



**CITY OF NEWPORT BEACH
ADMINISTRATIVE HEARING
STAFF REPORT**

October 17, 2024
Agenda Item No. 2

SUBJECT: Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

PERMITS: X2018-3245

SITE LOCATION: 540 Hazel Drive

APPLICANT: Michael Terry

PROPERTY OWNER: Christensen, Frank Dana Trust The Christensen-Brown Living Trust

BUILDING INSPECTOR: Rick LaBare, Senior Building Inspector

PREPARED BY: Tonee Thai, Chief Building Official - 949-718-1867, tthai@newportbeachca.gov

PROJECT SUMMARY

NEW 3,972 SQ. FT. SINGLE-FAMILY DWELLING WITH BASEMENT AND ATTACHED 463 SQ. FT. GARAGE

BUILDING PERMIT HISTORY

This project first started with Permit X2018-3245 issued on October 15, 2020. The referenced permit is subject to Newport Beach Municipal Code 15.02.095 with an initial three-year construction limit expiration date of October 15, 2023.

The first inspection was on January 18, 2022, for Footings and Foundation.

The last inspection was on June 21, 2024, for Shower Lath inspection.

Please refer to Attachment 1 for detailed permit history.

Notice of pending Three-Year Construction Limit expiration was provided on August 22, 2023.

Please refer to Attachment 2 for detailed notice activities.

BUILDING OFFICIAL EXTENSION

The Chief Building Official granted an extension for a three-year construction time limit on October 16, 2023, with expiration date of October 14, 2024. (Attachment 3).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

ATTACHMENTS

- Attachment No. 1 – Building Permit Inspection History
- Attachment No. 2 – Three-Year Construction Limit Notice Activities
- Attachment No. 3 – Building Official Extension

Attachment No. 1

Building Permit Inspection History

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

08/16/2021	08/16/2021	Other - Building	X2018-3245-A0028 71653	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	wip	Yes

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10/28/2021	10/28/2021	WQ-Best Management Practices	X2018-3245-A0029 01576	Correct on	No	Complete
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Checklist Item	OMMENTS	Approved
Other	IMMEDIATELY CLEAN UP ALL TRASH/DEBRIS ONSITE AND DEVELOP A RUNNOFF PLAN TO KEEP EVERYTHI ONSITE TO PREVENT ANYTHING FROM ENTERING BL GULLY	No

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	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchlds@ccarchitect.com 2	07/07/2022
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	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022

01/18/2022	01/18/2022	Footings and Foundation	X2018-3245-A0029 31836	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR PINK HIGHLIGHTED (15) CAISSO OK TO POUR PENDING RECEIPT OF SOR. DEPUTY REPORT FOR CAGES AND GEO MEMO'S COLLECTED.NOTE 4000 PSI CONCRETE REQUIRED	No

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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

01/27/2022	01/27/2022	Footings and Foundation	X2018-3245-A0029 36828	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR 9 BLUE HIGHLIGHTED CAISSONS OK TO POUR PENDING RECEIPT OF SOR FROM EOR. DEPUTY REPORT FOR CAGES AND GEO MEMO COLLECTED. NOTE:4000 PSI CONCRETE REQUIRED	No

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022

03/08/2022	03/08/2022	Footings and Foundation	X2018-3245-A0029 54152	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR YELLOW HIGHLIGHTED GRADE BEAMS (CAISSON TIE IN AREAS) OK TO POUR. NOTE 4000 PSI CONCRETE REQUIRED (DEPUTY). SOR, GEO MEMO AND DEPUTY REBAR REPORT COLLECTED. GC REP INFORMED THAT AT NEXT INSPECTION FOR VERTICAL WALLS A LINE/GRADE WILL BE REQUIRED	No

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04/25/2022	04/25/2022	Footings and Foundation	X2018-3245-A0029 75997	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR YELLOW HIGHLIGHTED VERTICA WALLS OK TO ENCLOSE WALLS AND INSTALL TOP CONNECTIONS. SOR COLLECTED. NOTE APPROVAL 1 POUR WALL PENDING REWCEIPT OF LINE/GRADE AN TOP CONNECTION INSTALLATION/INSPECTION. NON SHRINK GROUT UNDER STEEL COLUMNS VERIFIED	No

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05/18/2022	05/18/2022	Footings and Foundation	X2018-3245-A0029 86619	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Walls as marked	No

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06/08/2022	06/08/2022	Area Drains	X2018-3245-A0029 95261	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	MIRA DRAIN WATERPROOFING SUB DRAINS AND BURRITO VERIFIED, AT POUR IN PLACE WALLS. OK TC BACKFILL WITH GEO APPROVAL	No

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06/08/2022	WQ-Best Management Practices	X2018-3245-A0029 95257	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	BMP'S VERIFIED	No

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06/23/2022	06/23/2022	Masonry Pre-Grout/Wall Steel	X2018-3245-A0030 02096	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Masonry Pre-Grout / Walk Steel	SEE SHEET S-12 DETAIL # 4 FOR VERTICAL BIO/RETAINING WALL OK TO CLOSE/POUR.NOTE: DISCUSSED WITH EKEDAL GC REP (RUSTY) THAT FRONT BIO RETENTION PLANTERS HAVE NO STRUCTURAL DETAILS EITHER ON STRUCTURAL OR CIVIL PLANS AND THIS NEEDS TO BE ADDRESSED PRIOR TO INSPECTION OF THESE WALLS.	No

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07/06/2022	07/06/2022	Footings and Foundation	X2018-3245-A0030 06478	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	BIE LOOKING FOR FOOTINGS FOR NORTH CMU WALL ON PERMIT X2021-2910	No

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08/09/2022	08/09/2022	Soil Pipe	iBLD-003964-2022	Partial Pass	David Reed	Yes	Incomplete
08/15/2022	08/15/2022	Footings and Foundation	iBLD-004602-2022	Partial Pass	David Reed	Yes	Incomplete
09/06/2022	09/06/2022	Slab On Grade	iBLD-007397-2022	Partial Pass	David Reed	Yes	Incomplete
	09/06/2022	Slab On Grade	iBLD-007613-2022	Approved	David Reed	No	Complete
Reinspection of iBLD-007397-2022							
12/21/2022	12/21/2022	Floor Framing & Sheathing	iBLD-021633-2022	Correction	David Reed	Yes	Complete

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Checklist Item	COMMENTS	Approved
Correction	Provide required deputy onsite weld report for first floor framing. Ok to stand 2nd floor walls. Note: floor to be poured with light weight concrete. Framer instructed to take pictures of sill plate nailing to be covered by double sill installed to raise sill for concrete floor	No

02/13/2023	02/13/2023	Floor Framing & Sheathing	iBLD-005346-2023	Partial Pass	David Reed	Yes	Incomplete
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Reinspection of iBLD-021633-2022

Checklist Item	COMMENTS	Approved
Comment	Ok to stand 2nd floor walls, Note: Mike Terry informed to fill out a 3 year extension 45 days prior (minimum) to expiration date 10/14/23	Yes
Correction		No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	02/12/2023

08/08/2023	08/08/2023	Roof Framing, Sheathing & Bldg Height	iBLD-029884-2023	Partial Pass	David Reed	Yes	Incomplete
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Checklist Item	COMMENTS	Approved
Comment	Sor for roof sheathing only collected, ok to dry in roof, Building Height Cert collected. Fire sprinkler permit verified pulled	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

08/08/2023	08/08/2023	Shear and Hold Downs	iBLD-029883-2023	Partial Pass	David Reed	Yes	Incomplete
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Checklist Item	COMMENTS	Approved
Comment	Sor collected for exterior shear wall only, ok to exterior wrap	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

10/31/2023	10/31/2023	Shear and Hold Downs	iBLD-042279-2023	Partial Pass	David Reed	Yes	Incomplete
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Reinspection of iBLD-029883-2023

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
	IVR Number: 231644	

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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Checklist Item	COMMENTS	Approved
Comment	See sheet s-3 for orange highlighted main floor shear wall 8'9" (D) ok to install drywall behind fireplace.	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

10/31/2023	Water Pipe Underground	iBLD-041976-2023	Approved	David Reed	No	Complete
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Checklist Item	COMMENTS	Approved
Comment	Water service meter to house ok, ok to backfill/ cover	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael, phone number: (949) 466-0900.	10/29/2023

11/29/2023	11/29/2023	Gas Pipe Rough	iBLD-046294-2023	Correction	Bill Tuman	Yes	Complete
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Checklist Item	COMMENTS	Approved
Correction	Provide nail protection at all gas lines throughout.	No

11/29/2023	Rough Plumbing & Pan Test	iBLD-046268-2023	Correction	Bill Tuman	Yes	Complete
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Checklist Item	COMMENTS	Approved
Correction	1. Basement bar sink to slope towards drain. 2. Provided toilet block support at toilet 90 for powder bath and above garage ceiling. 3. Provided nail plate protection for gas line at kitchen, master closet, and upstairs laundry/elevator wall thru out house. 4. Provide fire rated condensate box at firewall for water heater in garage. 5. Provide TPRV Water heater, drain line to outside. 6. Provide specs for thermostatic valve for master tub, or Provide remote thermostatic valve.	No

12/05/2023	12/05/2023	Rough Plumbing & Pan Test	iBLD-047114-2023	Correction	Rick La Bare	Yes	Complete
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Reinspection of iBLD-046268-2023

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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Checklist Item	COMMENTS	Approved
Correction	of previous corrections only items four and six remain. GC, you to get fire rated box for standpipe, and there is a tankless water heater that the temperature can be set lowers. Therefore, the thermostatic mixing valve isn't required. It should also be noted that the closet been that require the blocking over the garage also moon a trust cord please consult the engineer for repair at this location.	No

02/20/2024	02/20/2024	Gas Pipe Underground	iBLD-006317-2024	Approved	Rick La Bare	No	Complete
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Checklist Item	COMMENTS	Approved
Comment	From the meter to the house	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	02/17/2024

02/20/2024	HVAC Pre-Wrap	iBLD-006318-2024	Cancelled	Rick La Bare	Yes	Complete
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Checklist Item	COMMENTS	Approved
Comment	What is supposed to be rough mechanical but the structure isn't wrapped and they don't have their condenser permit, so I cancel it	No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

02/20/2024	Other - Plumbing	iBLD-006320-2024	Cancelled	Rick La Bare	Yes	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

02/20/2024	Rough Electric Residential	iBLD-006319-2024	Correction	Rick La Bare	Yes	Complete
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Checklist Item	COMMENTS	Approved
Correction	need to add power for FS bell and smoke detector interconnection Build soffit in the garage for concealment of wiring and support wiring relocate smoke detector in master to the sleeping quarters.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

02/20/2024	Rough Plumbing & Pan Test	iBLD-006481-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-047114-2023

Checklist Item	COMMENTS	Approved
Correction		No

03/12/2024	03/12/2024	Complete Framing	iBLD-009136-2024	Cancelled	Rick La Bare	Yes	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900.	03/10/2024

03/12/2024	Rough HVAC/Mech/Fireplace	iBLD-009135-2024	Cancelled	Rick La Bare	Yes	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/10/2024

03/19/2024	03/19/2024	Complete Framing	iBLD-010182-2024	Correction	Rick La Bare	Yes	Complete
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Reinspection of iBLD-009136-2024

Checklist Item	COMMENTS	Approved
Correction	1. provide fix and RFI regarding fix for cut truss in kitchen dining. 2. T24 shows ducts in all condition space however they are in the attic space. R-30 spray foam required.	No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900.	03/10/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/18/2024

03/19/2024	Rough HVAC/Mech/Fireplace	iBLD-010477-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-009135-2024

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
	IVR Number: 231644	

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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Checklist Item	COMMENTS	Approved
Comment	I am approving rough mechanical for workmanship on the ductwork and related equipment however, see complete framing for issues with deck location per title 24 and fire rating under expose stairs at basement	No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/10/2024

04/08/2024	04/08/2024	Complete Framing	iBLD-012858-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-010182-2024

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900.	03/10/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/18/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	04/04/2024

04/08/2024	Gas Pipe Rough	iBLD-013405-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-046294-2023

Checklist Item	COMMENTS	Approved
Correction		No

HVAC Pre-Wrap	iBLD-012857-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-006318-2024

Checklist Item	COMMENTS	Approved
Comment	HVAC previously approved	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	04/04/2024

04/08/2024	Rough Electric Residential	iBLD-013406-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-006319-2024

PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

04/23/2024	04/23/2024	Insulation/Densglass	iBLD-015298-2024	Approved	Charles Wilson	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	04/20/2024

05/09/2024	05/09/2024	Drywall Fire Caulk	iBLD-017656-2024	Approved	Steven Lane	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please confirm receipt.	05/07/2024

05/22/2024	05/22/2024	Vapor Barrier/Exterior Lath/Veneer Lath	iBLD-019575-2024	Approved	David Reed	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	05/21/2024

06/21/2024	06/21/2024	Other - Plumbing	iBLD-023977-2024	Approved	Jason Rudenick	No	Complete
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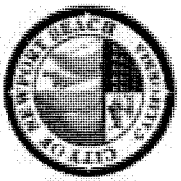
Reinspection of iBLD-006320-2024

Checklist Item	COMMENTS	Approved
Comment	Pan test ok	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

06/21/2024	Shower Lath	iBLD-023758-2024	Approved	Jason Rudenick	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	06/19/2024



City of Newport Beach - Building Division
 100 Civic Center Drive, Newport Beach, CA 92660
 Permit Counter Phone (949)644-3288
 Inspection Requests Phone (949)644-3255
 Combination Type - SFP ELEC MECH PLUM GRAD



COMB Permit : X2018-3245
 Project No : 2530-2018

Issued Date : 10/15/2020
 Inspection Area : *66*

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 10/16/2023 OR PERMIT WILL BE INVALID
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

INSPECTOR

Job Address: 540 HAZEL DR NB
 Description: NEW SFR W/ ATTACHED GARAGE & BASEMENT 3972 SF & 463 SF
 Legal Desc.: N TR 673 BLK B LOT 27

Owner: CHRISTENSEN FRANK DANA
 Address: 544 HAZEL DR
 CORONA DEL MAR, CA 92625
 Phone: 949-933-4488

Applicant: AUSTIN PAT
 Address: 2732 E. COAST HWY STE B
 NEWPORT BEACH, CA 92625
 Phone: 949-718-3528

Contractor: GRAYSTONE CUSTOM BLDERS INC
 Address: 3419 VIA LIDO STE 455
 NEWPORT BEACH CA 92663
 Phone: 949-466-0900

Architect: CHILDS CYNTHIA
 Address: 2732 E COAST HWY #B
 CORONA DEL MAR CA 92625
 Phone: 949-718-3528
 State Lic: C022985

Engineer: SHEPPARD STEVEN THOMAS
 Address: 28782 EL MIO LANE
 LAGUNA NIGUEL CA 92692
 Phone: 949-481-9669
 State Lic: S-005446

Designer: [Redacted]
 Address: [Redacted]
 Phone: [Redacted]

Worker's Compensation Insurance
 Carrier: STATE FUND
 Policy No: 9216106
 Expire: 08/15/2021

Building Setbacks: Rear: 10'
 Front: 5'
 Left: 4'
 Right: 4'

Use Zone: [Redacted] Parking Spaces: 0
 Fire Hazard Zone: N

Construction Valuation:	\$752,000.00
Building Permit Fee:	\$6,416.00
Plan Check Fee:	\$4,433.50
Overtime Plan Ck:	\$0.00
Investigation Fee:	\$0.00
Record Management:	\$116.00
Energy Compliance:	\$303.00
CA Seismic Safety:	\$97.76
Disabled Access:	\$0.00
Hazardous Mat:	\$0.00
Building Green Fee:	\$31.00
Excise Tax:	\$931.35
Additional Fee:	(\$295.50)
Grading Bonds Fee:	\$0.00
Grading PC Consultant:	\$1,451.40
Grading Permit Fee:	\$1,230.00
WQ Insp. Fee:	\$120.00
Electrical %:	\$839.85
Mechanical %:	\$479.92
Plumbing %:	\$1,079.81
Planning Department - Plan check Fee:	\$508.75
Fair Share:	\$0.00
SJH Trans:	\$0.00
In-lieu Housing Fee:	\$0.00
Public Works Department - Park Dedication:	\$0.00
P/W Plan Check:	\$301.00
San Dist:	\$2,835.00
NMUSD Fee:	\$5,744.48
Fire Department - Fire Inspection:	\$0.00
Fire Plan Rev:	\$0.00
Demolition Fee:	\$0.00
Building Dept Adm General Service:	\$0.00
Refund Deposit:	\$0.00
Grading Bond:	\$0.00
Grading Bond:	\$0.00

TOTAL FEE : \$26,941.92
 Plan Check Fee : \$5,687.95
 Fee Due at Permit Issuance : \$21,253.97

PROCESSED BY: *[Signature]*
 ZONING APPROVAL: *[Signature]*
 GRADING APPROVAL: *[Signature]*

PUBLIC WORKS APPROVAL: *[Signature]*
 PLAN CHECK BY: *[Signature]*
 APPROVAL TO ISSUE: *[Signature]*

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do all or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: By my signature below I acknowledge that, except for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: http://www.leginfo.ca.gov/calaw.html.

LICENSED CONTRACTOR'S DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect. License Class W 151AW Contractor's Signature [Signature] Date 10/15/2020

WORKERS' COMPENSATION DECLARATION
 WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____ Policy Number _____ Expiration Date _____
 Name of Agent _____ Phone # _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. 10/15/2020

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY
 I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).
 Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:
 I am the property owner or authorized to act on the property owner's behalf.
 I have read this application and the information provided is correct.
 I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
 I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name Michael Terry Date 10/15/2020

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:	



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

PRE-GRADE MEETING AGREEMENT

DATE: 3-17-21 JOB ADDRESS: 540 HAZEL CDM

1. The grading plan check number for this site is _____ and will be referred to in all reports, certifications and correspondence.
2. **STOP ORDERS** Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
3. The stamped set of approved plans shall be on the job site at all times.
4. **NOTIFICATION OF NONCOMPLIANCE** If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
5. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
6. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inlets internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
7. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1557 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
8. All trench (including interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
9. Whenever work on which required inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
10. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
11. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.

