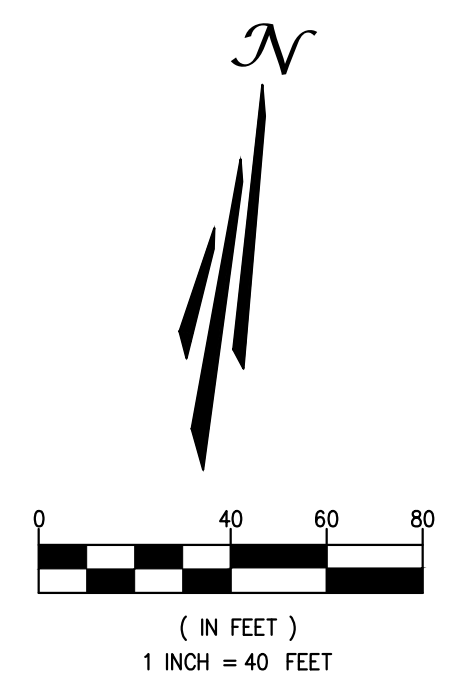


NOTE:
ALL SEWER IMPROVEMENTS SHALL ADHERE TO CITY OF NEWPORT STANDARD PLANS.

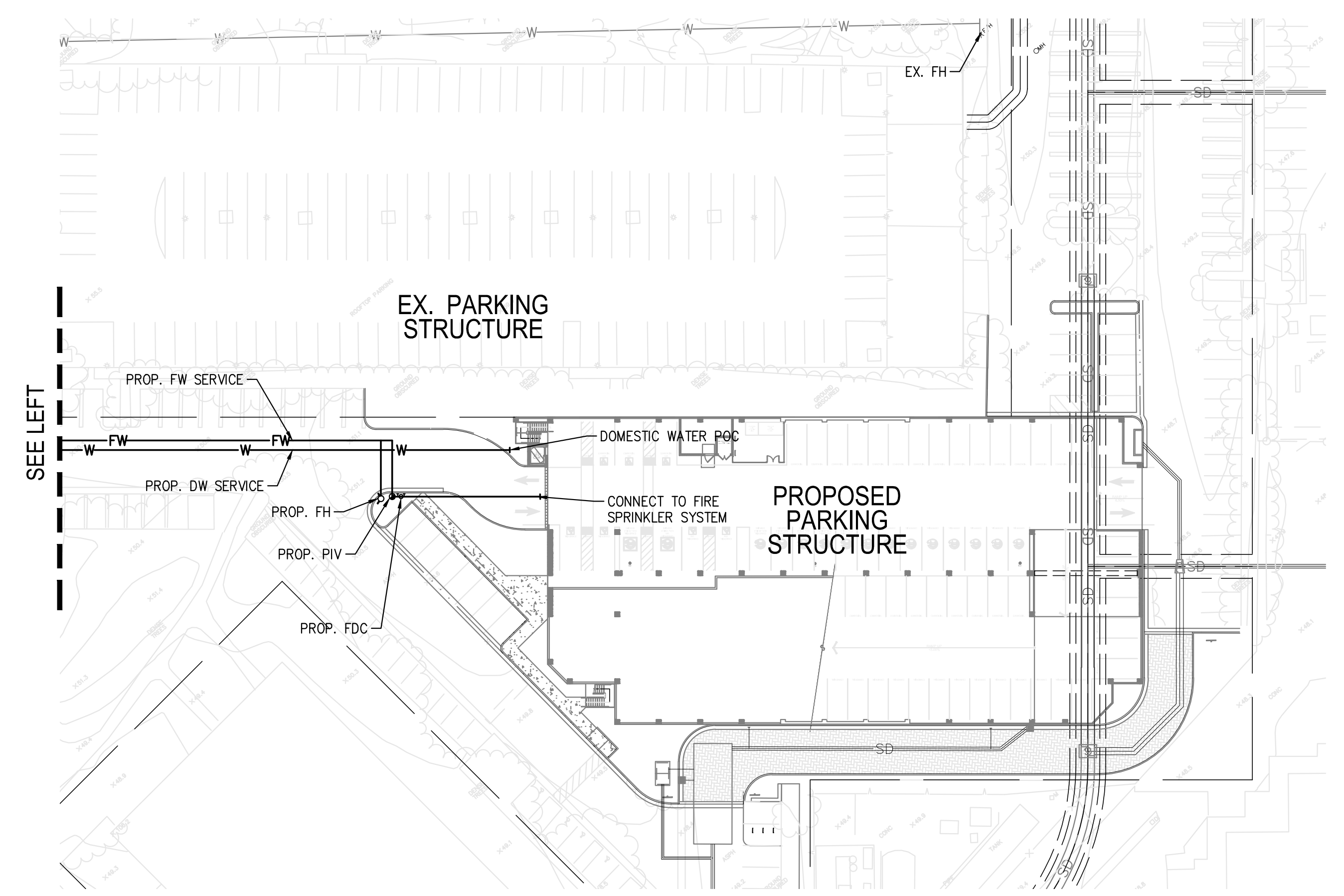
NOTE:
ALL WATER IMPROVEMENTS SHALL ADHERE TO IRVINE RANCH WATER DISTRICT STANDARD PLANS.



