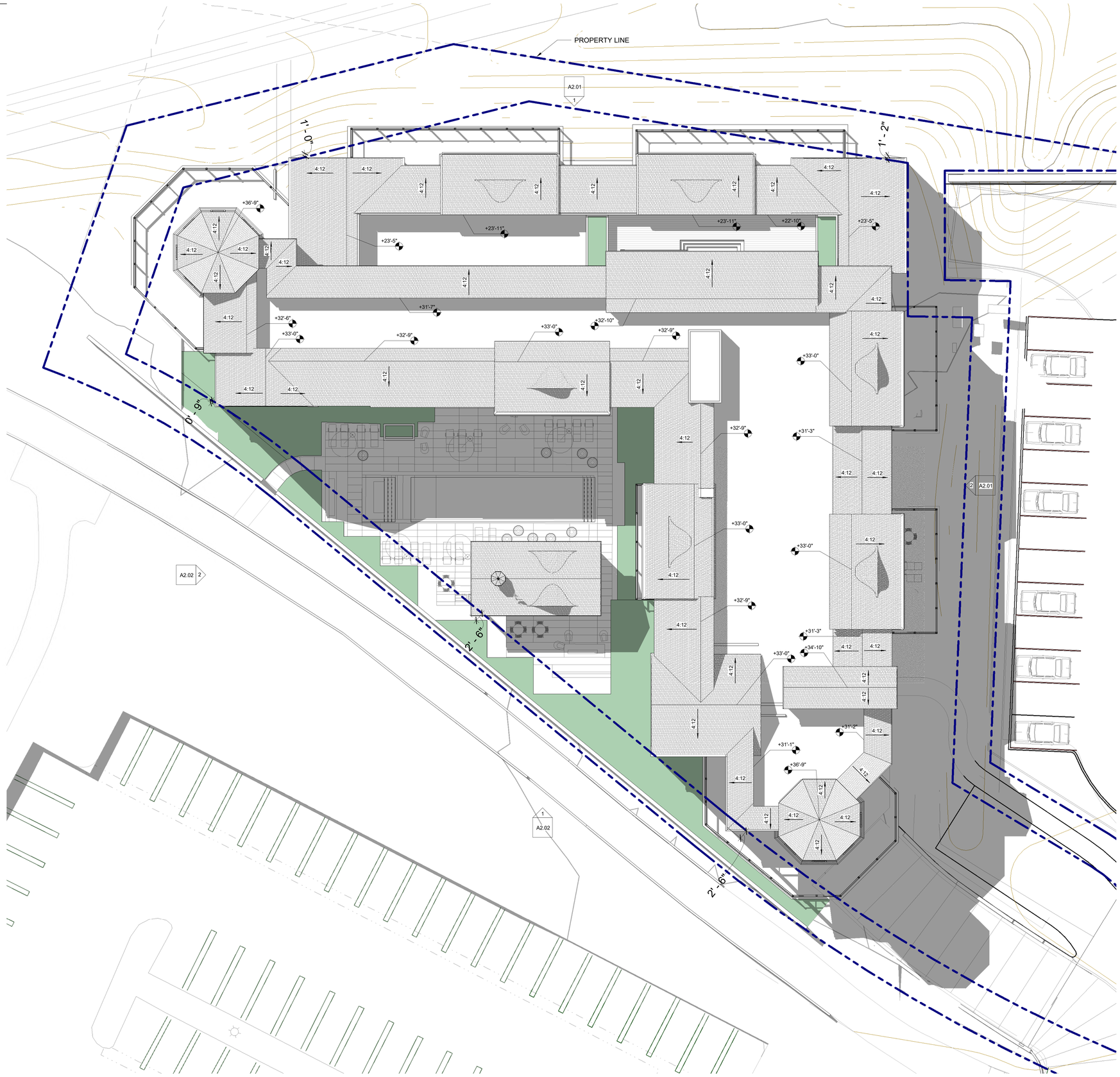

ROOF PLAN 3/32" = 1'-0" 1

BUILDING PLAN LEGEND

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Newport Beach, CA

REVISIONS

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SHEET TITLE
ROOF PLAN

SHEET NUMBER
A1.04

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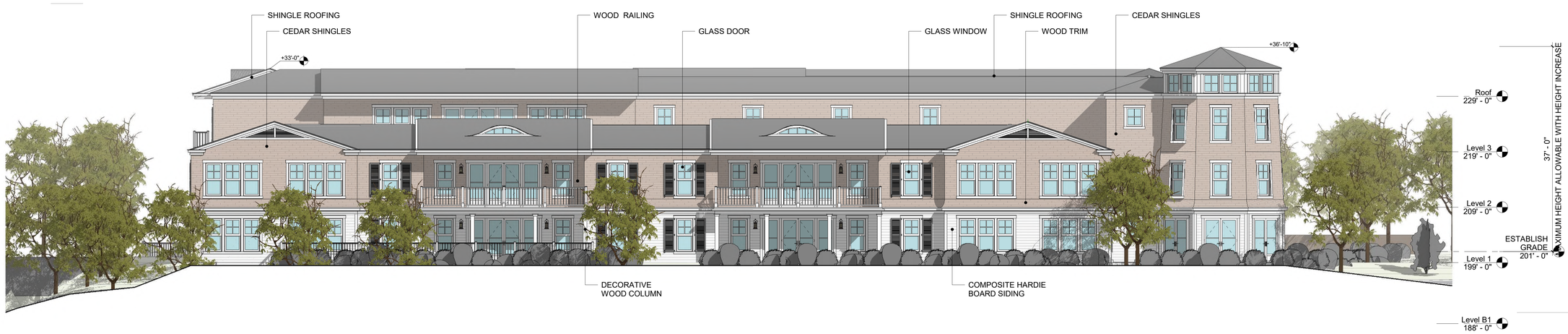

Ext Elev North 1/8" = 1'-0" | 1

Ext Elev East 1/8" = 1'-0" | 2