12. The permittee or his agent shall notify the Building Division when the grading operation is ready for each of the following inspections:
 - a. PRE-GRADE MEETING When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.
 - b. DRAINAGE DEVICE INSPECTION After forming of terrace drains, down drains or after placement of pipe in subdrains, but before any concrete or filter material is placed.
 - c. SPECIAL
 - d. ROUGH GRADING When all rough grading has been completed, the rough grade report shall be provided to the Building Inspector at foundation inspection or sooner based on the Building Inspector's discretion.
 - e. FINAL When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan, professional approvals and the required reports have been submitted.
13. All footing excavations, slab on grade areas and subdrains shall be inspected and approved by the Geotechnical Engineer or Engineering Geologist. Written approval shall be submitted to the Building Inspector.
14. Prior to the start of grading, all permanent property corner monuments shall be in place. Prior to any foundation inspections, proof of recordation of the "corner record" or "record of survey" with the County of Orange shall be provided.
15. The undersigned acknowledge a copy of the above and agree to comply with the Grading Code of the City of Newport Beach, the recommendations of the project soils report and any special requirements of the permit.
16. Prior to foundation inspection a Line and Grade Certificate Form must signed and stamped by the surveyor of record and submitted to the building inspector. A Structural Observation Report may be required.
17. All parties listed below must be present for the pregrade meeting unless approved by the building inspector.
18. All duplex construction requires separate utilities (sewer, water, gas, electrical, fire sprinkler risers).

OWNER/CONTRACTOR: Grayston Custom Builders, Inc. DESIGN CIVIL ENGR.: Forchert Engineering & Surveying
 By: [Signature] By: Thomas Ruiz
 Address: 3919 VIA VINO, #455 Address: 22311 Brookhurst St. Suite 203 H.B.
 Telephone: 949-466-0900 Telephone: (714) 968-6793

GEOTECHNICAL ENGINEER: R McCarthy Consulting GEOLOGIST.: R McCarthy Consulting
 By: _____ By: Peter Anderson
 Address: _____ Address: _____
 Telephone: _____ Telephone: 949-371-3690

GRADING CONTR.: Tight Quarters COORDINATOR: _____
 By: Dan Powers By: _____
 Address: 766 ~~Butler~~ 2031 S Anne St. Address: _____
 Telephone: SA 714 557-7901 Telephone: _____

NEWPORT BEACH REPRESENTATIVE: DAVID REED PHONE #: 949 644-3252
 INSPECTION REQUESTS: (949) 644-3255

Newport Beach Construction Hours:
 Monday through Friday: 7:00 a.m. to 6:30 p.m.
 Saturdays: 8:00 a.m. to 6:00 p.m.
 No work on Sundays and Holidays



City of Newport Beach

Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 718-1888
newportbeachca.gov/civc
Combination Type - SFP
Work Class - New



F 2 0 2 3 - 0 3 6 1

COMB Permit : F2023-0361

Plan Check No : PC2023-1848
Issued Date : 08/01/2023
Final Date:
Permit Status: Issued
Inspection Area : 6

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

INSPECTOR

Job Address : 540 HAZEL DR
Description : SFR FIRE SPRINKLER SYSTEM 39 HEADS (X2018-3245) Legal Desc : N TR 673 BLK B LOT 27

Owner : CHRISTENSEN FRANK DANA TR THE CONTRACTOR : FIREGUARD SPRINKLER SYSTEMS Architect :
Address : 133 WILLOWBEND CHRISTENSEN-BROWN LI Address : 7907 LEEDS ST
Phone : IRVINE, CA 92612 Phone : (714) 310-0194
Con State Lic : 992002
Lic Expire : 04/30/2024
Bus Lic : BT30078648
Bus Lic Expire : 05/31/2024

Applicant : FIREGUARD SPRINKLER SYSTEMS
Address : 7907 LEEDS ST
Phone : DOWNEY, CA 90242 (714) 310-0194
Engineer :
Address :
Phone :

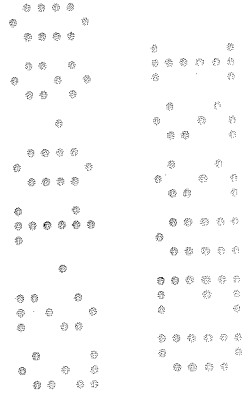
Owner/Builder :
Address :
Phone :
Workers' Compensation Insurance
Carrier : FALLS LAKE FIRE & CASUALTY CO
Policy No : FLA008008
W. C. Expire : 12/29/2023
Designer : FIREGUARD SPRINKLER SYSTEMS
Address : 7907 LEEDS ST
Phone : DOWNEY, CA 90242 (714) 310-0194

Code Edition : 2019
Type of Construction : V-B
Occupancy Groups : R3/U
Bldg Height :
Fire Sprinklers : YES
Fire Hazard Zone : YES
No of Units : 1
No of Stories : 3
Construction Valuation : \$7,000.00
Added/New/TI sq. ft. Bldg : 0
Alteration sq. ft. Bldg :
Added/New sq. ft. Garage : 0
TOTAL sq. ft. : 0

Building Setbacks : Front: 5, Side: 4, Rear: 10
Flood Zone : X
Use Zone : R-1 - Single-Unit Residential

PROCESSED BY : _____

SPECIAL CONDITIONS:



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OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do all of portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason:
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.jeginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent _____ Date 8/1/23
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class _____ License No. _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____ Expiration Date _____

Carrier _____ Policy Number _____ Name of Agent _____ Phone # _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Date 8/1/23

Signature of Applicant _____
DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code). Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent _____ Print Property Owner's or Authorized Agent's Name X John Vo Date 8/1/23

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: _____	



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

FIRE SPRINKLER NFPA 13D SYSTEM ROUGH INSPECTION CHECKLIST

	YES	NO
1. <u>Riser Construction and Location Approval</u>		
a. Drain valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Backflow device (single check)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Bell activation device	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
d. Inspector's test valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Riser sized per approved plans		
2. <u>Pressure Test</u>		
a. System tested at operating pressure for 2 hours	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Pressure gauge installed	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. <u>Sprinkler Heads shall not be installed in the fittings prior to the fittings being cemented in place (temporary test plugs)</u>		
a. Installation and spacing of temporary test plugs	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. <u>Piping</u>		
a. Material installed per plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Hangers per codes/prevent upward movement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. All CPVC piping shall be installed by persons who have been certified by the manufacturer for installation of CPVC piping	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Piping protected from damage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. <u>Bell</u>		
a. Wiring installed per code	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
b. Boxes installed at proper locations	<input type="checkbox"/>	<input checked="" type="checkbox"/>

NOTE: CPVC plastic pipe in the garage shall not be exposed. Sprinklers that are listed as "Quick Response" or "Residential" must be used.

CORRECTIONS AND NOTES: 540 HAZEL DR.

FIRE SPRINKLER NFPA 13D SYSTEM ROUGH INSPECTION APPROVED:	
BY: <u>[Signature]</u>	PERMIT #: <u>F2023-0361</u>
	DATE: <u>2/1/2024</u>



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1766 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

FIRE SPRINKLER NFPA 13D SYSTEM FINAL CHECKLIST (RESIDENTIAL)

	<u>YES</u>	<u>NO</u>
1. Water meter proper size	<input type="checkbox"/>	<input type="checkbox"/>
2. Fire sprinkler system installed per the approved plans	<input type="checkbox"/>	<input type="checkbox"/>
3. All construction covers removed from sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
4. Cover plates are NOT to be installed, but shall be available on the jobsite	<input type="checkbox"/>	<input type="checkbox"/>
5. All tape and paint removed from sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
6. Finish trim installed around sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
7. Proper signage posted at all required locations	<input type="checkbox"/>	<input type="checkbox"/>
8. Flow test conducted and bell tested	<input type="checkbox"/>	<input type="checkbox"/>
9. Location of Inspector's testing valve in approved location	<input type="checkbox"/>	<input type="checkbox"/>
<u>SYSTEMS:</u>		
10. Clearances around sprinkler heads and riser - no obstructions	<input type="checkbox"/>	<input type="checkbox"/>
11. Operating pressure gauge installed at riser showing proper water pressure	<input type="checkbox"/>	<input type="checkbox"/>
12. Back flow preventer installed	<input type="checkbox"/>	<input type="checkbox"/>
13. System installed per manufacturers specifications	<input type="checkbox"/>	<input type="checkbox"/>

NOTES: _____

FIRE SPRINKLER NFPA 13D SYSTEM FINAL APPROVED:	
BY: _____	PERMIT #: _____
	DATE: _____



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR
ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* ~~Top of slab/floor elevation:~~ piles #5 & #13

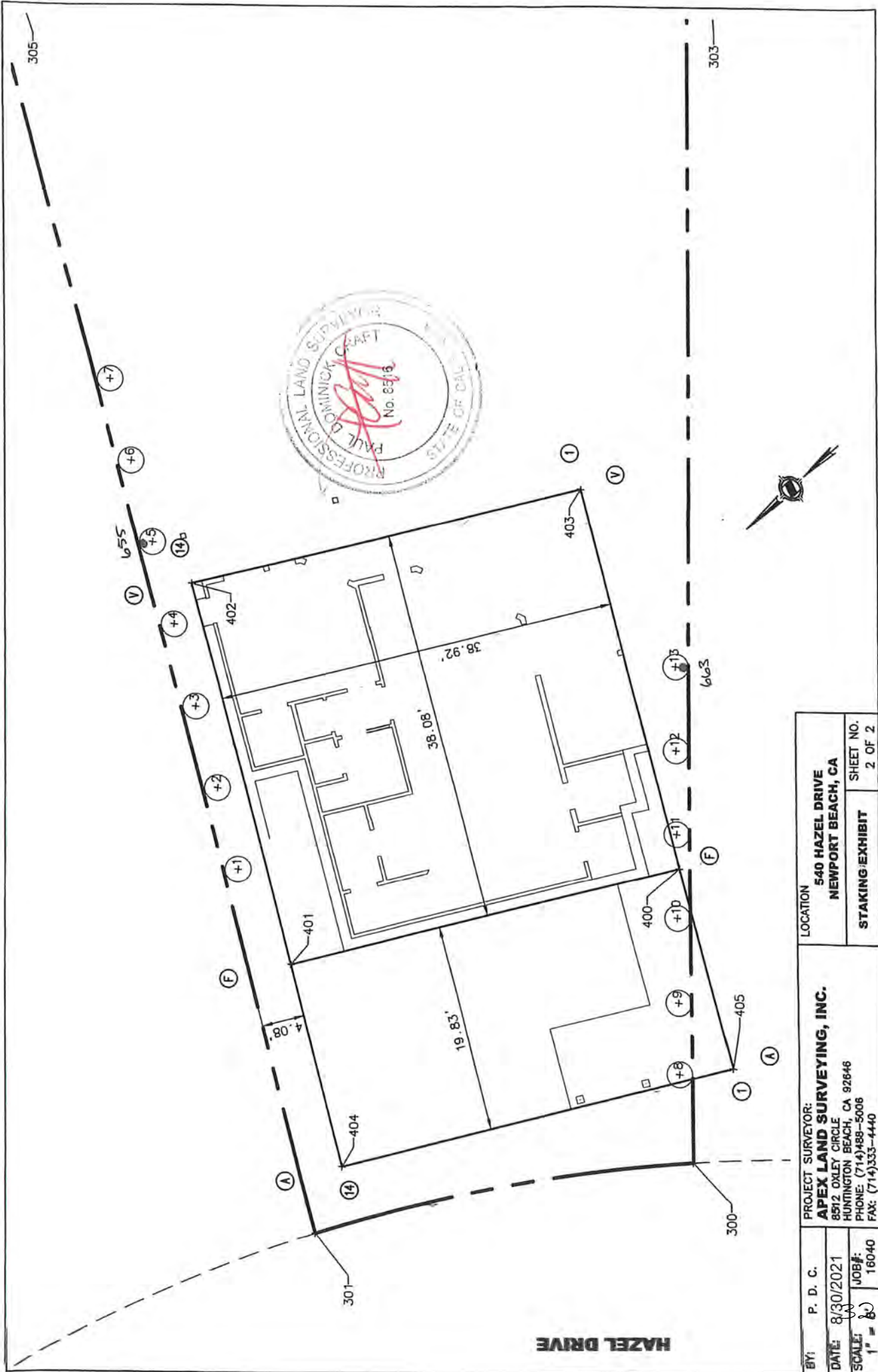
* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

8/30/2021
Date
JN: 16040

Engineer/Surveyor's stamp and signature



HAZEL DRIVE

BY: P. D. C.	PROJECT SURVEYOR:	LOCATION
DATE: 8/30/2021	APEX LAND SURVEYING, INC.	540 HAZEL DRIVE NEWPORT BEACH, CA
SCALE: 1" = 8'	8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646	STAKING/EXHIBIT
JOB#: 16040	PHONE: (714)488-5006	SHEET NO. 2 OF 2
	FAX: (714)333-4440	



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR
ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* ~~Top of slab/floor elevation:~~ pile #7

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

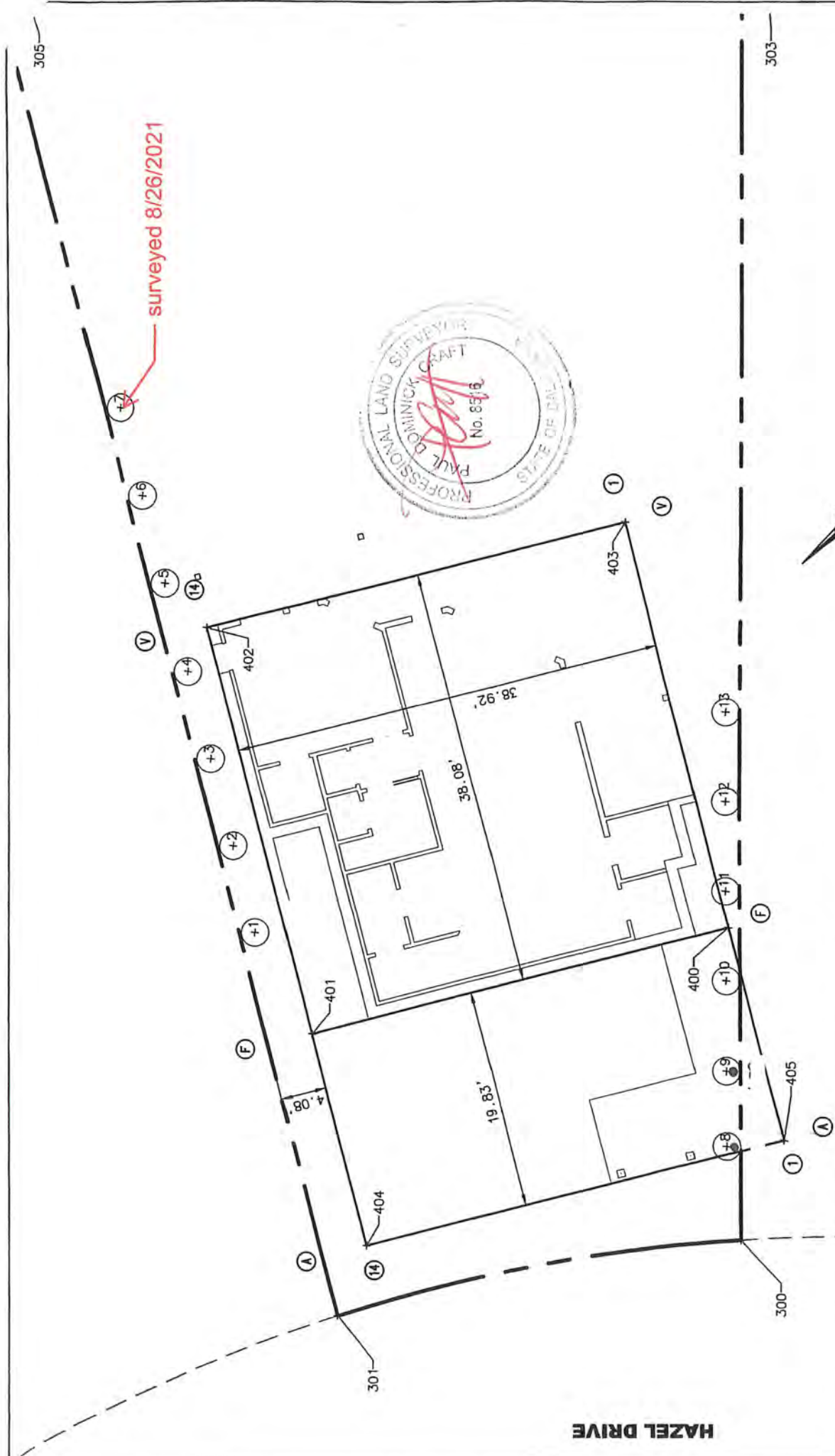
I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

8/26/2021

Date
JN: 16040



Engineer/Surveyor's stamp and signature



HAZEL DRIVE

BY: P. D. C.	PROJECT SURVEYOR: APEX LAND SURVEYING, INC.	LOCATION 540 HAZEL DRIVE NEWPORT BEACH, CA
DATE: 7/12/2021	8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646	SHEET NO. 2 OF 2
SCALE: 1" = 40'	PHONE: (714)488-5006 FAX: (714)333-4440	STAKING EXHIBIT



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR
ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 17853 Santiago Boulevard, Ste. 107-285, Villa Park, CA 92861

Job Address 540 Hazel Avenue, Corona Del Mar

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: FF = 151.88 - Top of Forms = FF-3/4" = 151.82