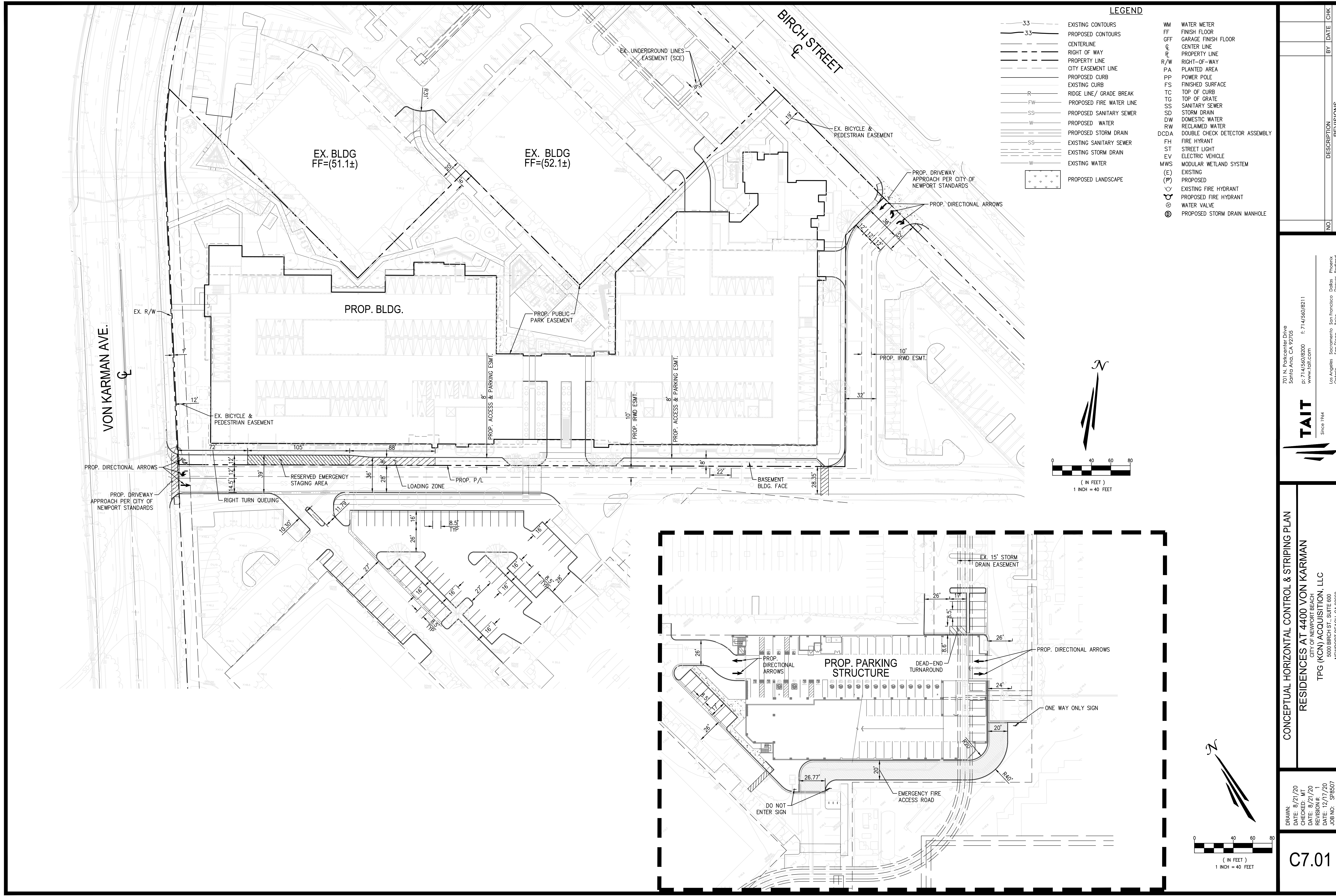
LEGEND

---	EXISTING CONTOURS	WM	WATER METER
---	PROPOSED CONTOURS	FF	FINISH FLOOR
---	CENTERLINE	OFF	GARAGE FINISH FLOOR
---	RIGHT OF WAY	CL	CENTER LINE
---	PROPERTY LINE	PL	PROPERTY LINE
---	CITY EASEMENT LINE	PA	PLANTED AREA
---	PROPOSED CURB	PP	POWER POLE
---	EXISTING CURB	FS	FINISHED SURFACE
---	RIDGE LINE / GRADE BREAK	TC	TOP OF CURB
---	PROPOSED FIRE WATER LINE	TG	TOP OF GRATE
---	PROPOSED SANITARY SEWER	SS	SANITARY SEWER
---	PROPOSED WATER	SD	STORM DRAIN
---	PROPOSED STORM DRAIN	DW	DOMESTIC WATER
---	EXISTING SANITARY SEWER	RW	RECLAIMED WATER
---	EXISTING STORM DRAIN	DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
---	EXISTING WATER	FH	FIRE HYDRANT
---	MATCH LINE	ST	STREET LIGHT
---		EV	ELECTRIC VEHICLE
---		CAV	CLEAN AIR VEHICLE
---		(E)	EXISTING
---		(P)	PROPOSED
---		⊙	EXISTING FIRE HYDRANT
---		⊙	PROPOSED FIRE HYDRANT
---		⊙	WATER VALVE
---		⊙	PROPOSED STORM DRAIN MANHOLE

---	PROPOSED LANDSCAPE		

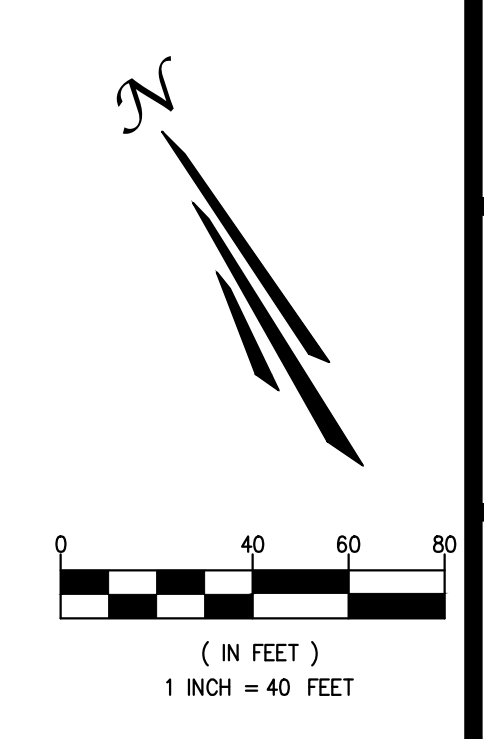
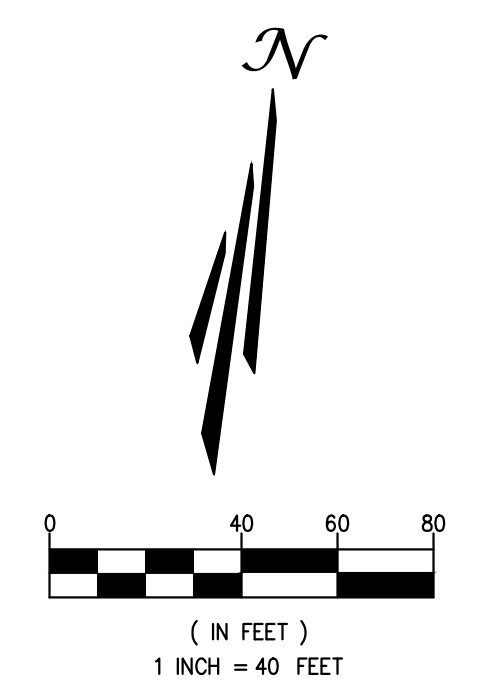