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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A2.01

JOB NO.	2015.10197
DATE	2019-04-08
SCALE	1/8" = 1'-0"

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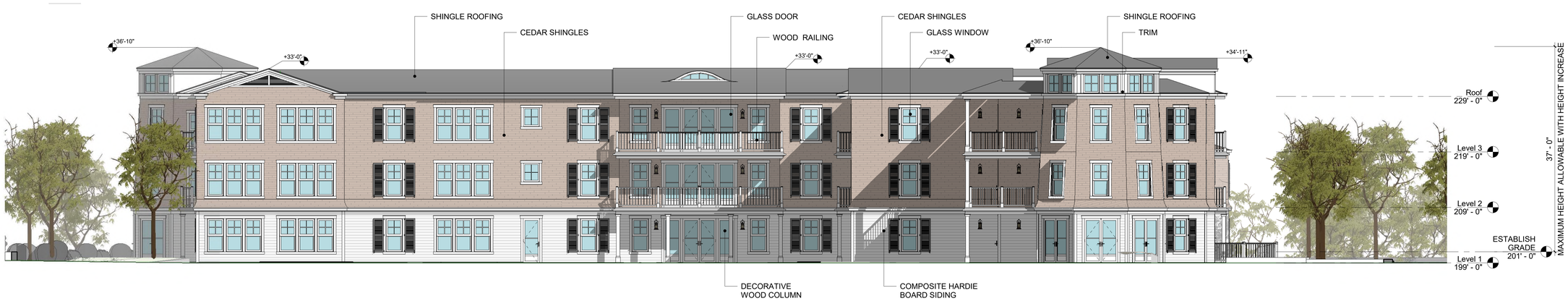

Ext Elev South 1/8" = 1'-0" | 1

Ext Elev West 1/8" = 1'-0" | 2

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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A2.02

JOB NO.	2015.10197
DATE	2019-04-08
SCALE	1/8" = 1'-0"