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

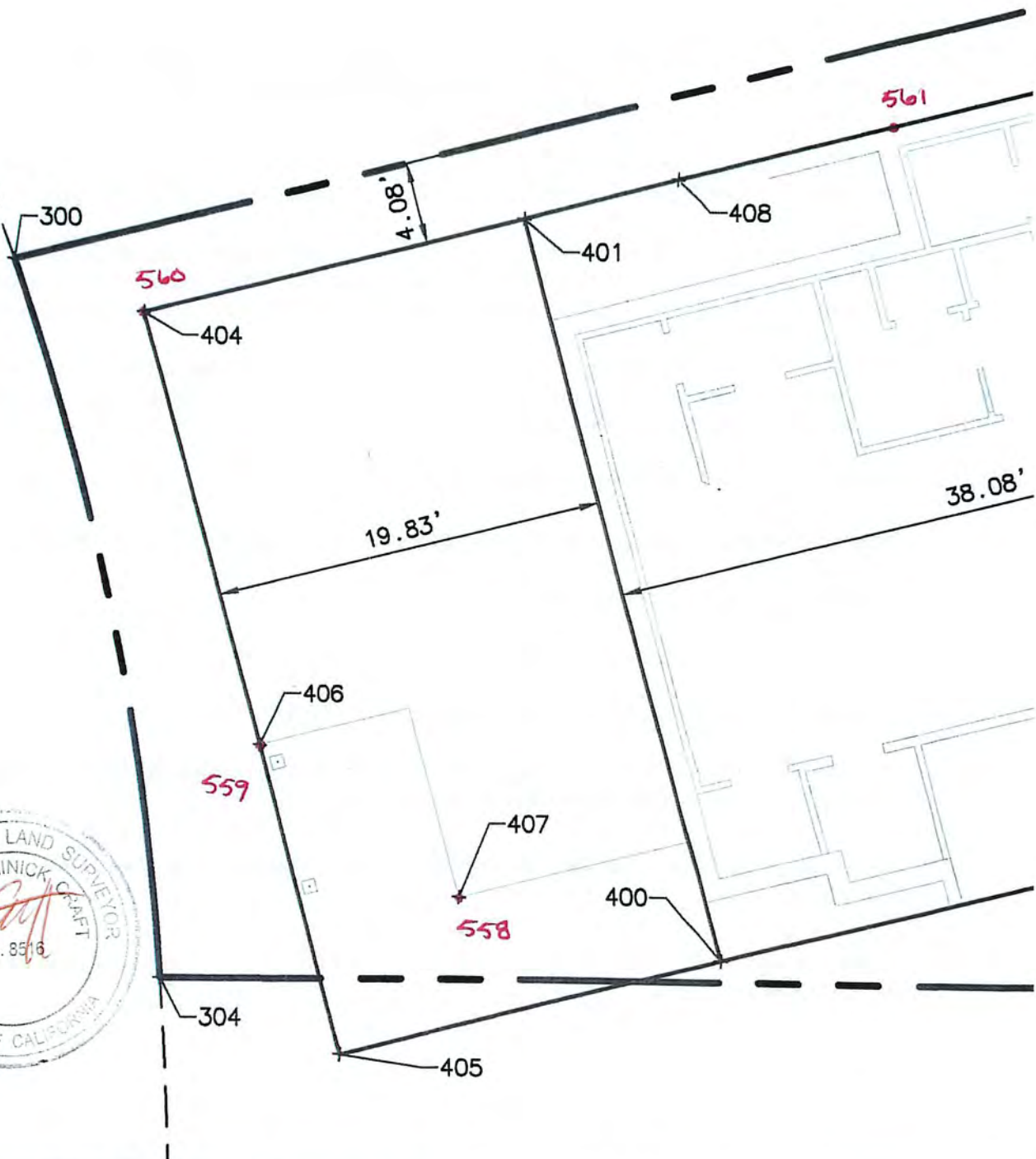
8/12/2022
Date
JN: 16040

Engineer/Surveyor's stamp and signature

HAZEL DRIVE



157.82



BY: P. D. C.		PROJECT SURVEYOR: APEX LAND SURVEYING, INC. 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 PHONE: (714)488-5006 FAX: (714)333-4440	LOCATION 540 HAZEL DRIVE NEWPORT BEACH, CA	
DATE: 11/19/2021	JOB#: 16040		STAKING EXHIBIT	SHEET NO. 2 OF 2
SCALE: 1" = 8'				



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 17853 Santiago Boulevard, Ste. 107-285, Villa Park, CA 92861

Job Address 540 Hazel Drive, Corona Del Mar, CA 92625

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: _____

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

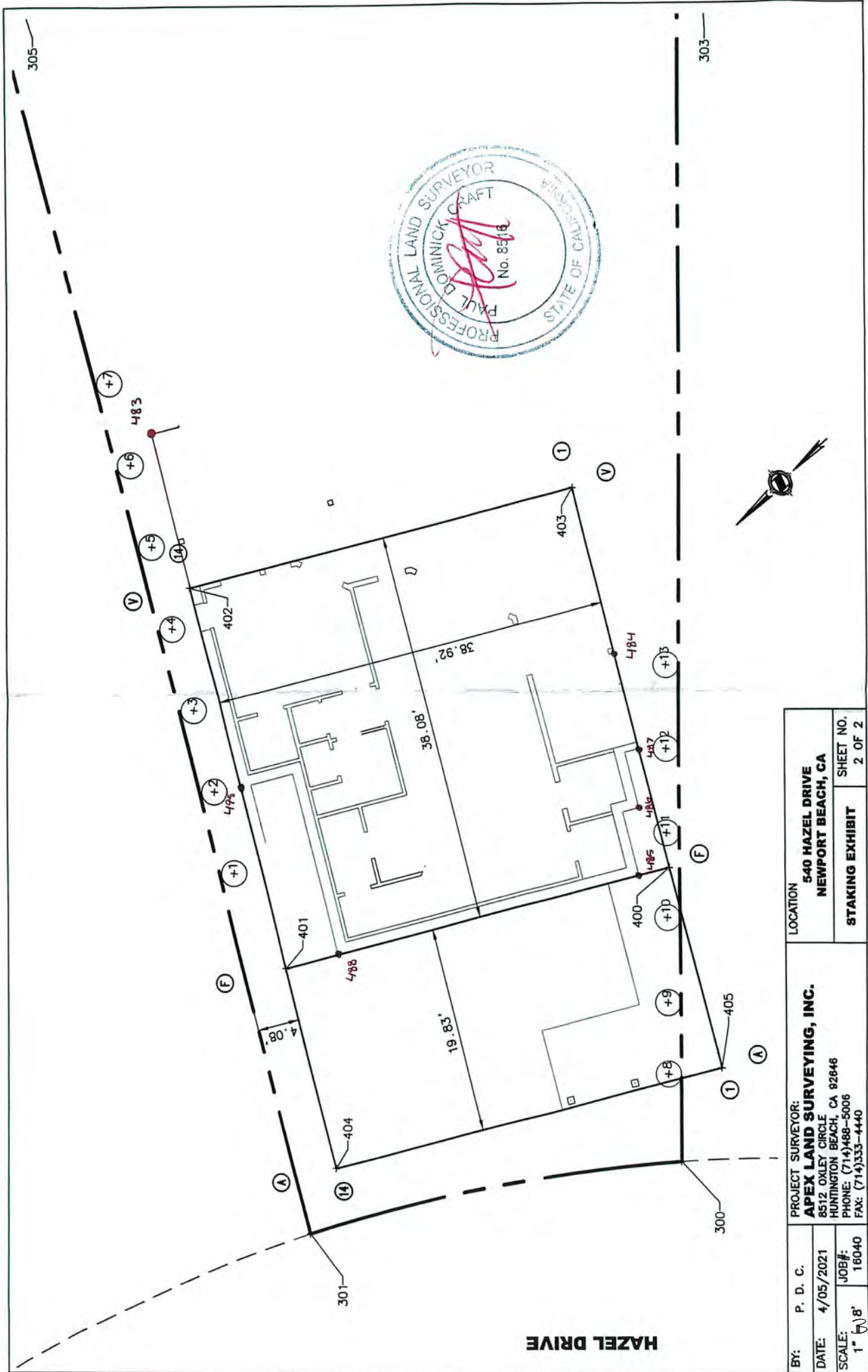
I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

5/2/2022
Date
JN: 16040



Engineer/Surveyor's stamp and signature



BY: P. D. C.	PROJECT SURVEYOR:	LOCATION	STAKING EXHIBIT	SHEET NO. 2 OF 2
	DATE: 4/05/2021	APEX LAND SURVEYING, INC. 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 PHONE: (714)488-5006 FAX: (714)333-4440		
SCALE: 1" = 100'	JOB#: 16040			

HAZEL DRIVE



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

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This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: n/a

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

7/12/2021

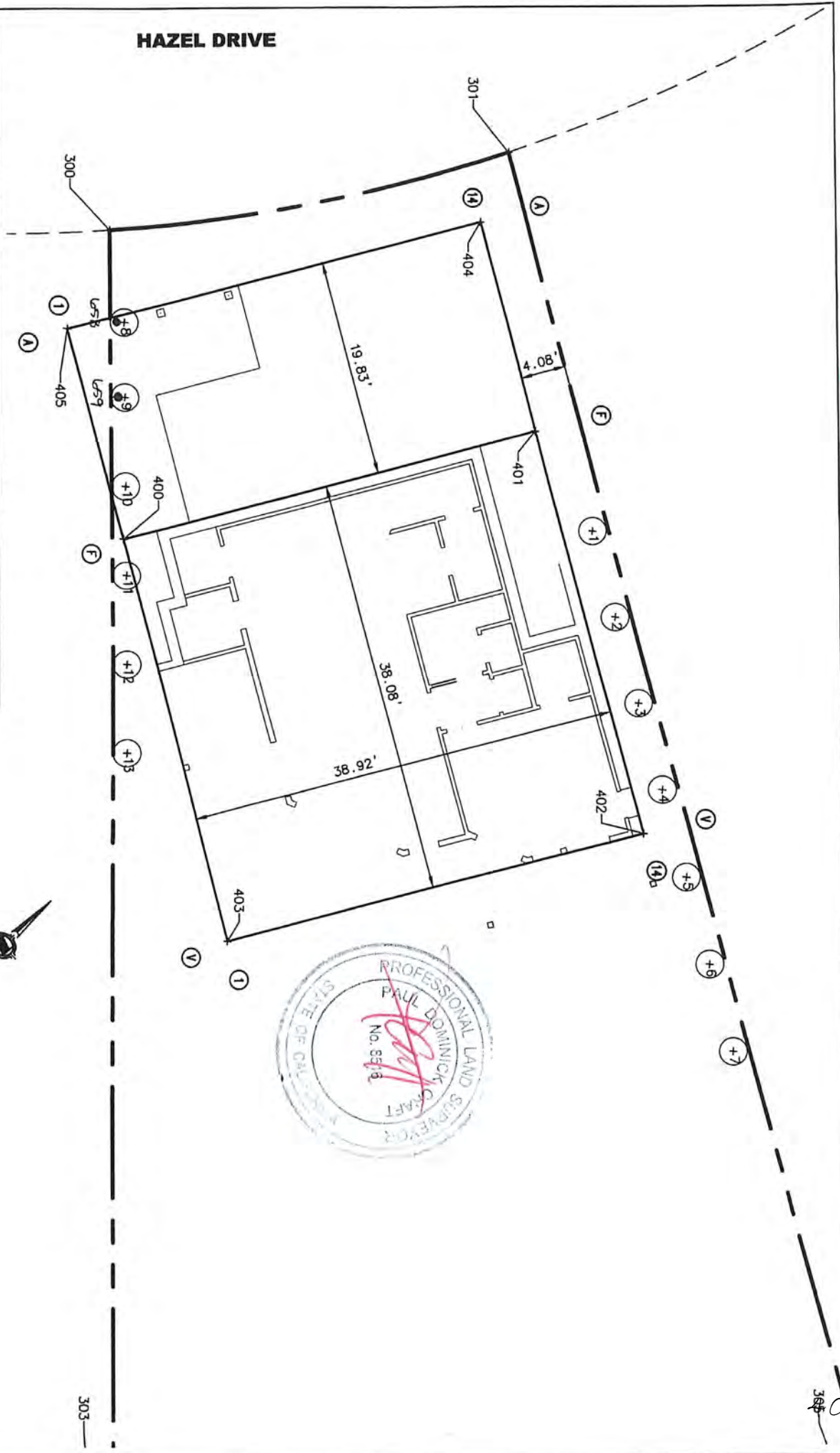
Date
JN: 16040

Engineer/Surveyor's stamp and signature



HAZEL DRIVE

BY: P. D. C.
DATE: 7/12/2021
SCALE: 1" = 8'
JOB#: 16040
PROJECT SURVEYOR: APEX LAND SURVEYING, INC.
8512 OXLEY CIRCLE
HUNTINGTON BEACH, CA 92646
PHONE: (714) 988-5006
FAX: (714) 333-4440
LOCATION: 540 HAZEL DRIVE
NEWPORT BEACH, CA
STAKING EXHIBIT SHEET NO. 2 OF 2



303

303



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

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Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: n/a

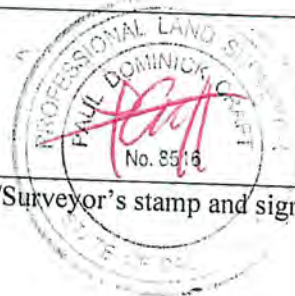
* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: _____

5/13/2021
Date

JN: 16040



Engineer/Surveyor's stamp and signature



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
 www.newportbeachca.gov | (949) 644-3200

BUILDING HEIGHT CERTIFICATION

Corona Road
Missing

Project Street Address: 540 Hazel Drive, Corona Del Mar

Building Permit Number(s): #

As the surveyor of record for the project at the above address, I hereby certify that the City of Newport Beach approved plan and original topographic survey and based thereon the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on: NAVD88 NGVD29 Assumed

Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.

RIDGES (3:12 slope or greater)

- (A) Approved elevation point of ridge is 176.95 and actual elevation point is 175.88
- (B) Approved elevation point of ridge is 174.79 and actual elevation point is 174.57
- (C) Approved elevation point of ridge is 172.59 and actual elevation point is 169.62
- (D) Approved elevation point of ridge is 171.47 and actual elevation point is 171.42
- (E) Approved elevation point of ridge is 170.00 and actual elevation point is 169.57
- Approved elevation point of ridge is _____ and actual elevation point is _____
- Approved elevation point of ridge is _____ and actual elevation point is _____

FLAT ROOFS, PARAPETS AND GUARDRAILS

- (F) Approved elevation point of flat roof or parapet is 161.50 and actual elevation point is 150.53 DECK
- (G) Approved elevation point of flat roof or parapet is 162.71 and actual elevation point is 150.53 DECK
- (H) Approved elevation point of flat roof or parapet is 164.29 and actual elevation point is 160.78 DECK
- Approved elevation point of flat roof or parapet is _____ and actual elevation point is _____
- Approved elevation point of flat roof or parapet is _____ and actual elevation point is _____

I certify that the above height measurements are correct and the above project:

- IS in compliance with the City-approved plans.
- IS NOT in compliance with the City-approved plans (Provide explanation).

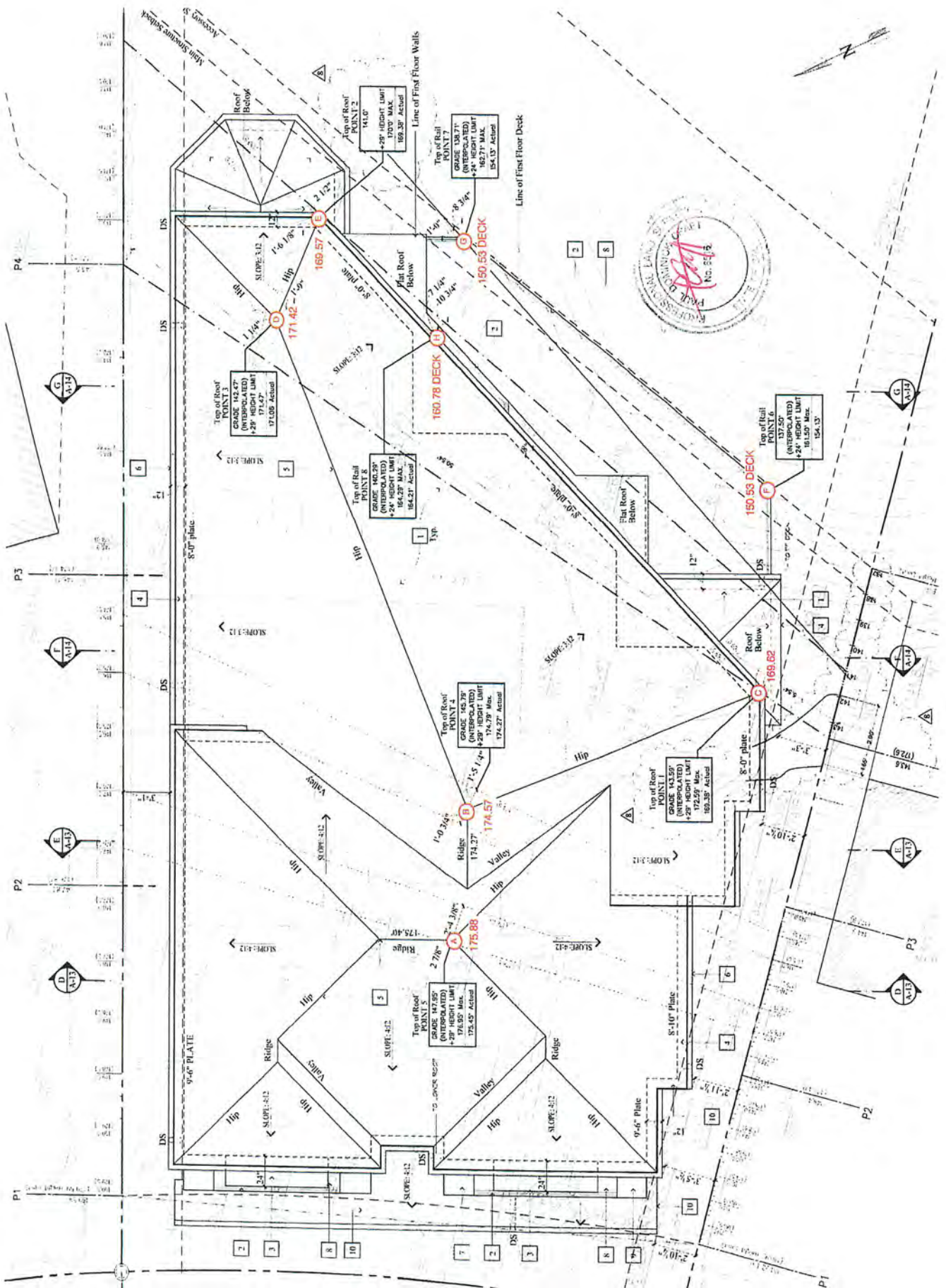
Please describe any deviation from the City-approved plans on the back of this form.



 JN: 16040 Surveyor or Civil Engineer's* signature and seal
 (Wet stamp and signature required)

7/18/2023
 Date

* License number of 33965 or lower





CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 2/23/24	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input checked="" type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood	Final Observation	2/23/24
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E.

Digitally signed by Steven Sheppard,
S.E.
Date: 2024.02.23 14:42:34 -08'00'

2/23/24

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

April 2, 2024

Cynthia Childs, Architect
2732 East Coast Hwy. Ste. B
Corona Del Mar, CA 92625

Subject: 540 Hazel, Corona Del Mar, CA

Ms. Childs,

After review of the photos provided by the contractor of the cut truss located in the floor framing along Gridline S5, it is our determination that the condition is acceptable without a significant loss of integrity to the structure. Reportedly the next adjacent truss is 16" from the next adjacent beam, therefore the truss that is cut was not required. For this reason repair is not necessary. We suggest 2x or truss blocking be added at the cut location in a head-out arrangement so the truss itself is supported and does not eventually fall out of position and damage the finishes.

We hope this correspondence is sufficient to proceed with ongoing work as needed. Please contact us at the number provided if there are further questions.

Sincerely,



Steve Sheppard, S.E.
President,
SDC ENGINEERING



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 2/24/23	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sdc-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input checked="" type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood	Roof framing, sheathing, and exterior shear	7/24/23
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard, S.E.
 Date: 2023.07.24 16:38:11 -07'00'

7/24/23

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 8/31/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	slab on grade	8/31/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

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- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E.