<p>TAIT Since 1964</p> <p>701 N. Parkcenter Drive Santa Ana, CA 92705 p: 714/560/8200 f: 714/560/8211 www.tait.com</p> <p>Los Angeles Sacramento San Francisco Dallas Phoenix Ontario San Diego Boise Denver Portland</p>	<p>CONCEPTUAL UTILITY PLAN</p> <p>RESIDENCES AT 4400 VON KARMAN CITY OF NEWPORT BEACH</p> <p>TPG (KCN) ACQUISITION, LLC 5000 BIRCH ST., SUITE 600 NEWPORT BEACH, CA 92660</p>
<p>Drawn: 8/21/20 Checked: MT Date: 8/21/20 Revision #: 1 Date: 12/17/20 Job No: SP8507</p>	<p>NO. DESCRIPTION REVISIONS BY DATE CHK</p>
<p>C6.01</p>	



LEGEND

- | | | | |
|-----|--------------------------|------|--------------------------------|
| --- | EXISTING CONTOURS | WM | WATER METER |
| --- | PROPOSED CONTOURS | FF | FINISH FLOOR |
| --- | CENTERLINE | GFF | GARAGE FINISH FLOOR |
| --- | RIGHT OF WAY | CL | CENTER LINE |
| --- | PROPERTY LINE | PL | PROPERTY LINE |
| --- | CITY EASEMENT LINE | R/W | RIGHT-OF-WAY |
| --- | PROPOSED CURB | PA | PLANTED AREA |
| --- | EXISTING CURB | PP | POWER POLE |
| --- | RIDGE LINE/ GRADE BREAK | FS | FINISHED SURFACE |
| --- | PROPOSED FIRE WATER LINE | TC | TOP OF CURB |
| --- | PROPOSED SANITARY SEWER | TG | TOP OF GRADE |
| --- | PROPOSED WATER | SS | SANITARY SEWER |
| --- | PROPOSED STORM DRAIN | SD | STORM DRAIN |
| --- | EXISTING SANITARY SEWER | DW | DOMESTIC WATER |
| --- | EXISTING STORM DRAIN | RW | RECLAIMED WATER |
| --- | EXISTING WATER | DCDA | DOUBLE CHECK DETECTOR ASSEMBLY |
| --- | PROPOSED LANDSCAPE | FH | FIRE HYDRANT |
| | | ST | STREET LIGHT |
| | | EV | ELECTRIC VEHICLE |
| | | MWS | MODULAR WETLAND SYSTEM |
| | | (E) | EXISTING |
| | | (P) | PROPOSED |
| | | ⊕ | EXISTING FIRE HYDRANT |
| | | ⊕ | PROPOSED FIRE HYDRANT |
| | | ⊕ | WATER VALVE |
| | | ⊕ | PROPOSED STORM DRAIN MANHOLE |



<p>701 N. Parkcenter Drive Santa Ana, CA 92705 p: 714/560/8200 f: 714/560/8211 www.tait.com</p> <p>TAIT Since 1964</p> <p>Los Angeles Sacramento San Francisco Dallas Phoenix Ontario San Diego Boise Denver Portland</p>	<p>CONCEPTUAL HORIZONTAL CONTROL & STRIPING PLAN</p> <p>RESIDENCES AT 4400 VON KARMAN CITY OF NEWPORT BEACH TPG (KN) ACQUISITION, LLC 5000 BIRCH ST., SUITE 600 NEWPORT BEACH, CA 92660</p>
<p>DRAWN: 8/21/20 DATE: 8/21/20 CHECKED: MT DATE: 8/21/20 REVISION #: 1 DATE: 12/17/20 JOB NO.: SP8507</p>	<p>NO. DESCRIPTION REVISIONS BY DATE CHK</p>
<p>C7.01</p>	

The Residences at Koll Center PARKING STRUCTURE

Newport Beach California

THE
RESIDENCES
AT KOLL
CENTER

Parking
Structure

NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
EAST TOWER
SUITE 600
NEWPORT BEACH, CA 92660

PROJECT
DATA - 1

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Project Number
Sheet Scale
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Plan Check Date
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Plot Date
12.16.2020

D E L T A
09.25.2020
10.06.2020
10.28.2020
12.17.2020

S H E E T

GA0.1

PROJECT TEAM

OWNER:
TPG (KCN) ACQUISITION LLC.
5000 BIRCH ST. EAST TOWER
SUITE #600
NEWPORT BEACH, CA 92660
(949) 267-1507
ATTN:

OWNER CONSULTANTS

ARCHITECT:
ARCHITECTS ORANGE
144 N. ORANGE STREET
ORANGE, CA 92666
(714) 639-9860
ATTN: RC ALLEY / JASON RUPP

ARCHITECT CONSULTANTS

STRUCTURAL ENGINEER:
SENECA ENGINEERS
23275 SOUTH POINTE DRIVE
SUITE 209
LAGUNA HILLS, CA. 92653
(949) 595-8181
ATTN: DIRK BONDY
ATTN: BRYAN ALLRED

SHEET INDEX

ARCHITECTURAL:

GA0.1	COVER SHEET
GA2.1	FIRST TIER PLAN
GA2.2	SECOND TIER PLAN
GA2.3	THIRD TIER PLAN
GA2.4	ROOF EXTENSION PLAN
GA3.1	BUILDING ELEVATIONS
GA3.2	BUILDING ELEVATIONS

Parking Provided

Commercial	Accessible Stalls		Standard Stalls		EV Stalls			Total
	Dis.	Van	Full Size	Compact	Disabled	Area (Sq. Ft.)	Area (Van)	
Level 1	0	0	22	0	0	0	0	22
Level 2	0	0	88	0	0	0	0	88
Level 3	0	0	88	0	0	0	0	88
Level 4	0	0	88	0	0	0	0	88
Total	0	0	200	0	0	0	0	200

Other*

When the Parking Structure	Area	Area (Sq. Ft.)	Area (Van)
Residential		21,000	21,000
Level 1		21,000	21,000
Level 2		21,000	21,000
Level 3		21,000	21,000

Required Accessible Stalls

Non-residential	Stalls	Factor	Standard	Van (1.5)	Total
Commercial	200	1.0	200	0	200

Required Electrical Vehicle Stalls

Non-residential	Stalls	Factor	Standard	Van (1.5)	Total
Commercial	200	1.0	200	0	200

Required Bicycle Stalls

Non-residential	Stalls	Factor	Bike Stalls	ADA (5%)	Total
Commercial (Short Term)	200	0%	0	0	0
Commercial (Long Term)	200	5%	10	1	11