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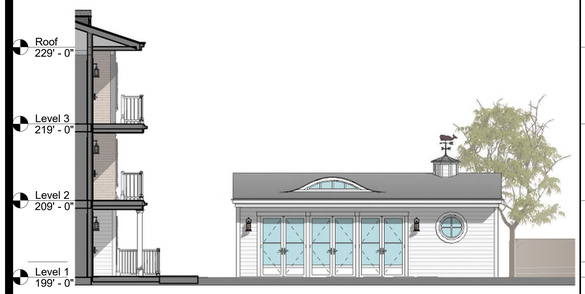
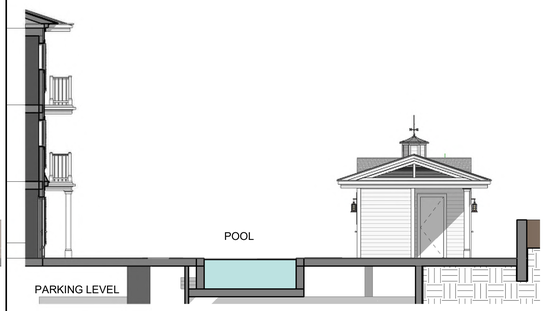
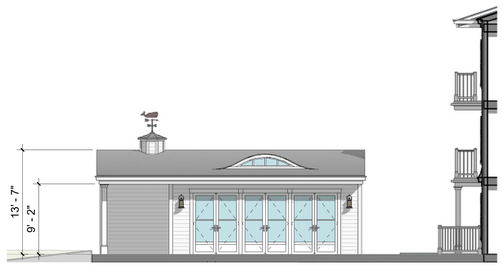


PR North Elevation 1/8" = 1'-0" **4**



PR West Elevation 1/8" = 1'-0" **3**



PR South Elevation 1/8" = 1'-0" **2**

PR East Elevation 1/8" = 1'-0" **1**

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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.03

JOB NO. 2015.10197
DATE 2019-04-08
SCALE 1/8" = 1'-0"

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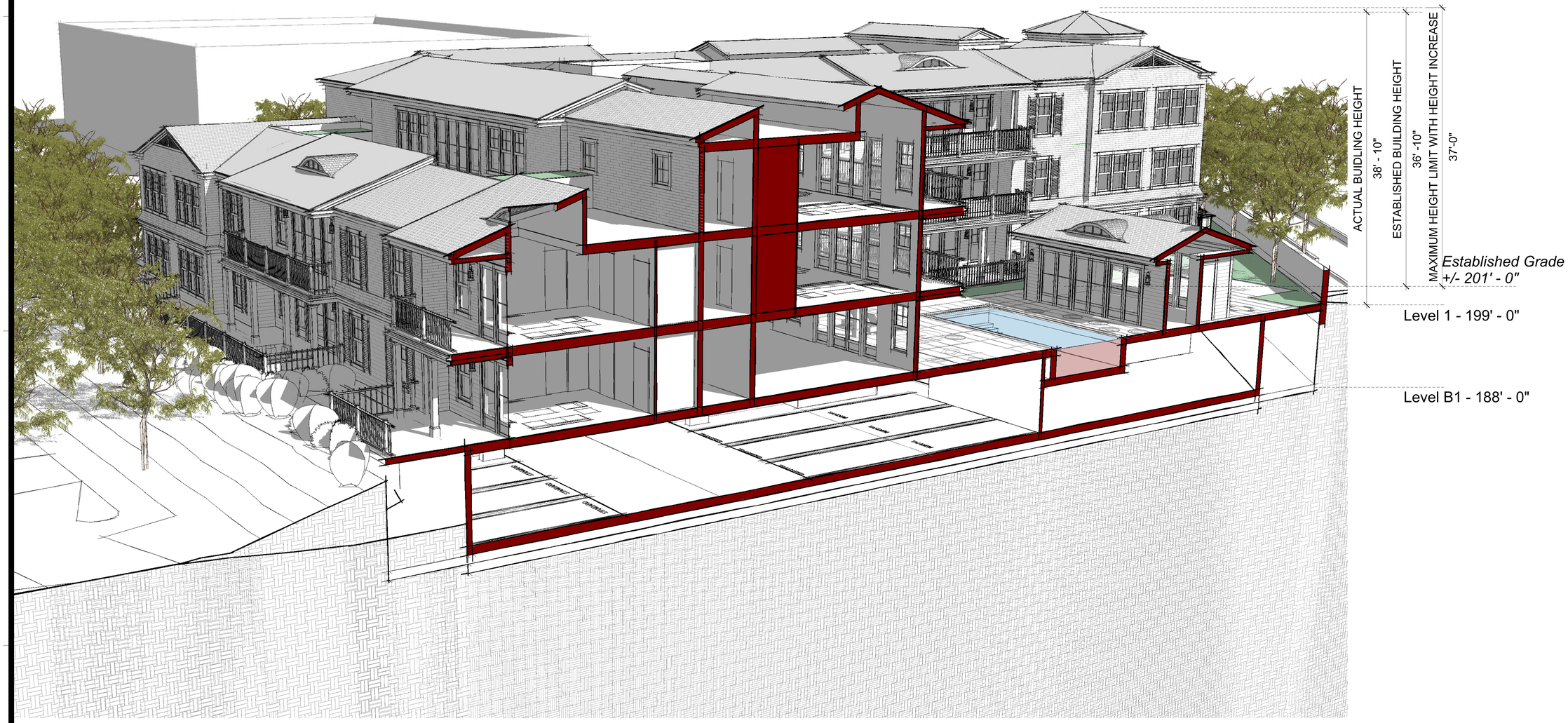