Digitally signed by Steven Sheppard,
S.E.
Date: 2022.08.31 15:16:47 -07'00'

8/31/22

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

47

STRUCTURAL OBSERVATION REPORT INSTRUCTIONS

When structural observation is required for a project, the structural observer shall perform site visits at significant construction stages throughout the progress of the work. Site visit frequency shall allow for correction of observed deficiencies without substantial effort or uncovering of the completed work. Structural observation site visits shall be performed for each construction stage identified on the approved construction documents.

The structural observer may utilize the City of Newport Beach "Structural Observation Report" form, or a similarly formatted report, to record the required observation visits. If the City's form is not used the alternate report shall be on the structural observer's letterhead, state the site address, plan check and permit numbers, stages and elements observed, date observed, and complete contact information for the structural observer. All structural observation reports, regardless of form used, shall include the license stamp and wet signature of the structural observer responsible for the project.

OBSERVED DEFICIENCIES

When a deficiency is noted, the structural observer shall give copies of the completed structural observation report to the owner or owner's representative, project contractor, and the Chief Building Official or designee.

The contractor shall resolve all deficiencies prior to final inspection or acceptance of the structural work by the Chief Building Official, or designee.

FINAL STRUCTURAL OBSERVATION REPORT

The structural observer shall submit a final structural observation report to the Chief Building Official, or designee, upon completion of the structural system. The final structural observation report shall state that the structural system conforms to the approved construction documents and that all previously observed deficiencies have been corrected. Final inspection or other acceptance of the structural system by the Chief Building Official, or designee, will not occur until the final structural observation report is received.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 8/11/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	GARAGE LEVEL FOUNDATIONS	8/11/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard,
S.E.
Date: 2022.08.11 16:56:02 -07'00'

8/11/22

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

STRUCTURAL OBSERVATION REPORT INSTRUCTIONS

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OBSERVED DEFICIENCIES

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The contractor shall resolve all deficiencies prior to final inspection or acceptance of the structural work by the Chief Building Official, or designee.

FINAL STRUCTURAL OBSERVATION REPORT

The structural observer shall submit a final structural observation report to the Chief Building Official, or designee, upon completion of the structural system. The final structural observation report shall state that the structural system conforms to the approved construction documents and that all previously observed deficiencies have been corrected. Final inspection or other acceptance of the structural system by the Chief Building Official, or designee, will not occur until the final structural observation report is received.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 3/7/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sdc-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	Grade Beams	3/7/22
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

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- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard, S.E.
 Date: 2022.03.07 12:23:33 -08'00'

3/7/22

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: December 1, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input checked="" type="checkbox"/> Other: wall stem	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	as noted below	12-01-21

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Reinforcement and components for the wall stem construction of all ~~shotcrete~~ concrete portions of the side yard site walls

CONCRETE

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



[Handwritten Signature]

12-01-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Note: Top of Wall elevations shall remain as depicted on approved plans. CMU only to be used for free-standing wall sections above grade.

Vertical Steel per Table 'A'

8" CMU (Solid Grout)

8"CMU option to replace above grade concrete sections of the Site Retaining Wall with Integrated Temporary Shoring at 540 Hazel Drive, Corona del mar, California

Table A

Height of CMU	Vertical Steel
up to 4'	#4's @ 16" OC
up to 6'	#5's @ 16" OC
up to 8'	#5's @ 8" OC

center

Property Line
(Where occurs; all construction activity to remain on the subject property)

Existing/Finished Grade



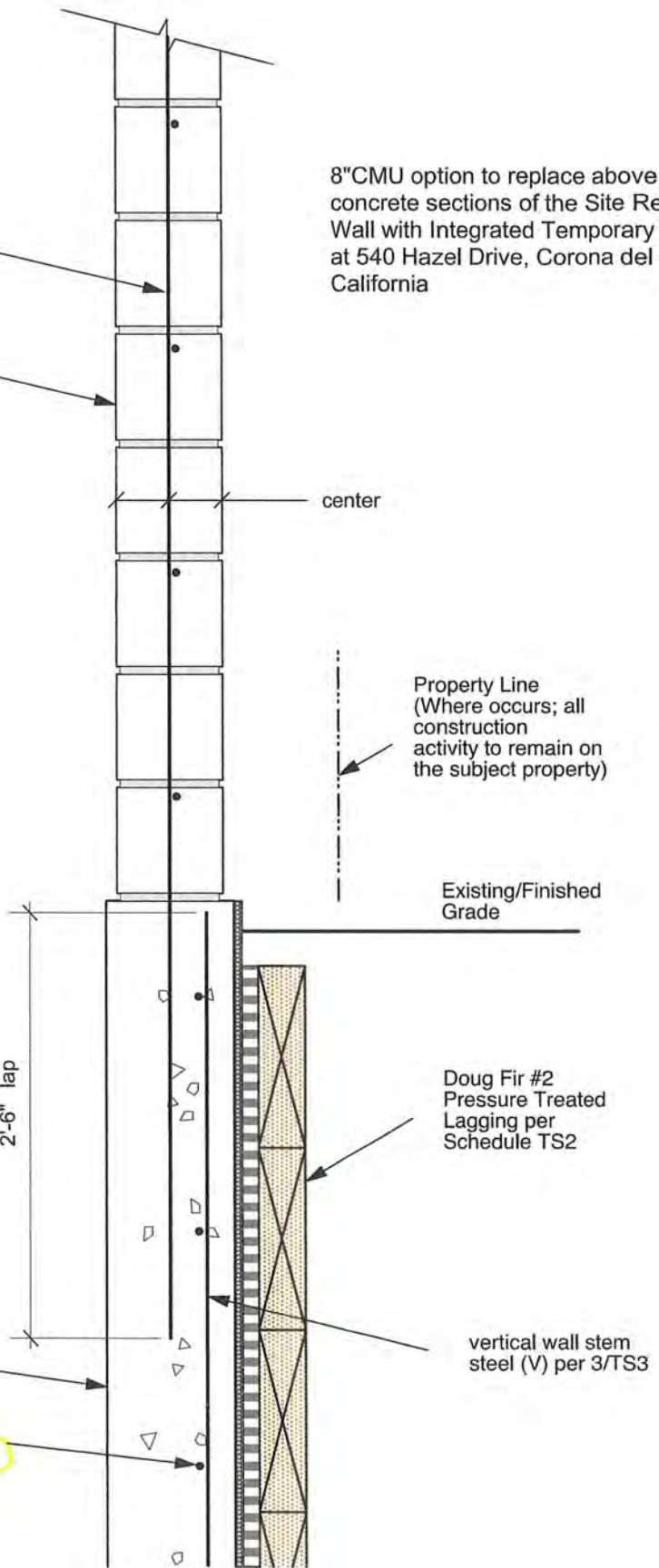
2'-6" lap

Doug Fir #2 Pressure Treated Lagging per Schedule TS2

9" Wall stem per 3/TS3

vertical wall stem steel (V) per 3/TS3

Horizontal steel #4's @ 16" oc





CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: November 12, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	11-12-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Reinforcement set for retaining wall grade beams are in accordance with the project plans and direction of the undersigned engineer. The shoring/site wall grade beams are approved for concrete placement from a structural viewpoint.

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

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David Purkis

11-12-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

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CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
 100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: August 25, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	8-25-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for remaining solder piles

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

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08-25-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form Structural Observation Report & Instructions



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: July 12, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	7-12-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for soilder piles SP8 & SP9

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

07-12-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: July 1, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	6-21-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for soilder piles:

SP 1, SP 2, SP 3, SP 4, SP 10, SP 11, SP 12

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

[Signature]

07-01-21



STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - BLDG

X2021~2910

COMB Permit : X2021-2910
Project No : 2538-2021

Issued Date : 12/16/2021
Inspection Area :

INSPECTOR

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 12/16/2024 OR PERMIT WILL BE INVALID
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 540 HAZEL DR NB
Description: SFR BLOCK WALL 6' X 30 LF & RETAINING WALL 8' X 4LF (INSIDE P/L, MARKERS ON SITE)
Legal Desc.: N TR 673 BLK B LOT 27

Owner: CHRISTENSEN
Address: 133 WILLOWBEND
IRVINE CA 92612
Phone:

Applicant: ALLEN SCOTT
Address: 3419 VIA LIDO #455
NEWPORT BEACH CA 92663
Phone: 949-466-0900

Code Edit : 2019
Type of Construction: VB
Occupancy Group: U
Added /New sq. ft. Bldg: 0
Added /New sq. ft. Garage: 0
No of Units: 0
Bldg Height: 0
Bldg Sprinklers: 0
Flood Zone: X

Worker's Compensation Insurance
Carrier: STATE FUND
Policy No: 9216106
Expire: 08/15/2022

Building Setbacks
Rear: 10'
Front: 5'
Left: 4'
Right: 4'

Use Zone:
Parking Spaces: 0
Fire Hazard Zone : N

Contractor: GRAYSTONE CUSTOM BLDRS INC
Address: 3419 VIA LIDO STE 455
NEWPORT BEACH CA 92663
Phone: 949-466-0900

Architect:
Address:
Phone:
Engineer: SHEPPARD STEVEN THOMAS
Address: 28782 EL MIO LANE
MISSION VIEJO CA 92692
Phone: 949-481-9669
State Lic: S-0054446

Designer:
Address:
Phone:

Special Conditions: LANDSLIDE AREA
FIRE HAZ SERVERTY ZONE
HIGH DENSITY ZONE

Construction Valuation: \$11,000.00

Building Permit Fee: \$263.00
Plan Check Fee: \$228.81
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management: \$0.00
Energy Compliance: \$0.00
CA Seismic Safety: \$0.00
Disabled Access: \$0.00
Hazardous Mat: \$0.00
Building Green Fee: \$1.00

Excise Tax:
Additional Fee: \$0.00
Grading Bonds Fee: \$0.00
Grading PC Consultant: \$0.00
Grading Permit Fee: \$0.00
WQ Insp. Fee: \$0.00
Electrical %: \$0.00
Mechanical %: \$0.00
Plumbing %: \$0.00

Planning Department -
Plan check Fee: \$0.00
Fair Share: \$0.00
SJH Trans: \$0.00
In-lieu Housing Fee: \$0.00
Public Works Department -
Park Dedication: \$0.00
P/W Plan Check: \$0.00
San Dist: \$0.00
NIMUSD Fee: \$0.00

Fire Department
Fire Inspection: \$0.00
Fire Plan Rev: \$0.00
Demolition Fee: \$0.00
Building Dept Adm: \$0.00
General Service: \$0.00
Refund Deposit: \$0.00
Grading Bond: \$0.00

TOTAL FEE: \$492.81

Plan Check Fee: \$228.81

Fee Due at Permit Issuance: \$264.00

PROCESSED BY: BS

ZONING APPROVAL: MSW

GRADING APPROVAL:

PUBLIC WORKS APPROVAL: MK

PLAN CHECK BY:

APPROVAL TO ISSUE:

ON THE WEEKEND
NO CONSTRUCTION NOISE

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason:
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent _____ Date _____

LICENSED CONTRACTOR'S DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class See front License No. _____ Contractor Signature [Signature] Date 12/16

WORKERS' COMPENSATION DECLARATION
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier: See front Policy Number _____ Expiration Date _____ Phone # _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Date 12/16

Signature of Applicant [Signature] Date 12/16

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code). Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:
I am the property owner or authorized to act on the property owner's behalf.
I have read this application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name South Allen Date 12/16

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input checked="" type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: <u>[Signature]</u>	



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - BLDG



X 2 0 1 8 3 2 4 6 1

COMB Permit : X2018-3246

Project No : 2530-2018

Issued Date : 10/15/2020

Inspection Area : 56

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 10/16/2023 OR PERMIT WILL BE INVALID
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 540 HAZEL DR NB
Description: SFR RETAINING WALLS 97 LF X 14' HIGH MAX INSIDE P/L *MARKERS ON SITE*
Legal Desc.: N TR 673 BLK B LOT 27

Owner: CHRISTENSEN FRANK DANA
Address: 544 HAZEL DR
CORONA DEL MAR, CA 92625
Phone: 949-933-4488

Applicant: AUSTIN PAT
Address: 2732 E. COAST HWY STE B
NEWPORT BEACH, CA 92625
Phone: 949-718-3528

Contractor: GRAYSTONE CUSTOM BLDRS INC
Address: 3419 VIA LIDO STE 455
NEWPORT BEACH CA 92663
Phone: 949-466-0900

Con State Lic: 971085
Lic Expire: 03/31/2022
Bus Lic: BT30040057
Lic Exp Date: 03/31/2021

Worker's Compensation Insurance
Carrier: STATE FUND
Policy No: 9216106
Expire: 08/15/2021

Building Setbacks
Rear: 10'
Front: 5'
Left: 4'
Right: 4'

Use Zone: Parking Spaces: 0

Construction Valuation: \$40,000.00

Building Permit Fee: \$1,358.00
Plan Check Fee: \$590.73
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management: \$0.00
Energy Compliance: \$0.00
CA Seismic Safety: \$0.00
Disabled Access: \$0.00
Hazardous Mat: \$0.00
Building Green Fee: \$2.00

Excise Tax: \$0.00
Additional Fee: \$0.00
Grading Bonds Fee: \$0.00
Grading PC Consultant: \$0.00
Grading Permit Fee: \$0.00
WQ Insp. Fee: \$0.00
Electrical %: \$0.00
Mechanical %: \$0.00
Plumbing %: \$0.00

Planning Department -
Plan check Fee: \$0.00
Fair Share: \$0.00
SJH Trans: \$0.00
In-lieu Housing Fee: \$0.00
Public Works Department -
Park Dedication: \$0.00
P/W Plan Check: \$0.00
San Dist: \$0.00
NМУSD Fee: \$0.00

Fire Department
Fire Inspection: \$0.00
Fire Plan Rev: \$0.00
Demolition Fee: \$0.00
Building Dept Adm: \$0.00
General Service: \$0.00
Refund Deposit: \$0.00
Grading Bond: \$0.00

TOTAL FEE : \$1,950.73

Plan Check Fee : \$405.00

Fee Due at Permit Issuance : \$1,545.73

PROCESSED BY: [Signature]

ZONING APPROVAL: [Signature]

GRADING APPROVAL: [Signature]

PUBLIC WORKS APPROVAL: [Signature]

PLAN CHECK BY: [Signature]

APPROVAL TO ISSUE: [Signature]

INSPECTOR

CHILD'S CYNTHIA
2732 E COAST HWY #B
CORONA DEL MAR CA 92625
949-718-3528 State Lic: C022985

SHEPPARD STEVEN THOMAS
28782 EL MIO LANE
LAGUNA NIGUEL CA 92692
949-481-9669 State Lic: S-005446

Designer:
Address:
Phone:

Special Conditions:

Fire Hazard Zone:

THIS PERMIT IS IN FINAL STATUS ONLY W.S. IS OTHER BUILDING APP BY DRR 8/14/21 ?

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason:
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect. License Class _____ License No. _____ Date 10/15/2020 Contractor Signature _____ Date _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____ Policy Number _____ Expiration Date _____ Phone # _____

Name of Agent _____ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Date 10/15/2020

Signature of Applicant _____

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code). Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf.

I have read this application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent _____ Print Property Owner's or Authorized Agent's Name Michael Terry Date 10/15

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO
PERMIT CANCELLED			<input type="checkbox"/> EPA
PERMIT EXTENDED			<input type="checkbox"/> AQMD
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:

FOR OFFICE USE ONLY



City of Newport Beach
 Community Development Department - Building Division
 100 Civic Center Drive, Newport Beach, CA 92660
 Permit Counter Phone: (949) 718-1888
 newportbeachca.gov/civic
 Combination Type -
 Work Class - Other



S 2 0 2 4 0 0 3 3

Pool Permit : S2024-0033
Plan Check No : PC2024-0523
 Issued Date : 04/18/2024
 Final Date:
 Permit Status: Issued
 Inspection Area : 6

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
 NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

Job Address : 540 HAZEL DR
Description : SFR (N) SPA AT DECK 74 SF (X2018-3245)
Legal Desc : N TR 673 BLK B LOT 27

Owner : FRANK DANA & MICHELLE- CHRISTENSEN & Contractor : INFINITY POOL SERVICE
 BROWN
Address : 540 HAZEL DR
 NEWPORT BEACH, CA 92625
Phone : (949) 717-7100

Address : 28295 CAMINO ESTRIBO
 TEMECULA, CA 92590
Phone : (714) 262-9164
Con State Lic : 891370
Lic Expire : 02/28/2025
Bus Lic : BT30053051
Bus Lic Expire : 11/30/2024

Applicant : SARAH BLATARIC
Address : 31 TESSERA AV
 LAKE FOREST, CA 92610
Phone : (949) 408-8676

Architect :
Address :
Phone :
State Lic :

Engineer : MCCARTHY ROBERT JAMES
Address : 23 CORPORATE PLAZA #150
 NEWPORT BEACH, CA 92660
Phone : (949) 629-2530

Designer :
Address :
Phone :

Workers' Compensation Insurance
Carrier : EXEMPT - NO EMPLOYEES
Policy No : EXEMPT
W. C. Expire :

Fire Sprinklers : NO
Fire Hazard Zone : YES
No of Units : 1
No of Stories :

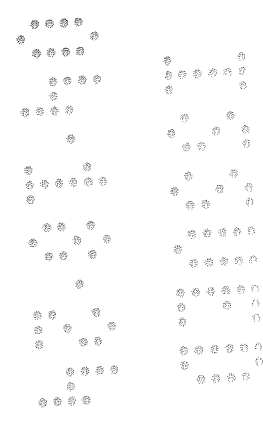
Code Edition : 2022
Type of Construction : U
Occupancy Groups : U
Bldg Height :

Construction Valuation : \$25,000.00
Added/New/TI sq. ft. Bldg : 0
Alteration sq. ft. Bldg :
Added/New sq. ft. Garage : 0

Building Setbacks : Front: 5, Side: 4, Rear: 10
Flood Zone : X
Use Zone : R-1 - Single-Unit Residential

PROCESSED BY : RM **INSPECTOR**

SPECIAL CONDITIONS: HIGH DENSITY; LANDSLIDE; VHFSZ, FIRE HAZ ZONE



OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code. The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

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Signature of Property Owner or Authorized Agent _____ Date _____

LICENSED CONTRACTOR'S DECLARATION

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WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEYS' FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____

Expiration Date _____ Phone # _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant _____ Date _____

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

By my signature below, I certify to each of the following:
Lender's Name _____ Lender's Address _____

I am the property owner or authorized to act on the property owner's behalf.
I have read this application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent _____ Print Property Owner's or Authorized Agent's Name _____ Date _____

FOR OFFICE USE ONLY

ACTION _____ DATE _____ BY _____ DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403

PERMIT EXPIRED I SUBMITTED ASBESTOS NOTIFICATION TO

PERMIT CANCELLED EPA

PERMIT EXTENDED AQMD

PERMIT FINAL ASBESTOS NOTIFICATION IS NOT APPLICABLE TO

CERTIFICATE OF OCCUPANCY ISSUED PROPOSED DEMOLITION

SIGNATURE: _____

All required alarms, latches gates and fences which serve as part of a pool/spa barrier, shall be in place prior to approval to fill pool/spa & shall remain in place & be maintained for the life of the pool.

Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: September 6, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Site Observation of Slab Subgrade

R McCarthy Consulting, Inc. (RMC) was onsite on August 22nd to observe and document the slab subgrade for the proposed upper and lower level slabs for the proposed new residential construction. The slab subgrade excavation exposed bedrock material (Monterey Formation) consisting of yellowish brown to pale gray fine-grained sandstone, shallow terrace deposits over bedrock consisting of medium dense to dense silty sand, and sand-cement slurry. In addition the interior slab trenches were backfilled with on-site silty sand. Gravel was placed per the approved plans as a capillary break.

The subject slab subgrade and are considered geotechnically acceptable for placement of steel and concrete.

Our services do not include verification of line and grade for the slab areas, which is responsibility of others.

Robert McCarthy
Principal Engineer



Signed 09/06/2022

Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: August 4, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Site observation of footing excavations

Arrived on site this morning to test and observe the footing excavations at the request of the general contractor and the concrete contractor. The concrete contractor excavated the footing trenches in the upper street grade pad prior to my arrival on site. The excavations extended a minimum of 24 inches below the adjacent grade in the retaining wall backfill and terrace deposits. The wall backfill material consisted of a lean cement slurry placed earlier in the project. The soils in the bottoms of the trenches yielded less than one inch when probed under weight. The terrace deposits consisted of a yellowish to reddish brown clayey sand.

Based upon our observations, it is our opinion that, from a geotechnical standpoint the soils and backfill materials in the footing excavations are in general compliance with the recommendations of this firm and are considered suitable for the installation of the steel reinforcement and concrete.

It is our understanding that line and grade will be determined by others.

The contractor was also preparing the slab underlayment for the lower pad at the time of our site visit. The contractor backfilled the relatively shallow (6-12 inches deep) interior plumbing trenches with shading sand.

Respectfully Submitted,

R McCarthy Consulting, Inc.

Stephan Cousineau, Staff Engineer



R MCCARTHY CONSULTING, INC

February 25, 2022

Frank Christensen and Michelle Brown
113 Willowbend
Irvine, CA 92612

File No: 8235-10
Report No: R5-8235

Subject: **Geotechnical Review of Survey Data**
Termination of Survey Monitoring
Property Line Shoring
540 Hazel Drive
Corona del Mar, California

Permit No.: X2018-3245

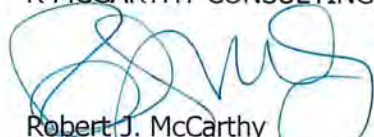
We have reviewed the Monitoring Reports provided by Apex Land Surveying, Inc. for the time period April, 2021 through January, 2022. The reports include horizontal and vertical positions of monitoring points established on the shoring soldier piles, walls and hardscape behind the shoring and excavation. Based on our review, it is our opinion that the movements indicated in the Apex Monitoring Reports are within the expected design tolerance limits for the shoring and excavations. It is our further opinion that no further remedial action is required at this time. The perimeter site walls are essentially constructed to a sufficient degree and are in place for retention along the property lines. Daily survey monitoring is not necessary from a geotechnical standpoint.

This review has been conducted in accordance with generally accepted practice in the engineering geologic and soils engineering field. No further warranty, expressed or implied, is made as to the conclusions and professional advice included in this report.

Thank you for this opportunity to be of service. If you have any questions, please contact this office.

Respectfully submitted,

R MCCARTHY CONSULTING, INC.



Robert J. McCarthy
Principal Engineer, G. E. 2490
Registration Expires 3-31-22
Date Signed: 2/25/22





Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: February 15, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Grade Beam Excavations for Proposed Structure

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the concrete contractor Ruben (Ekedal) to observe and document the proposed structure grade beam excavations. I observed that the contractor had excavated for grade beams along the lower rear portion and middle of the proposed structure. The excavations were observed to be a minimum of 24 inches below adjacent grades exposing yellow brown sandstone bedrock and approximately 30 inches wide, as anticipated with the approved foundation plans by SDC Engineering. The excavations were observed to connect all the recently installed structure caissons observed under the RMC office. Excavations were observed to step up in 2-4 foot blocks from the lower building pad grade to the middle portion building pad grade.

Based upon our observations, it is our opinion that, from a geotechnical standpoint, the grade beam excavations for the proposed structure were prepared in general compliance with the recommendations of this firm and are considered suitable for the installation of steel reinforcement and concrete.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,
R McCarthy Consulting, Inc.
Griffin McMullen, Staff Geologist

A handwritten signature in blue ink that reads 'Griffin McMullen'.

Field Memorandum

Client: Frank Christenson & Michelle Brown

Date: November 2, 2021

Project Address: 540 Hazel Drive, City of Newport Beach CA

Project No. 8235-10

Subject: Observation of Site Conditions & Erosion Control Recommendations

Peter Anderson of R McCarthy Consulting (RMC) Inc, was onsite at the request of the building contractor (Mr. Mike Terry- Greystone Custom Builders) and the City of Newport Beach geotechnical consultant (Mr. Sergio Gutierrez) to observe the existing site conditions and provide recommendations for erosion control during interim grading conditions. The City of Newport Beach building inspector previously expressed concern regarding the potential for soil runoff into Buck Gully along the east edge of the site. After reviewing the site conditions, we recommend that all loose spoils along the lower slope be removed and a sandbag and plastic catchment basin be constructed at the lowest pad level to intercept and contain any surface water before it flows over the descending slope. If required, water should be pumped back up to Hazel Drive and discharged in an appropriate manner. Additional erosion control measures should also be implemented per the erosion control plan and the recommendations of the civil engineer and the City of Newport Beach.

Spoils piles generated during future onsite excavations and/or grading should be periodically removed from the site and/or sandbagged and protected with plastic if left onsite for extended periods of time or during periods of anticipated adverse weather.

An RMC field representative should be onsite to periodically review site conditions during future excavation/grading operations.

Respectfully submitted,

R McCarthy Consulting, Inc.

Peter Anderson CEG 2596



A handwritten signature in black ink, appearing to read "Peter Anderson".

FIELD MEMORANDUM

CLIENT/CONTRACTOR: Christensen /
Graystone Custom Builders Inc.

Date 8-30-21

File No. 8235-10

Activity Observation of Soldier Pile Excavations

Permit No. X2018-3245

Comments:

SITE ADDRESS: 540 Hazel Dr.

I was on site this morning at the request of the general contractor (Graystone) and drilling contractor (Drilco) to observe and document the shoring pile excavations and additionally, provide vibration monitoring during on site drilling. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A. Purkis, dated March 9, 2021. The following ~~exc~~ shoring pile excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Shoring Pile #	Date	Diameter (in)	Temp. Slurry Pit Elev. (ft)	Design Tip Elevation (ft)	Drill Depth		
					Min Tip Elevation (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP13	8-30-21	30	137.59	118	19.59	22.0	115.59

This memorandum is not intended to verify steel length or reinforcement. Our services do not include verification of line and grade which we understand was checked by others.

BY: Griffin McMullen
 Staff Geologist

Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: August 27, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

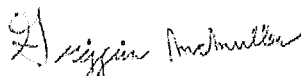
Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP5	8-27-21	30	139.5	106	33.5	36	103.5

Hard drilling conditions were observed near the surface with a cemented grey sandstone bedrock outcrop observed in the upper 4 feet. Intermittent hard and soft bedrock drilling conditions were observed to the depth of approximately 22 feet below surface, where the bedrock was observed to be a yellow brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,
 R McCarthy Consulting, Inc.
 Griffin McMullen, Staff Geologist



Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: August 26, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP6	8-26-21	30	139.38	111	28.38	30	109.38

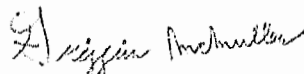
Conditions were generally as anticipated with bedrock consisting of yellow brown sandstone encountered at surface grades. Hard drilling conditions were observed to the depth of approximately 20 feet below surface, where the bedrock was observed to be an orange brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

Drilco began drilling excavations for soldier pile SP-5 this afternoon. Hard drilling conditions were observed near the surface with a cemented grey sandstone bedrock outcrop observed in the upper 4 feet. Multiple drill attempts were made to the excavation in the upper 4 feet to maintain the proposed orientation for the shoring pile. The contractor drilled SP-5 to 14 feet below surface grades when drilling operations stopped at the end of the day.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,
 R McCarthy Consulting, Inc.
 Griffin McMullen, Staff Geologist



Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: August 24, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP7	8-24-21	30	138.53	111	27.53	28.5	110.03

Conditions were generally as anticipated with bedrock consisting of yellow brown sandstone encountered at surface grades. Hard drilling conditions were observed to the depth of approximately 22 feet below surface where the bedrock was observed to be an orange brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,
 R McCarthy Consulting, Inc.
 Griffin McMullen, Staff Geologist



Daily Field Memorandum

Client: Frank Christensen & Michelle Brown

Date: July 9, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP8	7-9-21	30	151.54	132	19.54	24.0	130.54
SP9	7-9-21	30	150.97	130	20.97	21.0	126.97

Conditions were generally as anticipated with bedrock encountered 15-16 feet below the temporary slurry pad. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,
R McCarthy Consulting, Inc.
Griffin McMullen, Staff Geologist



FIELD MEMORANDUM

Frank Christensen and Michelle Brown

July 7, 2021

CLIENT/ CONTRACTOR: _____

C/O Graystone Custom Builders, Inc.

Date _____

File No. _____ 8235-10

observation of soldier pile excavation clear outs

Activity _____

Permit No. _____

Comments:

SITE ADDRESS: _____

I was on site this morning at the request of the general contractor (Graystone) to observe the soldier pile excavations for the proposed shoring. Excavations for shoring piles SP-1, SP-2, SP-3, SP-4, SP-10, SP-11, and SP-12 were previously drilled to the minimum depth as specified on the approved plans by David A. Purkis dated March 9, 2021. Excavations for SP-3 and SP-4 were cleared of loose debris recently, as excavations have been open for over a month. Approximately 2-3 feet of loose debris were cleared from SP-3 and SP-4, bringing the excavations to the minimum depths as specified on the approved plans. All previously drilled soldier pile excavations were verified to be to the minimum depths.

Please refer to the plan for _____

The soldier pile excavations mentioned above are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

BY: Griffin McMullen
Staff Geologist



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: 540 Hazel
 Permit Number: _____
 Inspection Type (s): Welding
 Inspection Date (s): 10/19/2022 Periodic Continuous

Describe Inspection, Including Location(s):
<p>Observed field welding of full penetration at moment frame and beam connections. Certified welders were observed for proper welding techniques. Completed welds were verified for size, length, location, and are free from visible defects.</p> <p>Certified Welder Information: Terry A. Aldinger #P001400 Ex. 09/18/2024</p>

List Tests Made:

Total Inspection Time Each Day:						
Date:	10/19/2022					
Hours:	8					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:	Date:
	10/19/2022
Print Full Name:	Newport Beach Registration No.:
Christopher J. Whelan	NB-0661

SpecialInspectionReport 08/25/2015



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: Christensen/Brown Residence. 540 Hazel Drive, Newport Beach, CA

Permit Number: X2018-3245

Inspection Type (s): Reinforcing Steel

Inspection Date (s): 8/15/22 Periodic Continuous

Describe Inspection, Including Location(s):
Observed the placement of reinforcing steel for street level garage pad and ordinary footings per details on sheet S6. Rebar was verified for size, lap, location and clearance.

Total Inspection Time Each Day:						
Date:	8/15/22					
Hours:	Min					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

Special Inspector Signature:	Date:
<i>P Gilpin</i>	8/15/22
Print Full Name:	Newport Beach Registration No.:
Peter Gilpin	NB-0381



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: Christensen/Brown Residence. 540 Hazel Drive, Newport Beach, CA

Permit Number: X2018-3245

Inspection Type (s): Chemical Anchors

Inspection Date (s): 8/11/22 Periodic Continuous

Describe Inspection, Including Location(s):

Observed the placement of #5 reinforcing steel dowels - street level footings to existing P.I.P walls using Simpson Set XP epoxy (Lot # 1000191574, exp 9/23). Prior to placement verified min embed and proper cleaning of holes using nylon brush and compressed air. Area of work rear entry area and rear of garage area.

Total Inspection Time Each Day:

Date:	8/11/22					
Hours:	Min					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

Special Inspector Signature:	Date:
<i>P Gilpin</i>	8/11/22
Print Full Name:	Newport Beach Registration No.:
Peter Gilpin	NB-0381



DEPUTY 1 INSPECTION

1-800-DEPUTY 1

Gen Contr:

Gray Stone

Sub-Contr:

Ekedal

SDC

Report of Special Inspection

Project Name & Address Christensen/Brown Residence/540 Hazel, Newport Beach

Permit Number X2018-3245

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 6/23/2022 [] Periodic [] Continuous

Describe Inspection Made, including Locations:

Verified placement of reinforcement for cast in place retaining wall and footing (bio retention) at the foundation per plan. Size and reinforcement of retaining wall and footing dependent on and in strict accordance with corresponding details on 4 of S12.

List Tests Made:

Total Inspection Time Each Day:

Date	6/23/22						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

- High strength steel used per specs and codes.
- Reinforcement clearances achieved and maintained throughout.
- Reinforcement secured and in place at time of inspection.
- Minimum lap distances achieved throughout.

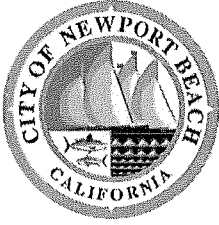
To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: *Thomas George*

Date 6/23/22

Print Full Name: Thomas George

Registration No. NB-0617



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
1-800-DEPUTY1

Gen Contr: Graystone
Sub-Contr: Ekella

SPECIAL INSPECTION REPORT

Project Address: Christensen Res - 540 Hazel Dr.
Permit Number: X2018-3245
Inspection Type (s): P/C
Inspection Date (s): 3/3/22 () Periodic () Continuous

Describe Inspection, including Location(s):
Checked Foundation G.B.'s & Vert. Rebar for Bsmt Walls
Details on SF

List Tests Made:

Table with 2 rows: Date (3/3/22), Hours (4)

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:
All steel correct - tied to maintain position & clearances
No deficiencies noticed

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signature and Date fields for Special Inspector Signature and Date, with registration number NB-0402.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
 1-800-DEPUTY1

Gen Contr: Greystone
 Sub-Contr: Ekedal

SPECIAL INSPECTION REPORT

Project Address: Christensen/Brown Residence @ 540Haze 1
 Permit Number: 2020.2361
 Inspection Type (s): RC - Site wall Reinforcement
 Inspection Date (s): 12/1/21 () Periodic () Continuous

Describe Inspection, Including Location(s):
Inspected reinforcement @ east and west stem
Site walls above grade beam per plan
page TS3/detail #10.

List Tests Made:
Reinforcement observation only

Total Inspection Time Each Day:

Date:	<u>12/1/21</u>				
Hours:	<u>AM</u>				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):
No exceptions taken

Comments:
Rebar complies with plan specifications
for steel size, spacing, configuration
and placement per plan. Rebar
w/o detect or deleterious coating.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:	Date:
<u>[Signature]</u>	<u>12/1/21</u>
Print Full Name:	Newport Beach Registration No.:
<u>Shawn Ward</u>	<u>NB-0743</u>



DEPUTY 1 INSPECTION

1-800-DEPUTY1

Gen Contr: Gray Stone

Sub-Contr: Ekedal

David APurkis

Report of Special Inspection

Project Name & Address Christensen/Brown Residence/540 Hazel, Newport Beach

Permit Number X2018-3245

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 11/10/21 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Verified placement of reinforcement of grade beams through soldier piles at shoring wall per TS2 of the shoring structural plan. Size and reinforcement of grade beams/ protruding steel for wall reinforcement in strict accordance with corresponding detail 10 of TS3.

List Tests Made:

Total Inspection Time Each Day:

Table with 2 rows: Date (11/10/21), Hours (4)

List Items Requiring Correction, include uncorrected items previously listed

Comments:

- High strength used per specs and codes. Reinforcement clearances achieved and maintained throughout. Reinforcement secured and in place at time of inspection. Minimum lap distances achieved throughout.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: Thomas George

Date 11/10/2021

Print Full Name: Thomas George

Registration No. NB-0617



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: Kristensen/Brown Residence. 540 Hazel Drive, Newport Beach, CA.
 Permit Number: X2018-3245
 Inspection Type (s): Shoring Steel
 Inspection Date (s): 8/25/21 Periodic Continuous

Describe Inspection, including Location(s):
Verified WF beams for shoring piles # 5, 6, 7, 13. 2 - W18 X 92, 2 - W14 X 109. Beams were verified for size, length with clearances to be verified at time of concrete placement. Verified mill certs. Details on sheet TS2.

Total Inspection Time Each Day:					
Date:	8/25/21				
Hours:	Min				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

Special Inspector Signature:	Date:
<i>P Gilpin</i>	8/25/21
Print Full Name:	Newport Beach Registration No.:
Peter Gilpin	NB-0381



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

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DEPUTY 1 INSPECTION
 1-800-DEPUTY1

Gen Contr: Craystone
 Sub-Contr: Duico/Ekedal

SPECIAL INSPECTION REPORT

Project Address: Christensen / Brown Residence @ 540 Hazel Dr
 Permit Number: X2020-2361
 Inspection Type (s): RC - Shoring Pile Placement
 Inspection Date (s): 7/12/21 () Periodic () Continuous

Describe Inspection, Including Location(s):
 Inspected the delivery and placement of (2) Wide Flange Shoring Beams notated on plan page TS-2 as SP-8 and SP9 - both are W14x90. Mill Certs were verified and field measured for conformity to plan specs

List Tests Made:
 Steel Check and placement verification

Total Inspection Time Each Day:					
Date:	7/12/21				
Hours:	AM				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):
 No exceptions taken

Comments:
 Beams placed in respective excavations w/ clearances maintained per plan. Reinforcement w/o deteriorous coating or excessive rust.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature: 	Date: 7/12/21
Print Full Name: Shawn Ward	Newport Beach Registration No.: NB-0743



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: Christensen/Brown Residence. 540 Hazel Drive, CDM, CA

Permit Number: X2020-2361

Inspection Type (s): Shoring Caissons

Inspection Date (s): 7/7/21 Periodic Continuous

Describe Inspection, Including Location(s):

Verified the placement of WF beams at temp shoring caissons # 1,2,3,4,10,11,12. Details sheet TS2. Steel beams were verified for size, length, location and clearance. Pre pour reinforcing steel verification.