CODE CLASSIFICATION	CODE CLASSIFICATION	CODE CLASSIFICATION																																																																																
<p>PROJECT : THE PROJECT IS AN S-2, TYPE IIA, OPEN PARKING STRUCTURE.</p> <p>STRUCTURAL SYSTEM: COLUMNS: CAST IN PLACE CONVENTIONAL SPREAD FOOTINGS FOOTINGS: MILD STEEL REINFORCED CONCRETE SLAB ON GRADE: POST TENSIONED CONCRETE ELEVATED SLABS</p> <p>OCCUPANCY: S-2, OPEN PARKING GARAGE (CBC SEC. 311) NATURALLY VENTILATED (CBC SEC. 504.3)</p> <p>TYPE OF CONSTRUCTION: TYPE IIB (CBC SEC. 504.3)</p> <p>SPRINKLERS: YES, NFPA 13</p> <p>ALLOWABLE HEIGHT & AREA (IIB)</p> <table border="1"> <tr> <td>HEIGHT (CBC TABLE 504.3)</td> <td>ALLOWED MODIFICATION:</td> <td>75' SPRINKLERED</td> <td>=</td> <td>???</td> </tr> <tr> <td>STORIES (CBC SEC. 504.4)</td> <td>ALLOWED: PROPOSED:</td> <td>4 / 3</td> <td>=</td> <td>4 (OK)</td> </tr> <tr> <td>TIER AREA (CBC TABLE 506.2)</td> <td>ALLOWED: PROPOSED:</td> <td>78,000 / 30,970 SQ. FT./TIER MAX.</td> <td>=</td> <td>78,000 (OK)</td> </tr> <tr> <td>TOTAL BUILDING AREA (CBC SEC. 506.4.1)</td> <td>ALLOWED: PROPOSED:</td> <td>104,000 / 92,910 SQ. FT. 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ALL STAIRS ARE A MINIMUM OF 4'-0" WIDE.</p> <p>AREAS OF REFUGE: NOT REQUIRED AT THE STAIRS (CBC SEC. 1009.3 EX. 2, AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED) NOT REQUIRED AT THE ELEVATOR (CBC SEC. 1009.4 EX. 2, AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED)</p> <p>OCCUPANT LOAD: S-2 200 GROSS</p>	HEIGHT (CBC TABLE 504.3)	ALLOWED MODIFICATION:	75' SPRINKLERED	=	???	STORIES (CBC SEC. 504.4)	ALLOWED: PROPOSED:	4 / 3	=	4 (OK)	TIER AREA (CBC TABLE 506.2)	ALLOWED: PROPOSED:	78,000 / 30,970 SQ. FT./TIER MAX.	=	78,000 (OK)	TOTAL BUILDING AREA (CBC SEC. 506.4.1)	ALLOWED: PROPOSED:	104,000 / 92,910 SQ. FT. MAX.	=	104,000 (OK)	PRIMARY STRUCTURAL FRAME:	0-HOUR	BEARING WALLS EXTERIOR:	0-HOUR	BEARING WALLS INTERIOR:	0-HOUR	NON-BEARING WALLS EXTERIOR:	SEE TABLE 602	NON-BEARING WALLS INTERIOR:	0-HOUR	FLOOR CONST. & SECONDARY MEMBERS:	0-HOUR	ROOF CONST. & SECONDARY MEMBERS:	0-HOUR	X < 5:	1-HOUR	5 <= X < 10:	1-HOUR	10 <= X < 30:	0-HOUR*	X >= 30:	0-HOUR	0 <= X < 3:	NOT PERMITTED	3 <= X < 5:	15% (UNPROTECTED, SPRINKLERED)	5 <= X < 10:	25% (UNPROTECTED, SPRINKLERED)	10 <= X < 15:	45% (UNPROTECTED, SPRINKLERED)	15 <= X < 20:	75% (UNPROTECTED, SPRINKLERED)	20 <= X < 25:	NO LIMIT (UNPROTECTED, SPRINKLERED)	25 <= X < 30:	NO LIMIT (UNPROTECTED, SPRINKLERED)	30 or GREATER:	NO LIMIT	<p>(CBC TABLE 1004.5) WORST CASE 30,000 / 200 = 155</p> <p>EXITS: (CBC TABLE 1006.3.2) OCCUPANCY LOAD: 1500 NUMBER OF EXITS REQUIRED: 2 501-1000: 3 MORE THAN 1000: 4</p> <p>REQUIRED: THEREFORE... 155 OCCUPANTS: 2 EXITS @ 30' MIN PROVIDED: 2 EXITS @ 48'</p> <p>SEPARATION: (CBC SEC. 1007.1.1 EX.2) THE SEPARATION DISTANCE SHALL NOT BE LESS THAN 1/3 LENGTH OF THE MAX. OVERALL DIAGONAL DIMENSION OF THE AREA SERVED WHEN AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED.</p> <p>EXIT TRAVEL DISTANCE: (CBC TABLE 1017.2) S-2 400' AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED.</p> <p>COMMON PATH OF TRAVEL: (CBC TABLE 1006.2.1) 100' SPRINKLERED BUILDING.</p> <p>CLEAR HEIGHT: (CBC SEC. 406.2.2) 7'-0" MIN. CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS.</p> <p>ADA ACCESSIBILITY: (CBC SEC. 11B-502.5) 8'-2" MIN. CLEAR HEIGHT FROM ANY OBSTRUCTION IS MAINTAINED IN THE PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM.</p> <p>FIRE-RESISTANCE RATINGS:</p> <p>EXIT ACCESS STAIRS: NOT REQUIRED IN OPEN PARKING STRUCTURES THAT SERVE ONLY THE PARKING STRUCTURE. (CBC SECTION 1019.3 EX. 6)</p> <p>ELEV. SHAFT: NOT RATED (CBC SECTION 406.5.9 AND 712.1.10.2)</p> <p>ELEVATOR HOISTWAY OPENING PROTECTION: NOT REQUIRED (CBC SEC. 3006.2 EX. 1, AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED)</p> <p>ELEV. LOBBY: NOT REQUIRED (CBC SEC. 3006.3, BECAUSE THERE IS NO ELEVATOR HOISTWAY OPENING PROTECTION REQUIRED)</p> <p>ELECTRICAL:</p> <table border="1"> <tr> <td>ELECTRICAL ROOM</td> <td>NON-RATED (2013 NFPA 13, 8.15.11.3)</td> </tr> <tr> <td>INVERTER ROOM</td> <td>NON-RATED (2013 NFPA 13, 8.15.11.3) (PROVIDE SPRINKLERS, ALL EQUIPMENT TO BE SHIELDED.)</td> </tr> </table>	ELECTRICAL ROOM	NON-RATED (2013 NFPA 13, 8.15.11.3)	INVERTER ROOM	NON-RATED (2013 NFPA 13, 8.15.11.3) (PROVIDE SPRINKLERS, ALL EQUIPMENT TO BE SHIELDED.)	<p>APPLICABLE CODES</p> <table border="1"> <tr> <td>CALIFORNIA BUILDING CODE (CBC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA BUILDING CODE 11B (CBC11B)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA MECHANICAL CODE (CMC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA PLUMBING CODE (CPC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA ELECTRICAL CODE (CEC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA ENERGY CODE (CEC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA FIRE CODE (CFC)</td> <td>2019</td> </tr> <tr> <td>CALIFORNIA GREEN BUILDING CODE</td> <td>2019</td> </tr> <tr> <td>2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</td> <td>2010</td> </tr> </table>	CALIFORNIA BUILDING CODE (CBC)	2019	CALIFORNIA BUILDING CODE 11B (CBC11B)	2019	CALIFORNIA MECHANICAL CODE (CMC)	2019	CALIFORNIA PLUMBING CODE (CPC)	2019	CALIFORNIA ELECTRICAL CODE (CEC)	2019	CALIFORNIA ENERGY CODE (CEC)	2019	CALIFORNIA FIRE CODE (CFC)	2019	CALIFORNIA GREEN BUILDING CODE	2019	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	2010
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Jason Rupp
Monday, October 29, 2020 12:44:10 PM
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**THE RESIDENCES
AT KOLL CENTER**