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Ford Road Residential

Newport Beach, CA

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SHEET TITLE

SECTION PERSPECTIVE

SHEET NUMBER

A3.00

JOB NO. 2015.10197

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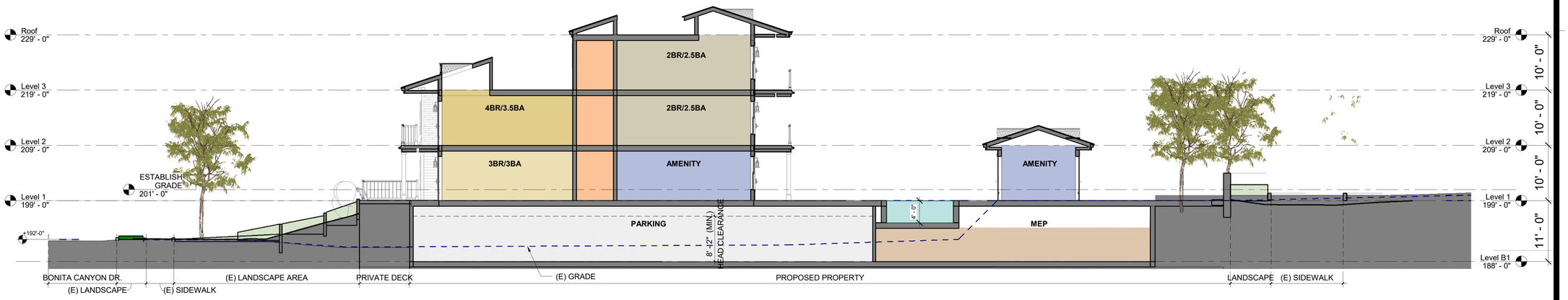
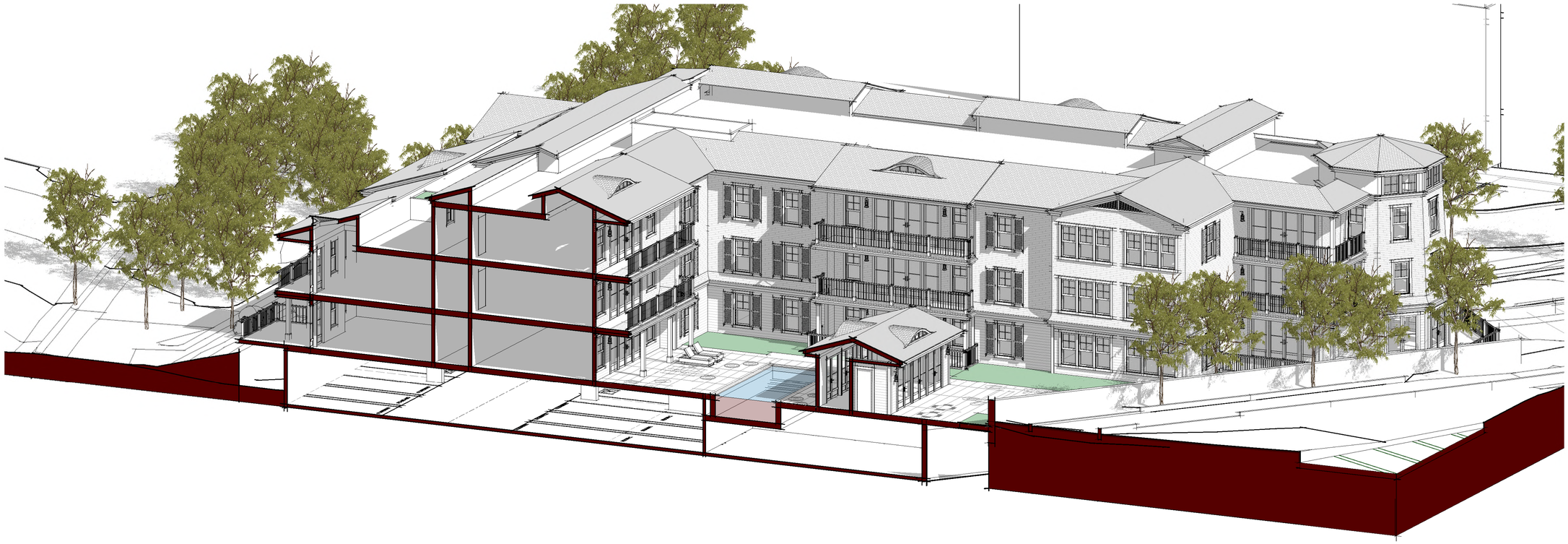