Total Inspection Time Each Day:

Date:	<u>7/7/21</u>					
Hours:	<u>Min</u>					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

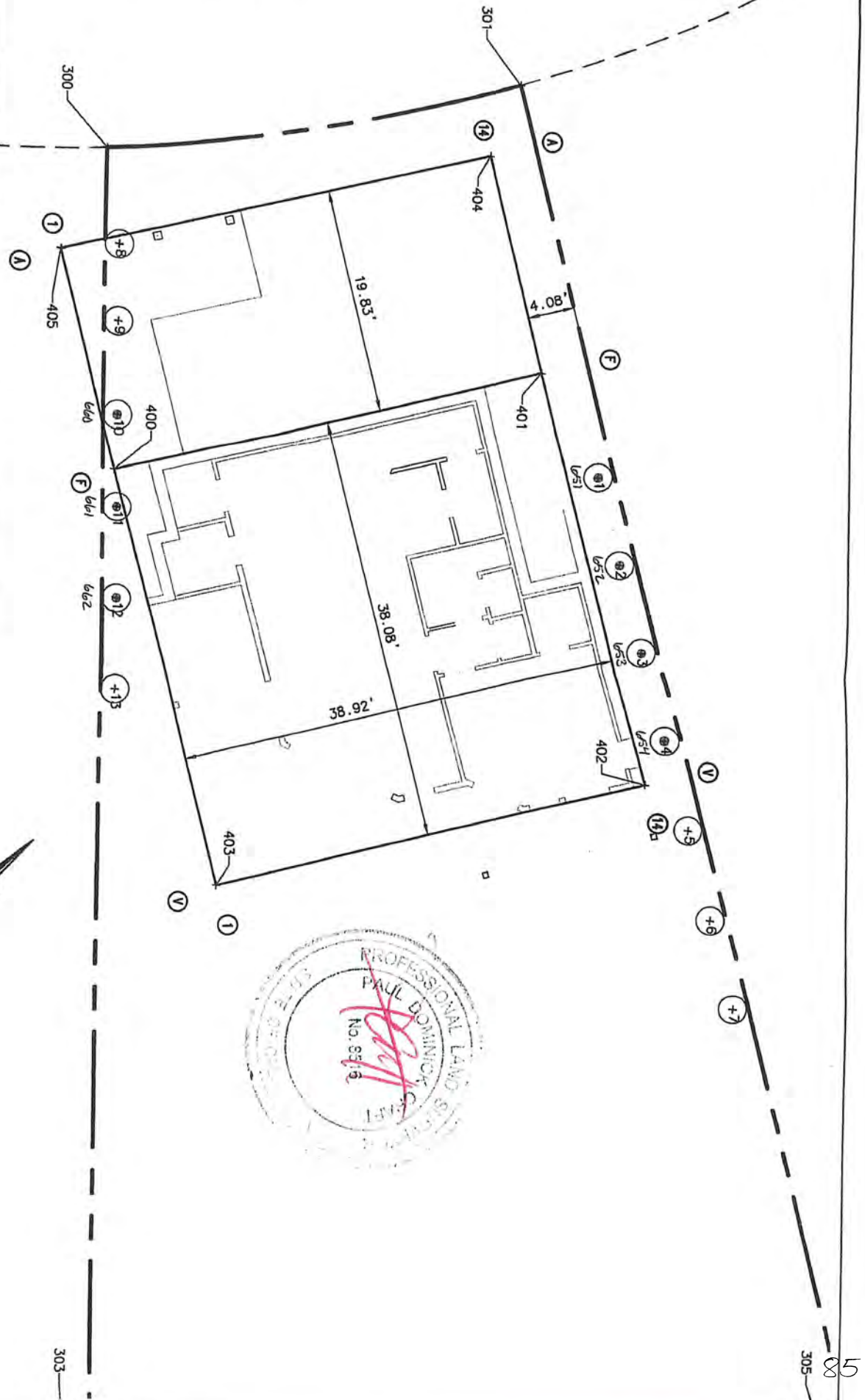
Special Inspector Signature:	Date:
<i>P Gilpin</i>	<u>7/7/21</u>
Print Full Name:	Newport Beach Registration No.:
<u>Peter Gilpin</u>	<u>NB-0381</u>

HAZEL DRIVE

Y: P. D. C.
 DATE: 4/05/2021
 FILE: 16040
 JOB#: 16040

PROJECT SURVEYOR:
APEX LAND SURVEYING, INC.
 8512 OXLEY CIRCLE
 HUNTINGTON BEACH, CA 92646
 PHONE: (714)488-5008
 FAX: (714)333-4440

LOCATION:
540 HAZEL DRIVE
NEWPORT BEACH, CA
 STAKING EXHIBIT SHEET NO.
 2 OF 2





CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
 www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
 1-800-DEPUTY1

Gen Contr: Graystone
 Sub-Contr: Armedal

SPECIAL INSPECTION REPORT

Project Address: 12020-2361
 Permit Number: Christensen/Brown Residence @ 540 Hazel Drive
 Inspection Type (s): RC - W Shoring Beams
 Inspection Date (s): 5/10/21 () Periodic () Continuous

Describe Inspection, Including Location(s):
 Inspected (7) W beams for the temp shoring operation noted on plan page TS2 as SP#1-4 and #10-12. SP#1-4 noted on pile schedule as w18X192 and SP#10-12 noted as 14X109.

List Tests Made:
 Reinforcement verification

Total Inspection Time Each Day:

Date:	<u>5/10/21</u>				
Hours:	<u>AM</u>				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):
 No exceptions taken

Comments:
 W beams delivered for the aforementioned beams conform to plan for construction, as verified by mill certs, beam tags and field measurements. Geological verification by others. No exceptions taken.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature: 	Date: <u>5/10/21</u>
Print Full Name: <u>Shawn Ward</u>	Newport Beach Registration No.: <u>NB-0743</u>

Attachment No. 2
Three-Year Construction Limit Notice Activities

PERMIT ACTIVITY REPORT (X2018-3245) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
10/16/2023					
	Generic Activity	BUILDING OFFICIAL APPROVAL	ACT-002355-2023	365 DAYS EXTENSION GRANTED. NEW 3-YEAR CONSTRUCTION TIME LIMIT EXPIRATION DATE IS 10/14/2024.	Tonee Thai
	Generic Activity	APPLICATION SUBMITTE	ACT-002354-2023	APPLICATION SUBMITTED ON 09/25/2023.	Tonee Thai
10/09/2023					
	Generic Activity		ACT-002301-2023	Spoke with Mike Terry on Friday October 6th and informed him that the 3 year application needs to be signed by the homeowner and not by Mike the GC.	David Reed
11/02/2023					
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-002571-2023	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank
02/14/2024					
	LOCKSTEP PERMIT WORK IN PROGRESS	Changed to issued		Expiration date per Energov was 05/05/2024 - not sure why it was in Expired	Rick La Bare
08/21/2024					
	Generic Activity	Posting 3yr letter	ACT-003203-2024	Posted 3 yr letter on property 08/14/2024	Rick La Bare
	Generic Activity	Returned	ACT-003204-2024	GC came in, Directed him to pay fee at Revenue and include any supporting documents upon his submittal (this was 08/20/2024)	Rick La Bare
08/22/2023					
	Generic Activity		ACT-001865-2023	Spoke with GC (Michael Terry) and reminded him of our conversation 2 weeks ago concerning him coming down to City Hall to drop off the 3 year extension application and supporting documents. Mike stated he remembered the conversation and will be down by the end of the week or first part of next week to drop off the application.	David Reed
09/25/2023					

PERMIT ACTIVITY REPORT (X2018-3245)

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
	Generic Activity		ACT-002120-2023	I spoke to Mike terry this morning, he stated he was bringing ion the 3-year extension application this morning	Steven Lane

09/09/2024

	Generic Activity	Received	ACT-003415-2024	Received application with supporting documents for hearing officer and turned infor review	Rick La Bare
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Attachment No. 3

Building Official Extension



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

**Three Year Construction Time Limit Extension
Building Official Application**

Project Address: 540 Hazel		Receipt No.: 15664-0001	
Permit No.: X2018-3245	Original Permit Issued Date: 10/15/2020	Extension Fee: \$214	Date Fee Paid: 9/25/23
PETITIONER/PROPERTY OWNER INFORMATION			
Name (Must be payor of fees): Michael Terry		Company Name: Graystone Customer Builders, Inc.	
Street Address: 3419 Via Lido, #455		City: Newport Beach	State: CA Zip Code: 92663
Email: michaelterry@mac.com		Phone: 949-466-0900	
PROJECT INFORMATION			
Length of extension requested: 12 Months		New end date if request is approved: 10/15/2024	
Previous Extension(s) Granted? (Y/N): N/A		If Yes, How Many?: N/A	
Description of Work Under Permit:	New Single Family Residence		
Reason for Extension Request	(Attach Supporting Documents as Needed) Supply chain delay's specifically with window's & doors Additionally, we experienced extensive delay's due to record breaking rainfall during comprehensive shoring & caisson work. We also were forced to stop work due to a legal dispute with a neighbor that has since been resolved. We are currently on a fantastic trend moving forward & I am encouraged that we should not experience any additional delay's.		
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.			
Petitioner's Signature: <i>[Signature]</i>		Relationship to Property Owner: Owner	Date: 09 / 22 / 2023
FOR STAFF USE ONLY			
Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied			
Conditions of Approval or Comments:	365 DAYS EXTENSION GRANTE. PERMITS SHALL EXPIRE ON 10/14/2024 UNLESS ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.		
Building Inspector Reviewed:	Name: DAVID REED	Signature: <i>[Signature]</i>	Date: 10/19/23
Building Official Approval:	Name: TONEE THAI	Signature: <i>[Signature]</i>	Date: 10/16/23



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

RECEIVED BY
COMMUNITY
DEVELOPMENT

SEP 25 2023

Three Year Construction Time Limit Extension
Building Official Application

CITY OF
NEWPORT BEACH

Project Address:	540 Hazel			Receipt No.:	15664-0001
Permit No.:	X2018-3245	Original Permit Issued Date:	10/15/2020	Extension Fee:	\$214
				Date Fee Paid:	09/25/23
PETITIONER/PROPERTY OWNER INFORMATION					
Name (Must be payor of fees):	Michael Terry		Company Name:	Graystone Customer Builders, Inc.	
Street Address:	3419 Via Lido, #455		City:	Newport Beach	State: CA Zip Code: 92663
Email:	michaleterry@mac.com		Phone:	949-466-0900	
PROJECT INFORMATION					
Length of extension requested:	12 Months				
New end date if request is approved:	10/15/2024				
Previous Extension(s) Granted? (Y/N):	N/A	If Yes, How Many?:	N/A		
Description of Work Under Permit:	New Single Family Residence				
Reason for Extension Request	(Attach Supporting Documents as Needed) Supply chain delay's specifically with window's & doors Additionally, we experienced extensive delay's due to record breaking rainfall during comprehensive shoring & caisson work. We also were forced to stop work due to a legal dispute with a neighbor that has since been resolved. We are currently on a fantastic trend moving forward & I am encouraged that we should not experience any additional delay's.				
<i>I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.</i>					
Petitioner's Signature:			Relationship to Property Owner:	General Contractor	Date: 09 / 22 / 2023
FOR STAFF USE ONLY					
Department Action:	<input type="checkbox"/> Approved <input type="checkbox"/> Denied				
Conditions of Approval or Comments:					
Building Inspector Reviewed:	Name: DAVID REED	Signature: David Reed	Date:	/ /	
Building Official Approval:	Name:	Signature:	Date:	/ /	

Delay's @ 540 Hazel

From: Michael Terry michaeleterry@mac.com
To: Reed, David DReed@newportbeachca.gov
Cc: Lane, Steve slane@newportbeachca.gov
Date: Tue, Sep 26, 2023, 6:32 AM
 Window & Door Order.pdf 570 KB
 Window & Door Delivery.pdf 72 KB

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Dave,


I am attaching the email communication with the window & door manufacturer per your request.

Please note this was only one component that contributed to the delay @ 540 Hazel. We experienced numerous delay's throughout the process @ this site including legal neighbor battles causing stop work as well as a very rainy 2021/2022. As you may recall this site is situated on a steep hillside with numerous caisson's & substantial shoring.

I have had my license on a lot of new single family homes in the city of Newport Beach & have never experienced delay's like this. I am confident we have turned a corner & are progressing in a positive direction to completion.

Please let me know if you need any additional information.

Michael
Graystone Custom Builders, Inc.
(949) 466-0900

From: Steve Hernandez SHernandez@spi-ind.com 
Subject: 540 HAZEL DRIVE
Date: June 6, 2022 at 8:23 AM
To: Michael Terry michaeleterry@mac.com

SH

Hi Michael,

Master bedroom window changed to 2 awnings below. I requested CAD drawings. Should have them back by Weds at the latest.

Please Note: Due to supply chain issues, all lead times will be approximate only. We may have shipping delays and back orders. Please be patient.

Thank you,
Steve Hernandez
Territory Manager
Sierra Pacific Windows
949-560-5665
9803 Research Drive,
Irvine Ca, 92618
www.SierraPacificWindows.com

https://www.instagram.com/s/aGlnaGxpZ2h0OjE3ODU0MzE4NTA4NTMwMzQ3?utm_medium=copy_link

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12202261.pdf

From: **Steve Hernandez** SHernandez@spi-ind.com
Subject: Tues Delivery
Date: March 4, 2023 at 10:17 AM
To: michaeleterry@mac.com

SH

Hi Mike. Heads-up I will be out of town until Weds of next week, and will not be able to be there for your delivery on Tues between 8-10 for Hazel. If you need anything please call our office at 949-788-4920. Talk soon...

Please Note: Due to the large increase in sales volume and supply chain shortages, all lead times will be approximate. We may have shipping delays and back orders. Your patience is greatly appreciated.

Thank you,
Steve Hernandez
Territory Manager
SIERRA PACIFIC WINDOWS
A Division of Sierra Pacific Industries
Phone (949) 560-5665
Showroom Address:
9803 Research Drive, Irvine, Ca. 92618
SierraPacificWindows.com



Sierra Pacific Windows

Territory Manager

9803 Research Drive
Irvine, Ca 92618
(949)788-4920 (Office)
(949)293-6162 (Cell)
(949) 788-4928 (Fax)
dwaltmire@spi-ind.com

CUSTOMER COPY

Order Number 10611309

Page 1 of 19

April 14, 2022
4:04 PM
Original Order Date

Terms: Cash on Delivery
Required Deposit: \$58,100.00
PO # :
Job # :
Permit # :
Box Screens: No
Box Hardware: Yes

Direct Ship: No
Add-On to:
Subdivision:
Tract Number:
Property Location: 540 HAZEL DRIVE
CORONA DEL MAR, CA 92625-

Sold To:
Graystone Custom Builders
3419 VIA LIDO SUITE 455
NEWPORT BEACH, CA 92663-____
(949)466-0900-Work
(949)675-4537-Fax
MIKE TERRY
michaleterry@mac.com

Ship To:
FRANK CHRISTENSEN MICHELLE
BROWN
540 HAZEL DRIVE
CORONA DEL MAR, CA 92625-

Property Owner:
FRANK CHRISTENSEN MICHELLE BROWN
540 HAZEL DRIVE
CORONA DEL MAR, CA 92625-

Lender:

Order Check List

Species	Jamb Size	Drawing Page(s)	Owners Manual/SPW Warranty	Color(s) (Clad) in order
Quantity	Primed vs Natural	O/S Purchase lead time	Installation Instructions	023 Black 2605
Operation	Exterior Trim	O/S Purchase warranty	Shop Drawings	
Rough Opening	Hardware	WUI Compliant	(Exterior) (Interior) Distressed	
Glazing / Lites	Screens	Terms and Conditions	Traditional Contemporary	

Warranty Information

[2] [3] [16] [17]

Modified Limited Warranty

(Applies to these line item numbers)

Order Summary

WARNING: This product can expose you to chemicals including silicon dioxide, which is known to the State of California to cause cancer and methanol, which is known to the State of California to cause birth defects or reproductive harm. For more information go to www.P65Warnings.ca.gov.

(This order is subject to the terms and conditions printed on the back page. Please read them before signing.)

Customer Signature: _____ Date: _____

Sales Rep Signature: _____

Duane Waltmire

Weighted Values
U-Fac: 0.30
SHGC: 0.20
sq ft: 1,145

Net Total	\$107,842.23
7.75% Tax Rate	\$8,357.77
Labor Charge	\$0.00
Total	\$116,200.00



Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
1	1	C-PS-060106-2 Patio Slider U-fac: 0.28 SHGC: 0.18 Vt: 0.42 CR: 57 LC-PG25	59 15/16"x108 1/4"	OX	3	BONUS ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntrmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock 1580 Screen SST Rollers BetterVue Spl Trim Sets Verona/2165 Matte Black - Trim Set 023 / 2605 Black Ext- Screen	No Brickmould No Drip Cap	6" Ship Loose	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
2	1	C-PS-118106-2 Patio Slider Modified Limited Warranty U-fac: 0.28 SHGC: 0.18 Vt: 0.42 CR: 57	117 15/16"x108 1/4"	OX	2	BONUS ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntrmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock 1580 Screen SST Rollers BetterVue Spl Trim Sets Verona/2165 Matte Black - Trim Set 023 / 2605 Black Ext- Screen	No Brickmould	6" Ship Loose	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
3	1	C-OD-030106-1 Outswing Door Modified Limited Warranty U-fac: 0.30 SHGC: 0.17 Vt: 0.38 CR: 61	32 9/16"x107 15/16"	R	C	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntrmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Keyed Lock Adj Hinges Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
CUSTOMER CHANGED FROM WINDOW TO DOOR.												
4	1	C-WA-5418-1 Urban Awning Box Mull @Plant Item #:5(1) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	54 3/4"x96 3/4"	X	B	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntrmp Bead	1 Lite	Stainless Hdw Cntrmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntrmp Profile Primed Int-White Interior Kerf CoreGuard Std
5	1	C-WCP-5478-1 Urban Casement Picture Box Mull @Plant Item #:4(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 4	S	B	CASITA	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntrmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntrmp Profile Primed Int-White Interior Kerf CoreGuard Std
6	1	C-WA-3018-1 Urban Awning Box Mull @Plant Item #:7(1) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	30 3/4"x96 3/4"	X	1	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntrmp Bead	1 Lite	Stainless Hdw Cntrmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntrmp Profile Primed Int-White Interior Kerf CoreGuard Std

97
CUSTOMER CHANGE FROM DOOR TO WINDOWS

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
27	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:26(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 26	R	F	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
28	1	C-WC-3054-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	60 3/4"x54 3/4"	LR	E	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
29	1	C-ID-3296-1 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	34 7/16"x38 1/2"	L	17	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Keyed Lock Adj Hinges No Screen OR Forever Bz - Hinges Dallas OR Forever Bz - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
30	1	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	R	D	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
31	1	C-ID-6490-2 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	67 5/16"x32 1/2"	AI	26	BED 3	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Adj Hinges No Screen Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
32	1	C-WC-2748-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	54 3/4"x48 3/4"	LR	V	BED 3	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std