**Parking
Structure**

NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
EAST TOWER
SUITE 600
NEWPORT BEACH, CA 92660

**FIRST TIER
PLAN**

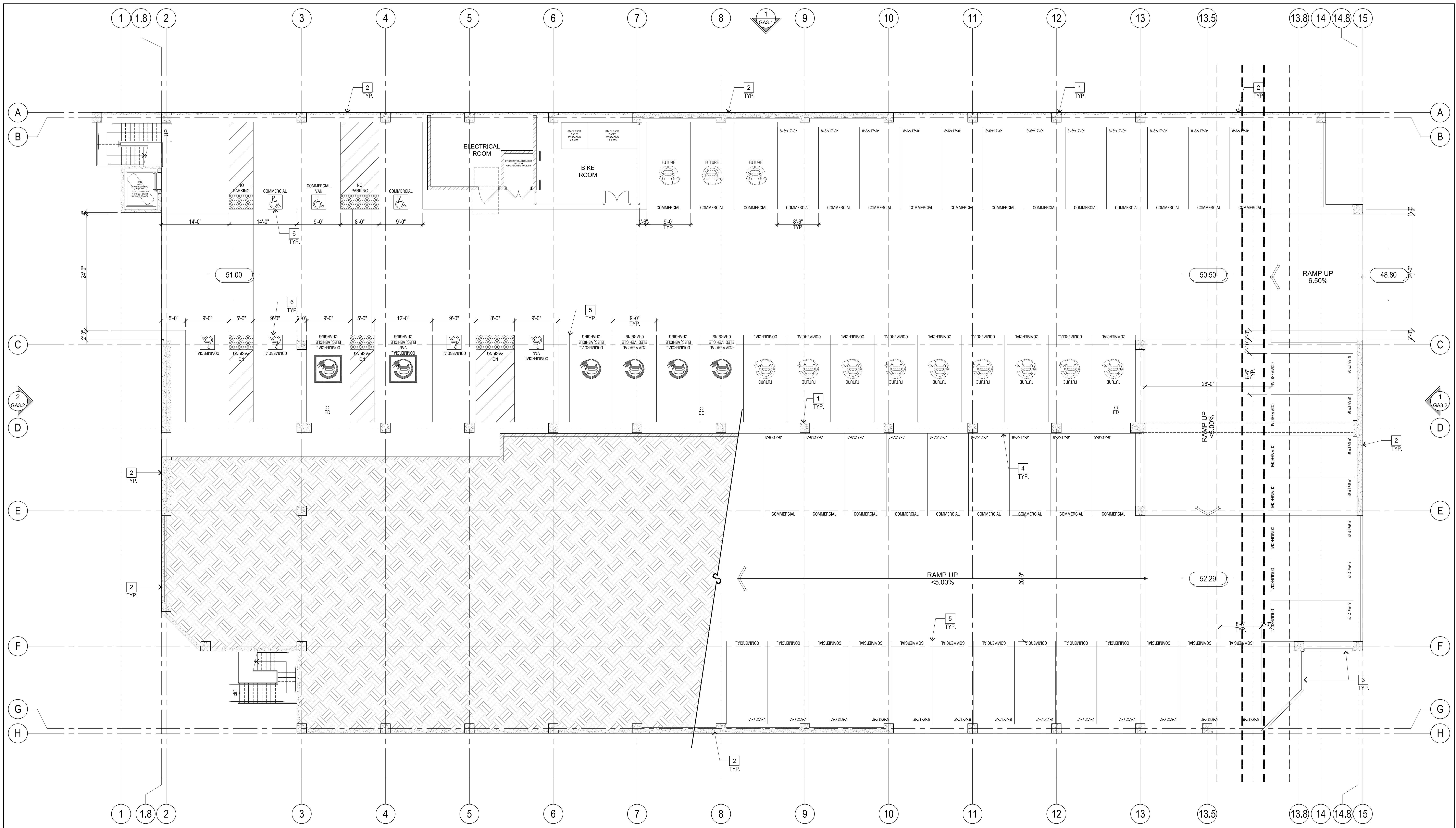
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10.06.2020
10.28.2020
12.17.2020

S H E E T

GA2.1



KEY NOTES

- 1 CONCRETE COLUMN WITH 3/4" CHAMFERED EDGES.
- 2 CONCRETE WALL.
- 3 CONCRETE VEHICLE IMPACT BARRIER.
- 4 BARRIER CABLE.
- 5 STALL STRIPING.
- 6 ACCESSIBLE PARKING STALL. 2% MAX. SLOPE EACH DIRECTION.