BUILDING SECTION 1 1/8" = 1'-0" 1



3D building section 1 2

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SHEET TITLE
BUILDING SECTION

SHEET NUMBER
A3.01

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DATE 2019-04-08
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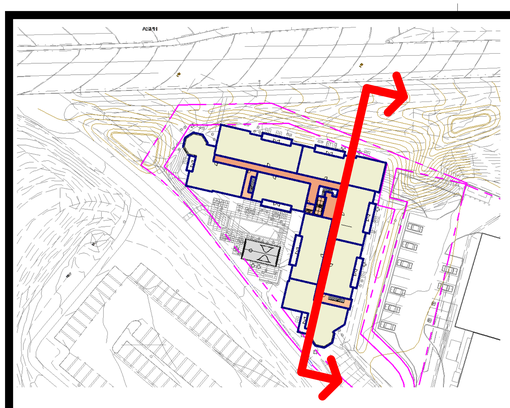
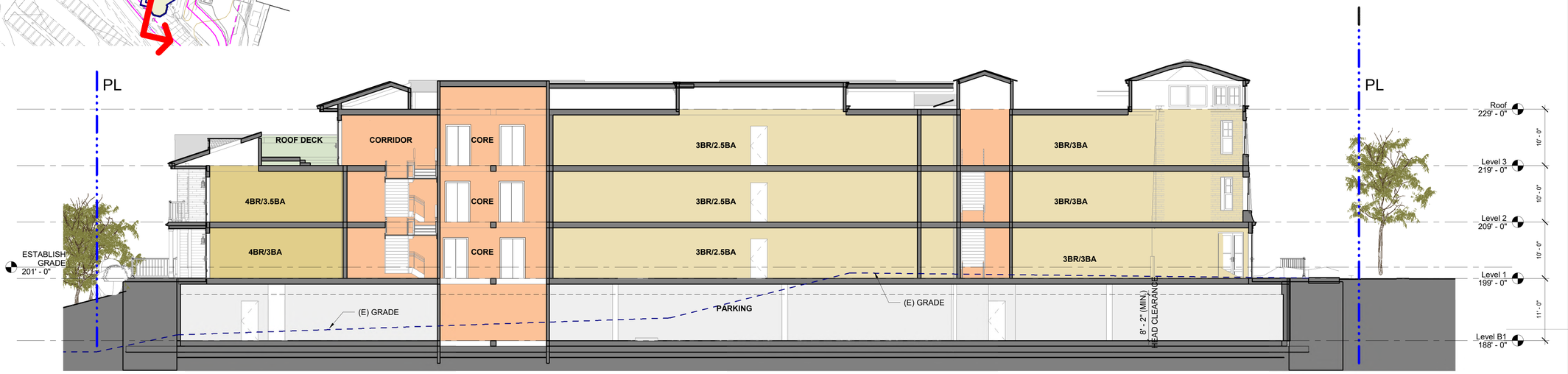
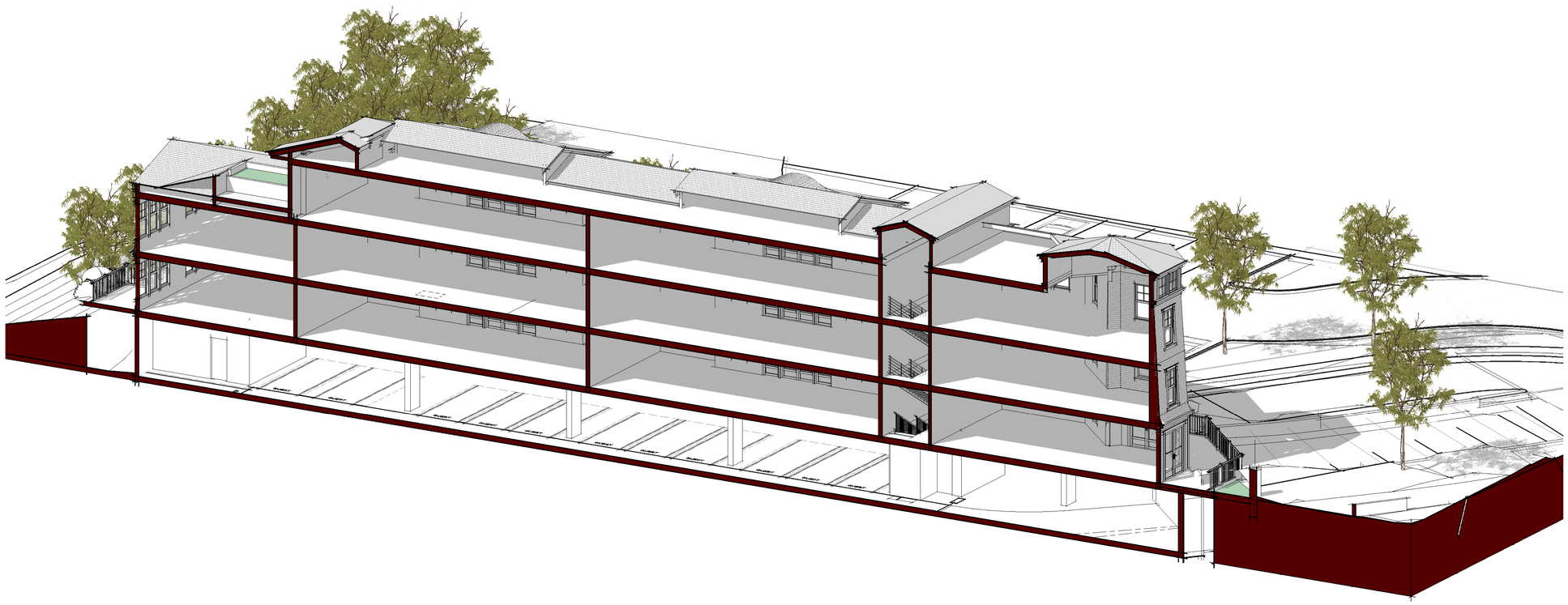