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Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
20	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:21(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	I	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
21	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:20(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 20	L	I	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
22	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:23(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	H	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
23	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:22(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 22	R	H	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
24	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:25(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	G	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
25	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:24(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 24	R	G	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless HdW Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
26	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:27(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	F	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
14	1	C-WA-3618-1 Urban Awning Box Mull @Plant Item #:15(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	36 3/4"x96 3/4"	X	K	GREAT ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
CHANGED WIDTH DUE TO WIDTH OF STACKING DOOR												
15	1	C-WCP-3678-1 Urban Casement Picture Box Mull @Plant Item #:14(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 14	S	K	GREAT ROOM	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
16	1	C-MSSP-054 3/16/108-3 Multi-Slide Stacking Plus Drawing Required Modified Limited Warranty U-fac: 0.36 SHGC: 0.19 Vt: 0.44 CR: 41	156"x110 3/8"	OXX	19	GREAT	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock Square Pull 1 1/8 Sill Stop Keyed Finger Pull OR Forever Bz - Trim Set	No Brickmould No Drip Cap		Clad: 023 / 2605 Black Pine Primed Int-White 2 1/4" Panel CoreGuard Std
<p>Note: Due to the low profile interior sill stop, this door does not carry a rating for water infiltration. Each installation must be evaluated for potential of water intrusion due to exposure, elevation, climate zone and location in building. Protection afforded by special installation techniques including stepped sill applications and substantial overhangs can help offset potential for water intrusion.</p>												
17	1	C-MSSP-058 3/16/108-3 Multi-Slide Stacking Plus Drawing Required Modified Limited Warranty U-fac: 0.36 SHGC: 0.19 Vt: 0.44 CR: 41	168"x110 3/8"	XXXO	18	GREAT	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock Square Pull 1 1/8 Sill Stop Keyed Finger Pull OR Forever Bz - Trim Set	No Brickmould No Drip Cap		Clad: 023 / 2605 Black Pine Primed Int-White 2 1/4" Panel CoreGuard Std
<p>Note: Due to the low profile interior sill stop, this door does not carry a rating for water infiltration. Each installation must be evaluated for potential of water intrusion due to exposure, elevation, climate zone and location in building. Protection afforded by special installation techniques including stepped sill applications and substantial overhangs can help offset potential for water intrusion.</p>												
18	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:19(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	J	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
CHANGED WIDTH TO MATCH OTHER WINDOWS												
19	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:18(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 18	R	J	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std

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Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options
7	1	C-WCP-3078-1 Urban Casement Picture Box Mull @Plant Item #8(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 6	S	1	CASITA	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
8	1	C-WA-4818-1 Urban Awning Box Mull @Plant Item #9(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	48 3/4"x96 3/4"	X	A	CASITA	Bk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
9	1	C-WCP-4878-1 Urban Casement Picture Box Mull @Plant Item #8(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 8	S	A	CASITA	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
10	1	C-H3DH-3072-1 H3 Double Hung 2.0 Sash Split: 50/50 U-fac: 0.30 SHGC: 0.21 Vt: 0.49 CR: 56 LC-PG50	30"x72"	X	BB	CASITA	Bk Warm Edge Insulated Argon LoE-366 Tempered	1 Lite	2-Locks FlexScreen BetterVue Screen Applied White - Hardware	No Brickmould No Sill Nose No Drip Cap	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf Vinyl Nail Fin Flush Jamb CoreGuard Std Vinyl Int Beige
11	1	C-WCP-6060-1 Urban Casement Picture U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58 CW-PG45	60 3/4"x60 3/4"	S	N	ENTRY	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
12	1	C-WC-3648-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	36 3/4"x48 3/4"	R	M	VEST	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
13	1	C-WC-3048-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x48 3/4"	L	L	POWDER	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std

Item	Qty	Product Code	Rough Opening Width x Height (inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options
33	1	C-WA-4218-1 Urban Awning Box Mull @Plant Item #34(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	42 3/4"x78 3/4"	X	U	HALL	Bik Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
34	1	C-WCP-4260-1 Urban Casement Picture Box Mull @Plant Item #33(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 33	S	U	HALL	Bik Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
35	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CWPG40	36 3/4"x54 3/4"	L	T	OFFICE	Bik Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
36	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CWPG40	36 3/4"x54 3/4"	R	S	OFFICE	Bik Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
37	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CWPG40	36 3/4"x54 3/4"	R	R	OFFICE	Bik Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
38	1	C-WCP-108018-1 Urban Casement Picture Box Mull @Plant 1/2" Inter-Lock(T) Drawing Required U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	108 3/4"x91 1/4"	S	Q	MST BATH	Bik Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std

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Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
39	1	HORZ 1/2" INTER-LOCK Item #38(B) Item #40(T) Item #41(T) Item #42(T) * Priced By Factory	See Item # 38	O	Q	MST BATH				No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White No Int Kerf 1/2" Inter-Lock 1-Pc Ext Cvr CoreGuard Std
40	1	C-WC-2472-1 Urban Casement Box Mull @Plant 1/2" Inter-Lock(B) Item #41(R) Drawing Required U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 38	L	Q	MASTER BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Crimp Bead	1 Lite	TSL Stainless Hdw Crimp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Crimp Profile Primed Int-White Interior Kerf CoreGuard Std
41	1	C-WCP-6072-1 Urban Casement Picture Box Mull @Plant 1/2" Inter-Lock(B) Item #40(L) Item #42(R) Drawing Required U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 38	S	Q	MST BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Crimp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Crimp Profile Primed Int-White Interior Kerf CoreGuard Std
42	1	C-WC-2472-1 Urban Casement Box Mull @Plant 1/2" Inter-Lock(B) Item #41(L) Drawing Required U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 38	R	Q	MST BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Crimp Bead	1 Lite	TSL Stainless Hdw Crimp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Crimp Profile Primed Int-White Interior Kerf CoreGuard Std
43	1	C-OD-3096-1 Outswing Door U-fac: 0.30 SHGC: 0.17 Vt: 0.38 CR: 61 LC-PG40	32 9/16"x97 15/16"	L	25	MASTER	Blk Warm Edge Insulated Argon LoE-366 Tempered Crimp Bead Head: 4 5/8" Stile: 4 5/8" Kick: 6 13/16"	1 Lite	Adj Hinges Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
44	1	C-WA-3018-3 Urban Awning Box Mull @Plant 1/2" Inter-Lock(T) Drawing Required U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	90 3/4"x91 1/4"	XXX	P	MASTER	Blk Warm Edge Insulated Argon LoE-366 Tempered Crimp Bead	1 Lite	Stainless Hdw Crimp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Crimp Profile Primed Int-White Interior Kerf CoreGuard Std

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Item Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options	
45	HORZ 1/2" INTER-LOCK Item #44(B) Item #46(T) * Priced By Factory	See Item # 44	O						No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White No Int Kerf 1/2" Inter-Lock 1-Pc Ext Cvr CoreGuard Std	
46	C-DGP-9072-1 Direct Glaze Plus Box Mull @Plant 1/2" Inter-Lock(B) Drawing Required U-fac: 0.25 SHGC: 0.24 Vt: 0.57 CR: 60	See Item # 44	O	P	MASTER	Bk Warm Edge Insulated Argon LoE-366 Temp Ext	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Cntmp Profile Shdw Bd Stop Primed Int-White Interior Kerf CoreGuard Std	
47	C-WC-3072-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	60 3/4"x72 3/4"	LR	O	MASTER	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr BetterVue Screen Applied White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std	
TALLEST FRENCH CSMT												
48	C-WC-3648-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	72 3/4"x48 3/4"	LR	Z	STAIRS	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr BetterVue Screen Applied White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std	
TALLEST FRENCH CSMT												
49	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	L	Y	BED 2	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std	
50	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	R	X	BED 2	Bk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int.- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std	

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Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (Inches)	Additional Options
51	1	C-ID-6490-2 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	67 5/16"x92 1/2"	AI	27	BED 2	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Adj Hinges No Screen Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std
52	1	C-WA-3030-1 Urban Awning U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58 CW-PG55	30 3/4"x30 3/4"	X	W	BATH 3	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS Screen BeifenVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std
53	1	OS Screens(28)										
54	1	Boxed Window Hardware -HOLD										
55	1	Gold Level Lock & Slide										

Abbreviation Key**Glaze Options**

Insulated - Insulated Glass
 SIM DL - Simulated Divided Lite
 Lami IG-Ext - Laminated Glass to Exterior
 Lami IG-Int - Laminated Glass to Interior

Hardware Options

TSL - Tandem Sash Lock
 Adj Hinges - Adjustable Hinges
 BB Hinges - Ball Bearing Hinges
 Prem Screen - Premium Screen
 Swing Screen - Swing Door Screen
 Const Hdw - Construction Hardware
 Rem Handle - Removable Handle
 Spl Trim Sets - Special Trim Sets

Exterior Trim

SBM = Stucco Brickmould
 ESN 2 = Extended Sill Nose 2"
 ESN 3 = Extended Sill Nose 3"

Additional Options

ESH = Extended Sill Horn
 Primed Int. - Primed Interior
 Clear Int. - Clear Interior
 Primed Ext. - Primed Exterior
 Clear Ext. - Clear Exterior
 Tradl Profile - Traditional Profile
 Cntmp Profile - Contemporary Profile
 No Int Kerf - No Interior Kerf
 Shdw Bd Stop - Shadow Back of Bead Stop

Warranty Information**MODIFIED LIMITED WARRANTY**

Sierra Pacific Windows provides a modified Limited Warranty for certain windows and doors, including, but not limited to:

1. Products exceeding their certified test/design size as defined by the Window and Door Manufacturer's Association (WDMA) Hallmark Program.

2. Products subjected to conditions exceeding their WDMA Hallmark certified design pressure limitations.

Products described in Items 1 and 2 are not certified for air infiltration, water penetration, structural loading, forced entry or hardware load testing. These products carry a warranty on the exterior aluminum clad finish and insulated glass only. Customer is advised to carefully review the Limited Warranty for the specific provisions applicable to the products purchased.

3. Products with mill finish aluminum exterior cladding.

Products described in Item 3 do not carry coverage under the "Metal Clad-Powder Coated Finishes" portion of the Sierra Pacific Windows Limited Warranty. These products carry a warranty on insulated glass, hardware and wood components only. Customer is advised to carefully review the Mill Finish letter attached for specific provisions applicable to the products purchased.

Disclaimer Information

Outside Purchase Items: Warranty covered by product manufacturer's specific warranty.

Radius Sedonas: Limited sash opening

Sedonas with jambs greater than 4-9/16: Limited screen opening

Triple Glaze Units do not include shadow bar

Terms and Conditions of Sale

1. **TERMS:**
 - a. All C.O.D. orders are to be paid in full to the delivery driver with either a Cashier's Check or a personal check, preprinted with the Buyer's name and address, prior to unloading the order. On orders where vouchers are pre-approved, they must be presented to the driver prior to unloading the order.
 - b. No deductions may be taken from the invoice amount unless authorized by Sierra Pacific Windows prior to delivery. Sierra Pacific Windows will not be responsible for any back charges resulting from additional materials or work performed by others (see Warranty for further information)
 - c. Past due balances are subject to 1.5% monthly finance charge.
 - d. Any check or other payment returned to Sierra Pacific as the result of insufficient funds or canceled payment will result in a \$50 processing fee added to the order total.
2. **RIGHT TO LIEN:**
 - a. In the event the contract amount is not paid in full, Sierra Pacific Windows reserves the right to place a lien or bond which may be asserted under any provision of the law, to secure payment of the contract amount.
3. **ATTORNEY FEES:**
 - a. **ATTORNEY FEES:** If any legal action, arbitration or other proceeding is brought for the enforcement of this Agreement, or because of any alleged dispute, breach, default or third party claim of construction defect made in connection with this Agreement, the prevailing party shall be entitled to recover reasonable attorneys' fees, expert fees, costs and expenses it incurred in that action or proceeding.
4. **ESTIMATE OR BIDS:**
 - a. All pricing is good for 30 days unless specifically noted to the contrary.
 - b. Sierra Pacific Windows assumes no responsibility for errors in take-offs or pricing.
5. **ORDERS:**
 - a. Upon signing, Customer agrees to all terms and conditions of this contract.
 - b. Orders are subject to delay due to strikes, fire, floods, accidents, or any other cause beyond our control. Sierra Pacific Windows will not be responsible for loss or damage beyond its control.
 - c. Seller is not liable for prospective profits or special indirect, consequential or incidental damages, nor may the recovery of any kind against seller be greater in amount than the purchase price of the specific material sold and causing the alleged loss damage or injury.
6. **CHANGE ORDERS:**
 - a. Order changes will only be accepted within 3 days of signing the original order.
 - b. Special order items may only be changed or cancelled within 3 days from signing the original order.
 - c. Cancellations may only be made within 3 days from signing the original order.
 - d. Order changes are immediately binding. They do NOT allow an additional 3 days for modification or cancellation.
 - e. Sierra Pacific Windows reserves the right to adjust prices or to add charges for additional costs for order changes made at the request of the buyer at any time following original order acceptance. For example, storage fees for failure to take delivery as scheduled.
 - f. Any change to the order may result in a delayed delivery date.
7. **TAILGATE DELIVERY:**
 - a. Sierra Pacific Windows is not responsible for labor to unload. Buyer must provide sufficient labor at the job site when driver arrives.
 - b. Back orders will be noted on the paperwork and will deliver as soon as possible.
 - c. Any items missing or damaged must be noted on the driver's paperwork at the time of delivery or it will be assumed complete and in good condition.
 - d. Sierra Pacific Windows is not responsible for goods picked up by buyer in his/her own vehicle.
8. **SALES TAX:**
 - a. The Sales Tax rate in this quote is estimated at the time of the quote. Customer agrees to pay the actual Sales Tax in effect at the time of delivery of any portion of this order.



SIERRA PACIFIC WINDOWS LIMITED WARRANTY FOR WOOD/CLAD RESIDENTIAL PRODUCTS Effective May 1, 2017

I. LIMITED WARRANTY FOR RESIDENTIAL PRODUCTS. This Limited Warranty for Wood/Clad Products (the "Limited Warranty") is provided by Sierra Pacific Windows ("SPW"), on the terms and conditions set forth herein solely for Residential Products as described herein.

- A. **General Eligibility of Residential Products.** Subject to the other terms and conditions set forth herein, Residential products eligible for coverage under this Limited Warranty are limited to certain residential wood and clad window and door products which were (1) manufactured by SPW on or after May 1, 2017, (2) purchased from a SPW salesperson or an authorized dealer of SPW, (3) installed in a single family detached dwelling unit in the United States or Canada in a good and workmanlike manner in accordance with any installation instructions or other specifications of SPW, and (4) satisfying the other terms, conditions and restrictions contained herein ("Residential Products"). Notwithstanding anything contained herein to the contrary, the Limited Warranty shall not apply to, and SPW does not warrant, any Residential Product which is sold subject to another express or implied warranty, whether provided by SPW or a third party, or which is sold in "as-is" condition, as a sample or open box item, as a returned product, in defective, damaged, used, or previously sold condition or otherwise not in new, original and as-manufactured condition. This Limited Warranty is available to the original purchaser of an eligible Residential Product and it is transferable to a subsequent owner of the same real property in which such eligible Residential Product is installed, for the remaining warranty period of such eligible Residential Product as set forth herein.
- B. **Limited Warranty for AAMA 2605 Powder Coated Finishes.**
- i. **Thirty (30) Year Limited Warranty for Cracking or Checking.** Except as otherwise expressly provided herein, SPW warrants that the coating on the metal cladding in Residential Products will be free from cracking or checking, when observed at a distance of ten feet (10') from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2605-11, resulting from defects in workmanship or materials for a period of thirty (30) years from the date of manufacture of such Residential Product.
- ii. **Twenty-Five (25) Year Limited Warranty for Color Change.** Except as otherwise expressly provided herein, SPW warrants that Residential Products will be free from color change of more than seven (7) Delta E units in accordance with ASTM D2244 resulting from defects in workmanship or materials for a period of twenty-five (25) years from the date of manufacture of such Residential Product.
- iii. **Twenty (20) Year Limited Warranty for Color Change, Chalking, Adhesion Loss.** Except as otherwise expressly provided herein, SPW warrants that the metal cladding in Residential Products will be free from color change of more than five (5) Delta E units in accordance with ASTM D2244, chalking in excess of a number eight (8) rating based on ASTM D4214, and adhesion loss (peeling), that materially and adversely affects the appearance of the surface to which the coating is applied when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2605-11, resulting from defects in workmanship or materials for a period of twenty (20) years from the date of manufacture of such Residential Product.
- iv. **Coverage Terms.** This Limited Warranty for AAMA 2605 Powder Coated Finishes provides full coverage, in a manner consistent with Section III herein below, for fluoropolymer powder performance for the first twenty (20) years from date of manufacture. For the succeeding ten (10) years, SPW's responsibility for corrective action due to fluoropolymer powder failure will be: years 21 through 24 - 60%; years 25 through 27 - 25%; years 28 through 30 - 5%. Customers' percentage of responsibility for replacement product shall be calculated using current list price of items being replaced; customers' prorated responsibility for cost of repair is based upon SPW's invoiced repair costs; refunds will be based upon original purchase price of the product.
- C. **Ten (10) Year Limited Warranty for AAMA 2604 Powder Coated Finishes:** Except as otherwise expressly provided herein, SPW warrants that the coating on the metal cladding in Residential Products will be free from color change of more than five (5) Delta E units in accordance with ASTM D2244, chalking in excess of a number eight (8) rating based on ASTM D4214, and cracking, checking or adhesion loss (peeling), that materially and adversely affects the appearance of the surface to which the coating is applied when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2604-10, resulting from defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- D. **Five (5) Year Limited Warranty for Anodized Finishes.** Except as otherwise expressly provided herein, SPW warrants that all aluminum clad Residential Product that has been anodized will be free from chalking in excess of a number eight (8) rating based on ASTM D4214, or fading or change in color in excess of five (5) Delta E units based on ASTM D2244, each of which materially and adversely affects the appearance of the surface when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 611-12, resulting from defects in workmanship or materials for a period of five (5) years from the date of manufacture of such Residential Product.
- E. **Two (2) Year Limited Warranty: Interior Finish.** Except as otherwise expressly provided herein, SPW warrants that all factory-applied interior paint and stain finishes in Residential Products will be free from material Finish Defects for a period of two (2) years from the original date of manufacture of such Residential Product. For purposes of this Limited Warranty, a "Finish Defect"

shall mean cracking, peeling, delaminating, blistering, flaking, chalking in excess of a numerical rating of six (6) (measured per ASTM D4214) or fading or change in color in excess of five (5) Delta E units (calculated per ASTM D2244).