KEY PLAN

**THE RESIDENCES
AT KOLL
CENTER**

**Parking
Structure**

NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
SUITE 600
NEWPORT BEACH, CA 92660

**THIRD TIER
PLAN**

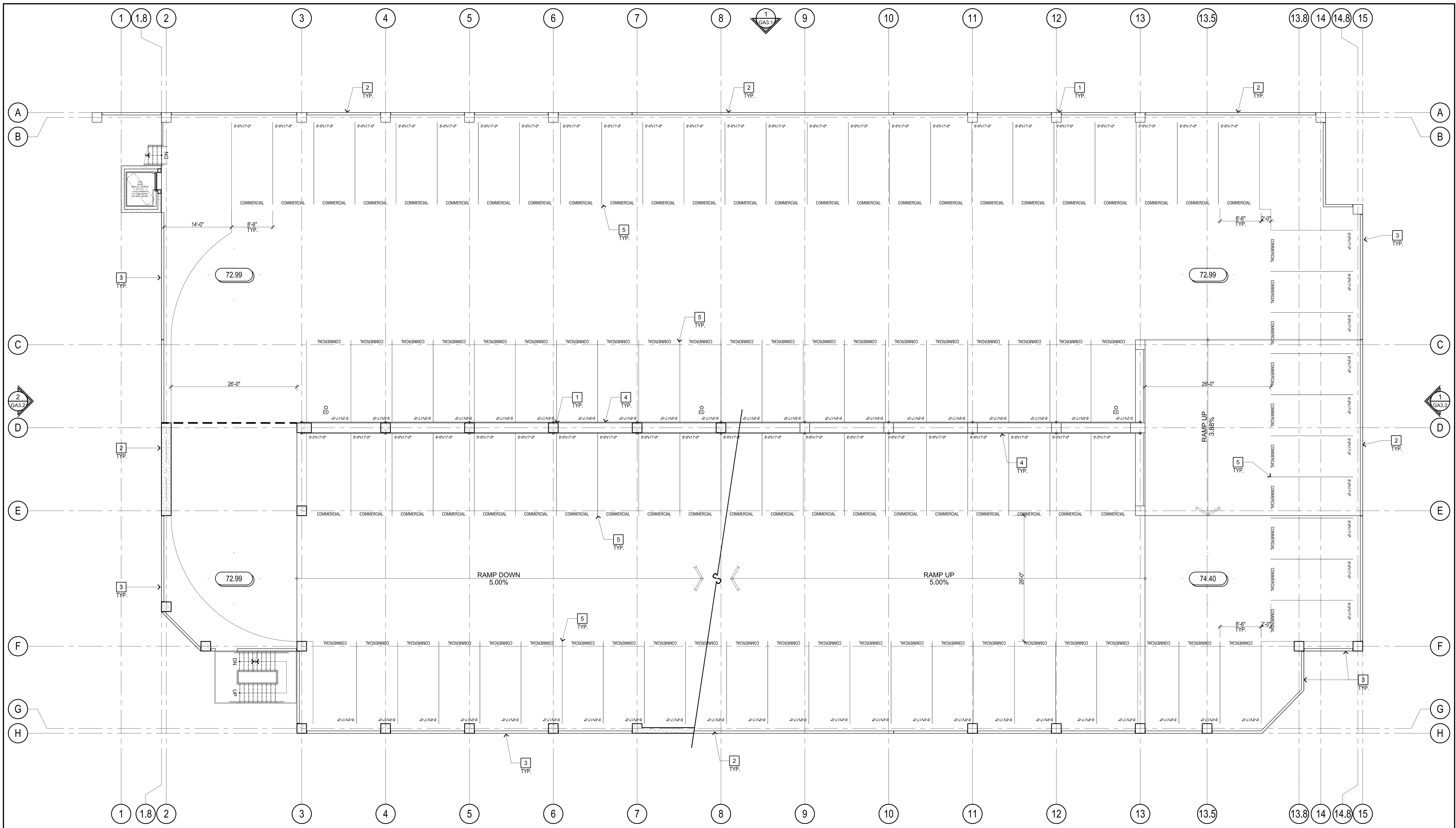
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D E L T A	
09.25.2020	
10.06.2020	
10.28.2020	
12.17.2020	

S H E E T

GA2.3



KEY NOTES

- 1 CONCRETE COLUMN WITH 3/4" CHAMFERED EDGES.
- 2 CONCRETE WALL.
- 3 CONCRETE VEHICLE IMPACT BARRIER.
- 4 BARRIER CABLE.
- 5 STALL STRIPING
- 6 ACCESSIBLE PARKING STALL, 2% MAX. SLOPE EACH DIRECTION.

KEY PLAN

**THE RESIDENCES
AT KOLL CENTER**

**Parking
Structure**

NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
EAST TOWER
SUITE 600
NEWPORT BEACH, CA 92660

**ROOF
EXTENSION
PLAN**

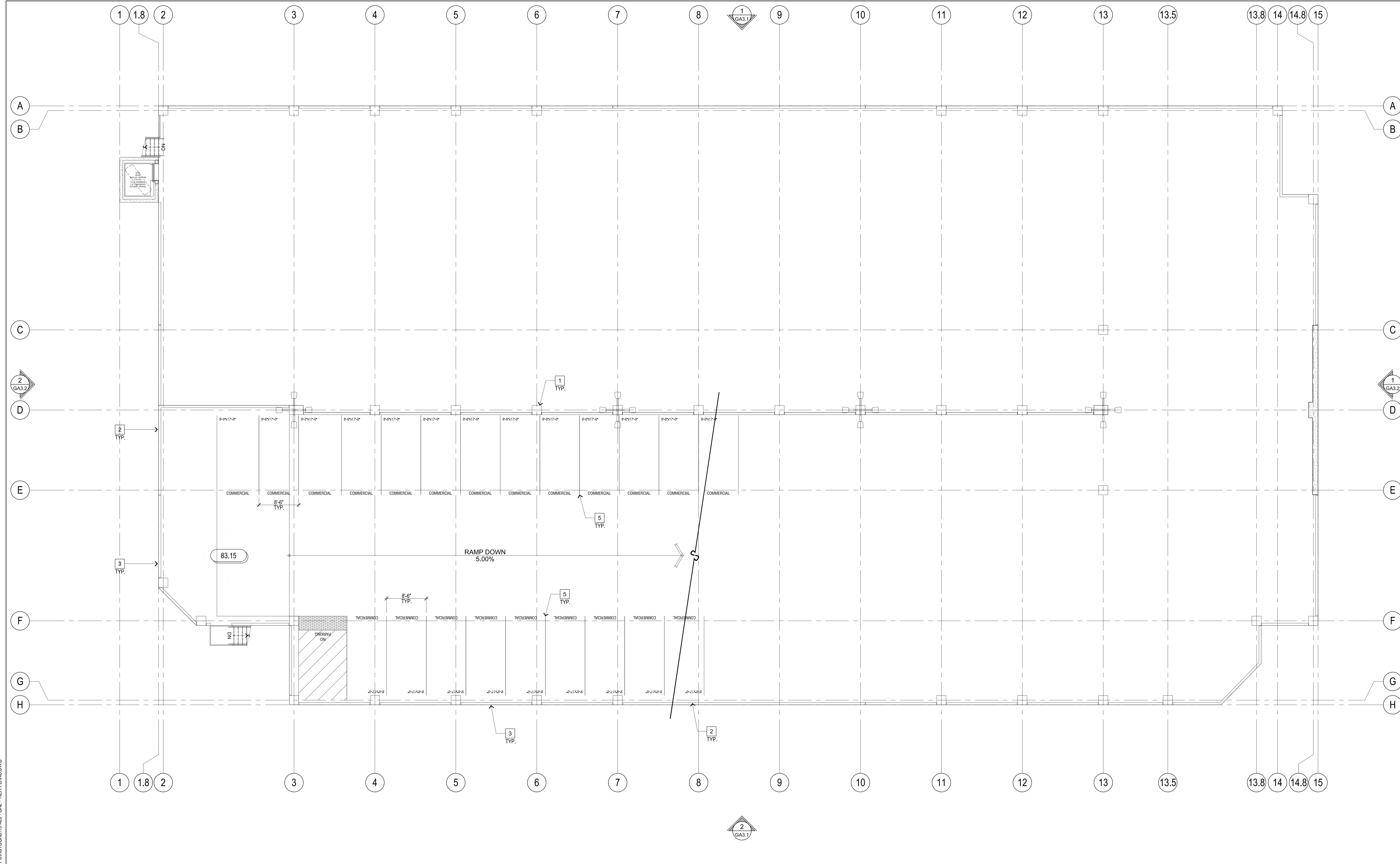
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Project Number	
Sheet Scale	
D A T E S	
Plan Check Date	
Bld Set Date	
Permit Date	
Plot Date	12.16.2020