BUILDING SECTION 2 | 1/8" = 1'-0" | 1



3D building section 2 | 2

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SHEET TITLE

BUILDING SECTION

SHEET NUMBER

A3.02

JOB NO. 2015.10197

DATE 2019-04-08

SCALE As indicated

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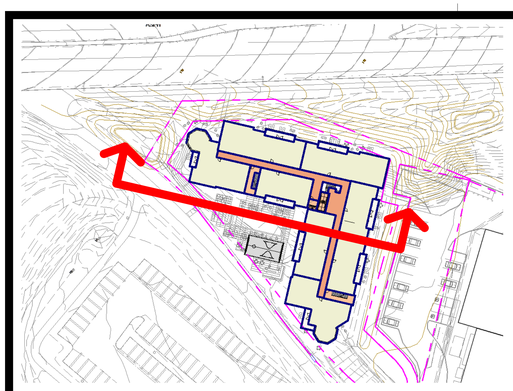
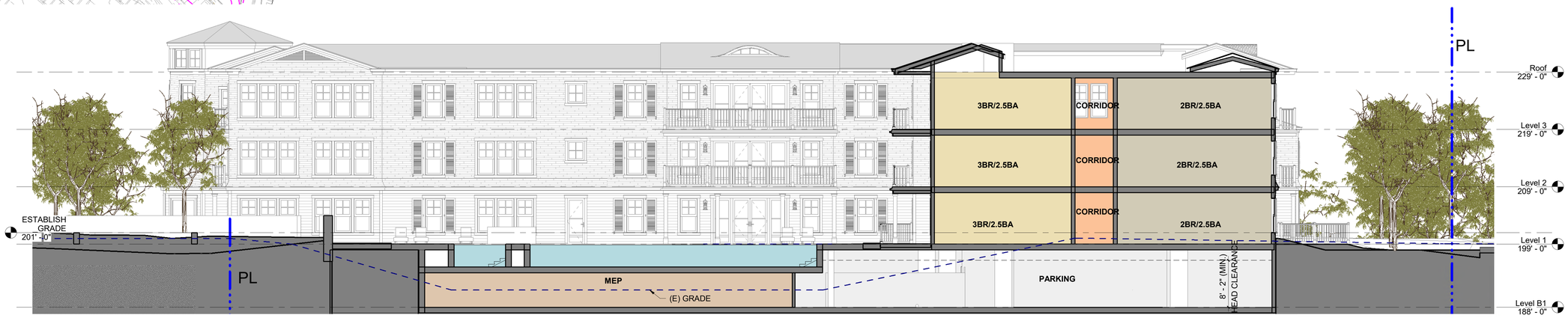
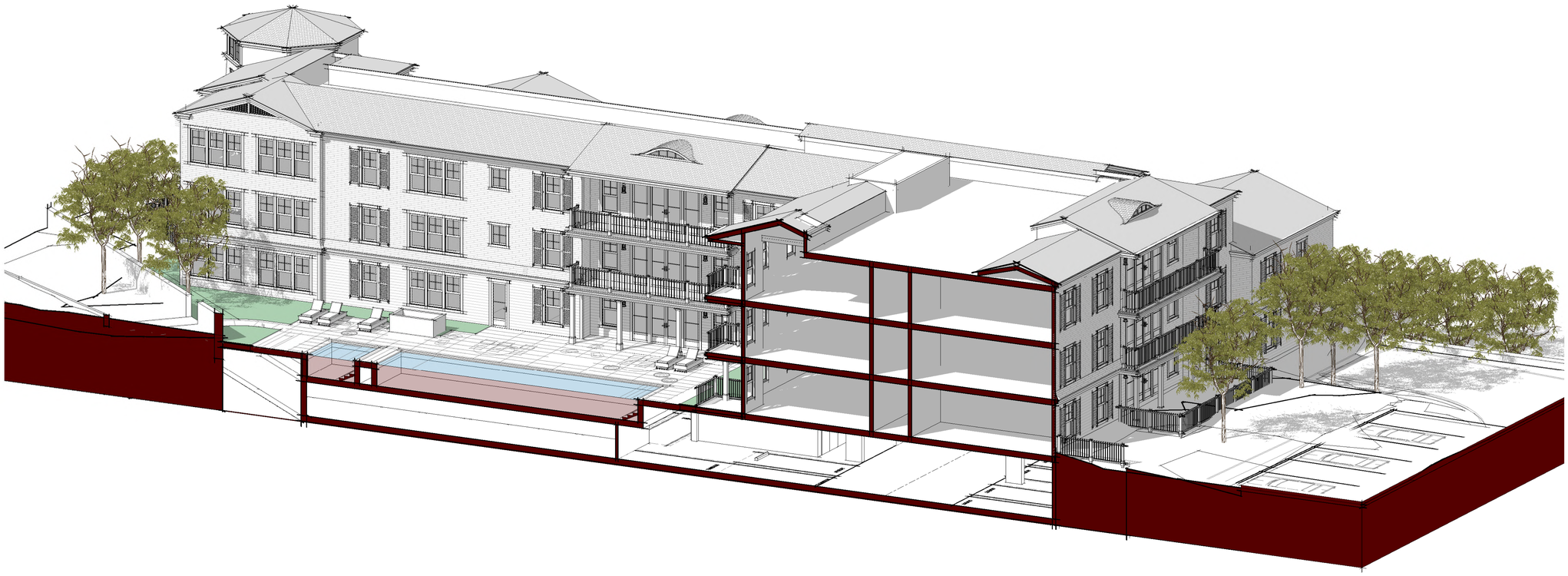




BUILDING SECTION 3 1/8" = 1'-0" **1**



3D building section 3 **2**

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SHEET TITLE

BUILDING SECTION

SHEET NUMBER

A3.03

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SHEET TITLE

RENDERING

SHEET NUMBER

A4.01

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SHEET TITLE

3D PERSPECTIVE

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SHEET TITLE

3D PERSPECTIVE

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SHEET TITLE

3D PERSPECTIVE

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SHEET TITLE

GOOGLE EARTH VIEW 1

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A5.01

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GOOGLE EARTH VIEW 2

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SHEET TITLE

GOOGLE EARTH VIEW 3

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A5.03

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SHEET TITLE

GOOGLE EARTH VIEW 4

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A5.04

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