D E L T A	
09.25.2020	
10.06.2020	
10.28.2020	
12.17.2020	

S H E E T

GA2.4

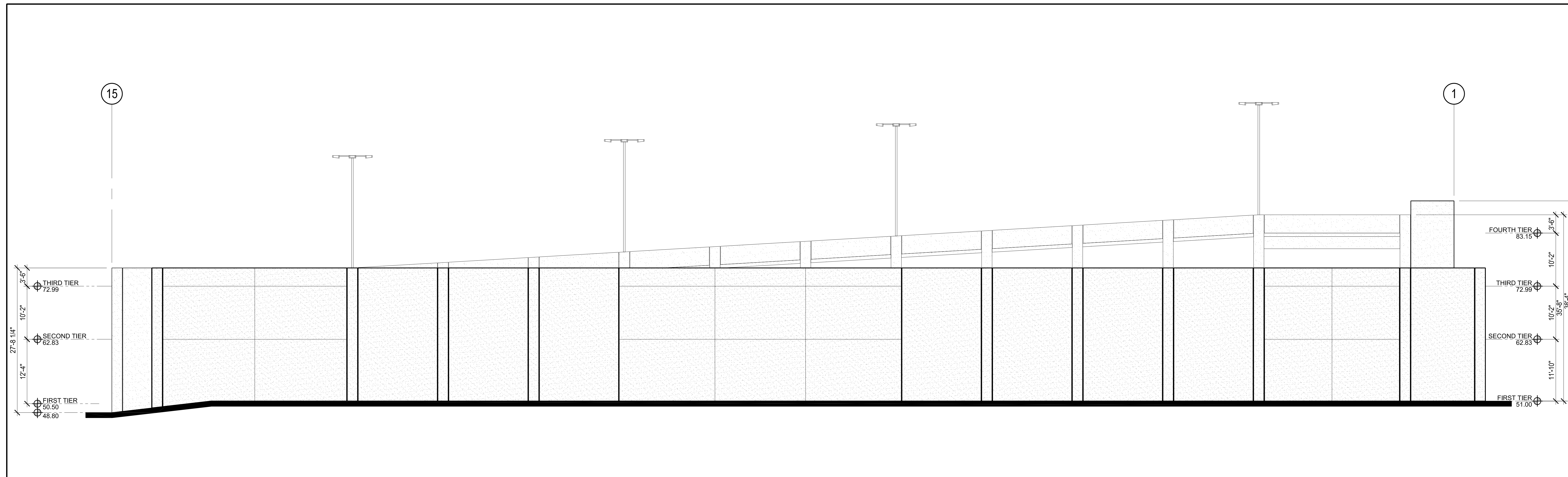


KEY NOTES

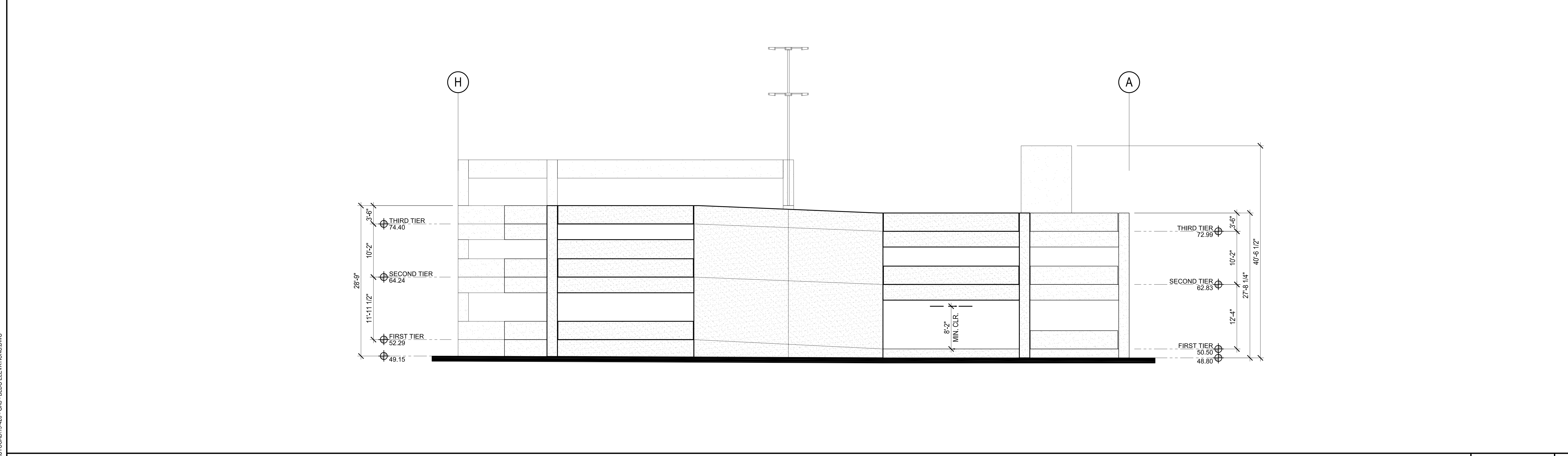
1	CONCRETE COLUMN WITH 3/4" CHAMFERED EDGES.
2	CONCRETE WALL.
3	CONCRETE VEHICLE IMPACT BARRIER.
4	BARRIER CABLE
5	STALL STRIPING
6	ACCESSIBLE PARKING STALL, 2% MAX. SLOPE EACH DIRECTION.

KEY PLAN	

Jason Rupp
 Monday, October 26, 2020 1:37:12 PM
 R:\2019\019-26 PICHERIE KOLL CENTER PARKING STRUCTURE NEWPORT BEACH\04-D-CO-PSA\AUTO\019-403-GA2-TIER PLANS.DWG



NORTH ELEVATION SCALE: 1/8" = 1'-0" 1



EAST ELEVATION SCALE: 1/8" = 1'-0" 2

**THE RESIDENCES
AT KOLL
CENTER**

**Parking
Structure**

NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
EAST TOWER
SUITE 600
NEWPORT BEACH, CA 92660

**BUILDING
ELEVATIONS**

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09.25.2020	
10.06.2020	
10.28.2020	
12.17.2020	

S H E E T

GA3.1

THE RESIDENCES AT KOLL CENTER
Parking Structure
NEWPORT BEACH, CA

TPG (KCN) ACQUISITION LLC.
5000 BIRCH STREET
EAST TOWER
SUITE 600
NEWPORT BEACH, CA 92660

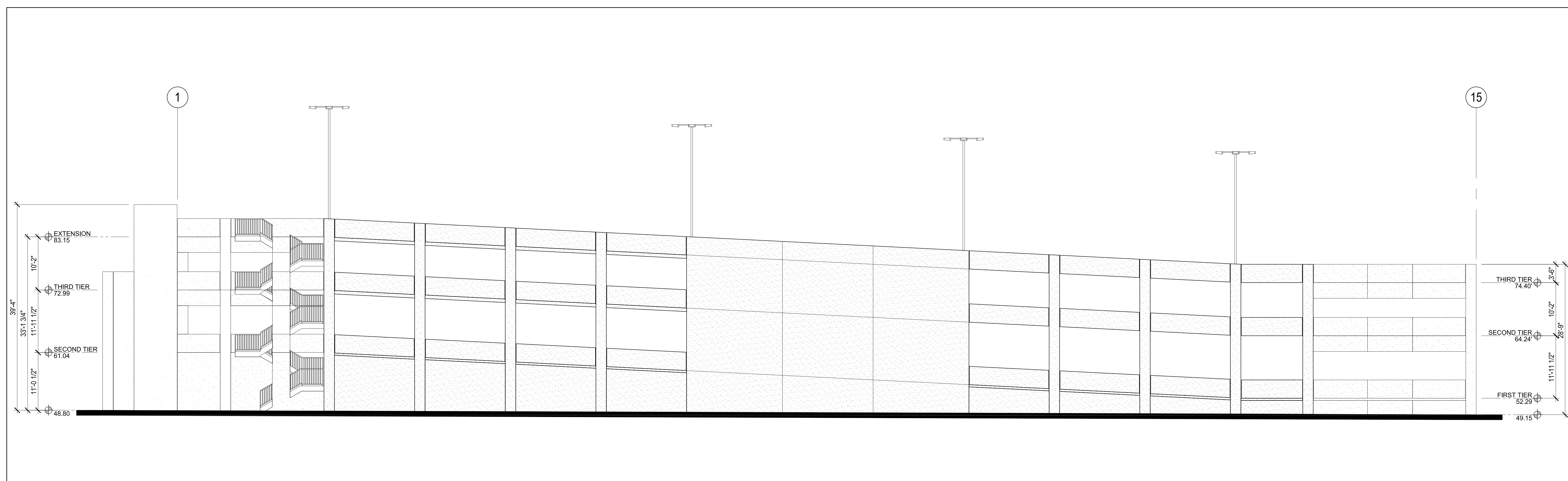
BUILDING ELEVATIONS

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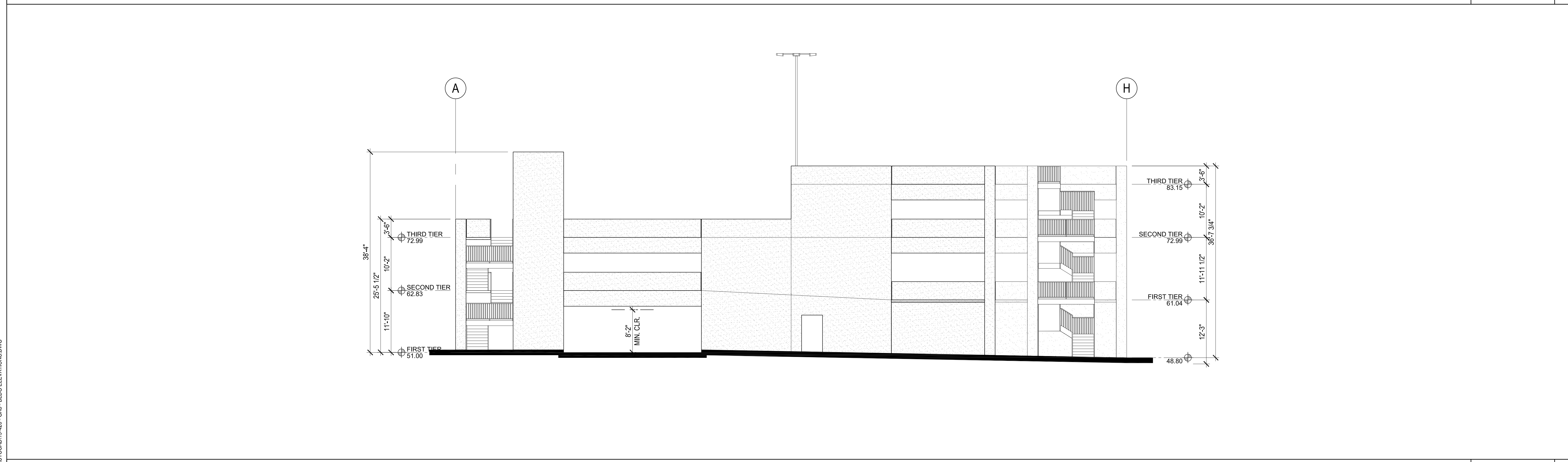
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Sheet Scale	_____
D A T E S	
Plan Check Date	_____
Bid Set Date	_____
Permit Date	_____
Plot Date	12.16.2020

D E L T A	
△ 09.25.2020	△ _____
△ 10.06.2020	△ _____
△ 10.28.2020	△ _____
△ 12.17.2020	△ _____
△ _____	△ _____
△ _____	△ _____

S H E E T
GA3.2



SOUTH ELEVATION SCALE: 1/8" = 1'-0" **1**



WEST ELEVATION SCALE: 1/8" = 1'-0" **2**

Jason Rupp
Monday, October 26, 2020 1:42:04 PM
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