- F. **Twenty (20) Year Limited Warranty: Wood Deterioration.** Except as otherwise expressly provided herein, SPW warrants that the wood components of a Residential Product, regardless of wood type, shall be free from material wood deterioration caused by decay or insect, including wood rot, for a period of twenty (20) years from the original date of manufacture of such Residential Product.
- G. **Limited Warranty: Hermetic Seals.** Except as otherwise expressly provided herein, SPW warrants the air seal in Residential Products as follows:
- i. **Twenty (20) Year Limited Warranty: Dual Insulated Glass Product.** Except as otherwise expressly provided herein, SPW warrants that the Dual Insulated Glass Product supplied in its Residential Products will be free from the failure of the air seal due solely to defects in workmanship or materials for a period of twenty (20) years from the original date of manufacture of such Residential Product.
- ii. **Ten (10) Year Limited Warranty: Triple Insulated Glass Product.** Except as otherwise expressly provided herein, SPW warrants that the Triple Insulated Glass Product supplied in its Residential Products will be free from the failure of the air seal due solely to defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- H. **Ten (10) Year Limited Warranty: FeelSafe™ and Laminated Glass.** Except as otherwise expressly provided herein, SPW warrants that the SPW FeelSafe™ or Laminated Glass in its Residential Product will be free from any material obstructions of vision due to glass delamination from defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- I. **Five (5) Year Limited Warranty: Specialty Glass.** Except as otherwise expressly provided herein, SPW warrants that Residential Products with custom or special glazings and/or other specialty, custom or non-standard glass options not listed in our product literature or not generally and regularly manufactured by SPW, and all leaded or decorative glass Residential Products, shall be free from defects in workmanship for a period of five (5) years from the original date of manufacture of such Residential Product.
- J. **Two (2) Year Limited Warranty: Glass Stress Cracks.** Except as otherwise expressly provided herein, SPW warrants that all glass in its Residential Product shall be free from stress cracks from defects in workmanship or materials for a period of two (2) years from the date of manufacture of such Residential Product.
- K. **Ten (10) Year Limited Warranty: General.** Except as otherwise expressly provided herein, SPW warrants that each Residential Product, including its wood components, hardware, weatherstrip and standard screens which accompany the Residential Product (the "Components"), will be free from defects in workmanship or materials which unreasonably affect such Residential Product's normal functioning for a period of ten (10) years from the original date of manufacture of such Residential Product.
- L. **One (1) Year Limited Warranty: Specialty Screens.** Except as otherwise expressly provided herein, SPW warrants that specialty screens (e.g. retractable screens, swing door screens) manufactured by others, not by SPW, for a Residential Product will be free from defects in workmanship or materials which unreasonably affect such specialty screen's normal functioning for a period of one (1) year from the earlier of the original date of manufacture of such specialty screen or the date of manufacture of such Residential Product.

II. LIMITATIONS, EXCLUSIONS AND DETAILS OF LIMITED WARRANTY.

- A. SPW Residential Products are manufactured to certain specifications and ratings, which may include air and water infiltration, structural performance, thermal performance and/or sound transmission. The performance of installed windows and doors as noted on the labels showing National Fenestration Rating Council (NFRC) and Window and Door Manufacturer's Association (WDMA) Hallmark ratings can and will change over time due to environmental conditions, installation technique, maintenance, normal wear and tear, and other factors beyond SPW's control. The initial ratings and specifications are furnished solely to assist the purchaser in comparing products at the time of purchase and are not intended to warrant or guarantee specific field performance at those ratings or specifications as installed or over the life of the Residential Product. These ratings may also apply to single units only, not to mullied configurations.
- B. This Limited Warranty is limited solely to defects in workmanship and materials arising from the production and manufacture of Residential Products by SPW. Whether or not any of the above warranties apply, in whole or in part, to a Residential Product or are excluded shall be determined by SPW in its sole discretion. SPW will not be liable for, and some or none of the above warranties will apply to or cover problems, claims or liabilities, costs, expenses, damages or losses, or other damage or defects caused by, arising from, or related to, any of the following:
1. Failure to follow any directions, recommendations, maintenance and care instructions, and/or guidelines set forth in SPW's Care and Maintenance Guide, any SPW Owner's Manual for a Residential Product, the Anodized Care and Maintenance Guide, or any other guide, direction or similar publication otherwise established by SPW, found at sierrapacificwindows.com

- (collectively, the "SPW Guides"), or the failure to perform regular, normal or routine and other required maintenance to a Residential Product;
2. Residential Products ordered or manufactured as a custom order, special product or otherwise manufactured according to specifications supplied by the consumer or to specifications other than SPW's standard specifications for a Residential Product;
 3. Residential Products having dimensions greater than those listed in SPW's standard offering of sizes;
 4. Residential Products installed in applications or conditions exceeding their WDMA Harkmark certified performance ratings, tested sizes and/or configurations;
 5. Any air infiltration or water penetration damage resulting from non-factory mulled or non-SPW assembled Residential Products;
 6. Improper handling or installation of Residential Products, including failure to follow SPW's installation instructions and/or failure to install in conformance with accepted construction practices or applicable building codes;
 7. Installation of the window or door in its opening in a manner which is not plumb, square and true and adequately shimmed on all sides;
 8. Installation other than vertical (slope glazing);
 9. Installations in sauna, swimming pool or hot tub rooms, boats, greenhouses or other rooms with high humidity conditions and installations in areas with direct, constant water contact, such as a shower or in the path of sprinkler water;
 10. Operational problems or problems related to water and/or air infiltration/leaking as a result of improper or inadequate flashing, improper installation, flaws in building design or defects in construction;
 11. Any Residential Products installed in any face barrier system or exterior insulation finish system using stucco, synthetic stucco, or other materials, unless the owner can demonstrate to SPW's satisfaction, in its sole discretion, that there is an effectively engineered system for the control and drainage of water or moisture vapor;
 12. Stress or strain due to building movement or settlement, including strain which is applied to the window or door by movement of the building or where provisions have not been made in accordance with sound industry practices for adequate expansion or contraction of framing members;
 13. Products that have been altered or removed and reinstalled;
 14. Wood cellular structure failure for any Components with prolonged or excessive exposure to moisture or soil, including failure to store the Residential Product upon delivery in a dry temperate environment prior to installation;
 15. Improper painting, staining, or field finishing maintenance of wood Components, or failure to apply a coating system meeting SPW's standards, recommendations or guidelines or sound industry practices to bare wood surfaces within the lesser of thirty (30) days after purchase, or as otherwise specified by SPW;
 16. Prolonged exposure to weather in the unfinished and/or primed state;
 17. Minute fracturing or surface mars in finishes occurring during the fabrication process;
 18. Failures arising from the failure to periodically cap bead, check and replace weatherstrip and caulking, and to perform regular, normal or routine maintenance of a Residential Product, whether as set forth in the SPW Guides or otherwise;
 19. Variance in color, grain or texture of wood;
 20. Painting or staining of vinyl parts or weatherstrip;
 21. Any Residential Product Installed at an altitude higher than recommended by SPW, whether in the SPW Guides or otherwise;
 22. Any dual insulated glass Products manufactured without capillary tubes and installed at altitudes above 5000 feet without factory pre-approval. Triple glaze insulated glass Products manufactured without capillary tubes and installed at altitudes above 2200 feet;
 23. Rattling of air space grilles;
 24. Scratches, imperfections or blemishes on glass surfaces that do not impair the integrity of the unit, or were not caused by SPW during the manufacturing process, or that do not materially affect normal vision or performance per the guidelines established by ASTM C1036;
 25. Slight imperfections, color variations, wavy or shimmering distortions in the glass related to a laminate interlayer or heat strengthening of the glass;
 26. Any insulated glass unit that has an after-market tint, UV block, or other film or coating applied;
 27. Damage to a Residential Product resulting from any reason other than a manufacturing defect by SPW, including, without limitation, any such damage arising, in whole or in part, from any accident, abusive handling, misuse, or as a result of any cause beyond the control of SPW (e.g. vandalism, fire, flood, earthquake, acts of God or nature, war, civil unrest, natural causes and/or natural disasters, including earthquakes, floods, tornadoes, hurricanes, typhoons or hurricane or typhoon conditions, or any other cause beyond SPW's control);
 28. Condensation, surface fogging or frost on exposed surfaces of Residential Products and any related water damage which may occur as the natural result of humidity within the structure or due to changes in interior/exterior temperatures;
 29. Door warpage of less than 1/4" as measured across the diagonals for doors up to 3'-6" x 7'-0" and/or 3/8" for doors over 3'-6" x 7'-0". This does not refer to the relation of the door panel to the frame or jamb in which it is hung. (NOTE: door warpage may vary as door panels adjust to temperature and humidity in their installed positions.) Action on any claim for warpage may be deferred for up to twelve (12) months at SPW's option to permit conditioning of the door to humidity and temperature ranges at the jobsite;
 30. Door warpage on doors 8 feet and taller, if such doors do not have mullpoint hardware;
 31. Doors with flat, low profile or ADA compliant sills will not be warranted against air and water infiltration;
 32. Normal wear and tear and/or natural weathering of any surfaces, including discoloration of interior or exterior finishes, including hardware finishes;
 33. Corrosion, wear or failure of hardware including loss of functionality in extreme conditions including, but not limited to, seacoast or other corrosive environments, as well as based on elevation, orientation, and altitude;
 34. Finish failures or corrosion of aluminum cladding or damage to other Components caused by contact with caustic chemicals or chemical fumes, including but not limited to industrial cleaning agents, acid-based products, chlorine, salt spray, airborne pollutants, mortar, mortar cleaner, alkali hydroxides and brickwash;
 35. Obstructions of air flow to products, including draperies or storm panels;
 36. Products purchased through SPW that are manufactured by a third party (e.g. electric operators, skylites, custom hardware) are not covered under the terms of this warranty. Refer to product manufacturer's warranty for terms of coverage;
 37. Damage occurring or arising from any reason other than a manufacturing defect by SPW, including, without limitation, installation or delivery;
 38. Windows or doors sold with no hardware, special hardware or hardware to be supplied by others;
 39. Problems caused by modification to the product by others (e.g. modifications made to add alarm systems or remote window operators);
 40. Failure to comply with any other provision of this Limited Warranty.
- C. Inert Gases. Residential Products may contain inert gas, intended to improve the thermal performance of the Residential Product.
1. The migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect. SPW provides no warranty with respect to the migration of an inert gas.
 2. Argon gas within an insulated glass Residential Product will dissipate over time. The conditions of exposure and manner of use of the Residential Product will affect the rate of dissipation. The best manufacturing techniques cannot guarantee that the initial fill rate of inert gas will be maintained during the Residential Product's lifetime. SPW provides no warranty with respect to the dissipation, rate of dissipation or initial fill rate. If the Residential Product is filled with a capillary tube system, it must be treated as if it is entirely air filled. SPW provides no warranty with respect to the amount or percentage of argon remaining in the insulated glass unit or any thermal performance related to inert gas at any time after manufacture.
- D. Allocation of Risks of Residential Product Performance. Because some water infiltration must be anticipated in all construction, it is imperative that the wall system be designed and constructed to properly manage moisture and that the Residential Products be properly installed. SPW is not responsible for, and provides no warranty with respect to, any claims or damages caused by anticipated or unanticipated water infiltration; deficiencies in building design, construction and maintenance; failure to install SPW products in accordance with SPW Guides; or the use of SPW products in systems, such as barrier wall systems, unless management of moisture within the wall system is adequately incorporated within the design of the system, as determined by SPW in its sole discretion. The determination of the suitability of all building components, including the use of Residential Products, as well as the design and installation of flashing and sealing systems, are the responsibility of the buyer, owner, architect, contractor, installer, or other construction professionals and are not the responsibility of SPW, and SPW disclaims all liability with respect thereto. All risks related to building design and construction, fitness or suitability of Residential Products for a particular purpose, or the maintenance, installation, and use of Residential Products shall be assumed by the buyer and/or owner in conjunction with the architect, contractor, installer, or other construction professionals, and such parties waive and release SPW from any claims or damages related to such risks.
- E. General Residential Product Disclaimers.
1. The performance of the exterior aluminum coated finish, hardware and/or Components may vary based on installation in extreme environments, including but not limited to seacoast and other corrosive environments, as well as based on elevation, orientation, altitude and other atmospheric conditions. Normal, regular maintenance of the product is required to maintain the appearance, to extend the finish life, and to keep the warranty intact.
 2. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements and such variation in fading or color is not considered to be a defect, and SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.
 3. Screens are intended solely as protection from insects and are not designed for or intended to provide safety protection or to prevent falling through an open window, and SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.
 4. Window opening control devices ("WOCDs") are not a substitute for careful monitoring of children. WOCDs must be checked regularly, as necessary, to determine if they are operating properly. SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.

III. WARRANTY RESOLUTION; EXCLUSIVE REMEDY UNDER THIS LIMITED WARRANTY.

- A. In the event the product fails to conform to the express warranties described above within the stated time period, the Residential Product owner's sole and exclusive remedy is that SPW will, at SPW's sole option and discretion, either repair or provide replacement Residential Product or Components for any defective Residential Product or Component, or refund the original purchase price or original catalog list price, whichever is lower, of the defective Residential Product or Component. SPW may, in its sole discretion, substitute a current design for the original Residential Product or Component or otherwise provide a comparable Residential Product as a substitute. If SPW elects to provide a replacement Residential Product or Component, SPW will pay for the freight to deliver the replacement Residential Product or Component to the place where the defective Residential Product or Component was first

delivered from SPW's factory. Any freight or delivery charges beyond that destination will be the Residential Product or Component owner's responsibility. Provision of a replacement Residential Product or Component does not extend the warranty time period for the Residential Product or Component, and the warranty time period of the original Residential Product or Component shall continue to apply. SPW may, in its sole discretion, charge the Residential Product or Component owner a fee for performing an onsite inspection if SPW believes coverage under this Limited Warranty is not clear. SPW may, in its sole discretion, refund any such onsite inspection charge if the subsequent inspection by SPW reveals a defect which is covered by this Limited Warranty.

B. As more fully set forth in Section IV below, the limited warranties set forth in Section I above are the sole and exclusive warranties provided by SPW with respect to Residential Products. As more fully set forth in Section III (A) above and subject to the terms of this Limited Warranty, the sole and exclusive remedy is repair, replacement or refund. SPW cannot and shall not be liable for any other express or implied warranties, guarantees or representations related to a Residential Product or other remedy made or provided by any distributors, dealers, salespersons or other representatives of SPW in any manner, whether written or oral. NO PARTY IS AUTHORIZED TO EXPAND OR CHANGE THE PROVISIONS OF THIS LIMITED WARRANTY IN ANY MANNER. SPW provides the Residential Products on an "as-is" basis. SPW makes no other representations, statements of fact, promises, guarantees or other warranties of any kind or nature, express or implied, with respect to the Residential Products. Except as expressly set forth herein, SPW disclaims any and all other warranties, express or implied, including any warranty relating to workmanship, merchantability, fitness for particular purpose, freedom from defects, or non-infringement.

C. Limited Labor Coverage. In the event that SPW elects pursuant to Section III (A) above to provide for the repair or replacement of a Residential Product covered by this Limited Warranty, SPW will, at its cost and expense, provide the labor to repair or replace such Residential Product, the extent and/or scope of said repair and replacement shall be decided by SPW in its sole discretion, for a period of two (2) years from the date the Product was manufactured. SPW shall not be responsible for, and shall not bear any cost or expense with respect to, any repainting, refinishing or similar activities related to or arising from the repair or replacement of any Residential Product. For purposes of clarification, SPW will not be responsible for any costs or expenses related to labor for repair or replacement outside of the time period specified above.

D. Notice of Warranty Claim. SPW must receive written notice, containing the information below and at the following addresses, from a Residential Product owner claiming coverage under this Limited Warranty within the warranty period and within ninety (90) days of the date the problem with the Residential Product first became known, or should have been known through the exercise of reasonable care, to such owner. In the event that a Residential Product owner fails to comply with the foregoing, such Residential Product owner shall not be entitled to the benefits of any provision of this Limited Warranty. The notice of claim under this Limited Warranty must contain the following information:

1. The Residential Product owner's name and telephone number;
2. The original order number;
3. The address where the Residential Product is installed;
4. A description of the Residential Product;
5. Proof of ownership of the single family detached dwelling unit in which the Residential Product is installed;
6. The name of the SPW Salesperson or Dealer from whom the product was purchased.
7. A description of the defect and the date of first discovery of the claimed defect.

The foregoing notice shall be delivered to SPW at:

SIERRA PACIFIC WINDOWS	-Or-	SIERRA PACIFIC WINDOWS
Attn: Warranty Claim		Attn: Warranty Claim
11605 Reading Road/PO Box 8489		575 South Whelen Avenue
Red Bluff, CA 96080		Medford, WI 54451

IV. DISPUTE RESOLUTION

A. In order to achieve a quick and final resolution of disputes, You and SPW agree that any dispute or claim of any kind or amount arising out of the sale of windows, doors, and related or associated products ("Residential Products"), or otherwise relating to SPW, shall be resolved as follows, hereinafter "Dispute Resolution Agreement" or "Agreement":

- i. The dispute or claim shall be submitted to mediation, as described herein; and
- ii. If the mediation does not resolve the dispute or claim in its entirety, then that dispute or claim, or portion thereof, shall be resolved through binding arbitration, as described herein.

B. Disputes and claims subject to this Agreement include, but are not limited to:

- i. Any alleged breach of contract or breach of the duty of good faith and fair dealing;
- ii. Any alleged breach of warranty, express or implied;
- iii. Any alleged construction defect, including any claims brought under Civil Code Section 895 et seq. (generally referred to as "the Right to Repair Act" or "SB 800");
- iv. Any alleged violation of federal or state law or regulation;
- v. Any alleged violation of consumer protection or unfair business practice;

- vi. Any alleged tort claim, including but not limited to, claims for negligence, strict liability, or fraud;
- vii. Any other claims, whether arising in equity or common law, and whether seeking damages, injunctive relief, specific performance, declaratory or equitable relief;
- viii. Any dispute regarding the enforceability or applicability of this Dispute Resolution Agreement or any term herein;
- ix. Any dispute regarding the rights, duties and obligations of the parties with respect to this Dispute Resolution Agreement.

C. Agreement to Mediate. You and SPW agree that any dispute or claim arising out of the sale of Residential Products, or otherwise relating to SPW, shall be submitted to non-binding mediation prior to any arbitration proceedings. Either party may commence mediation by notifying the other party in writing of its desire to pursue mediation and the subject of the dispute or claim. The parties will cooperate with one another in selecting a mediator and in scheduling the mediation proceeding. The mediation will be held in Sacramento, California, unless the parties agree otherwise. The parties agree that they will participate in the mediation in good faith.

SPW shall be responsible for paying the costs of the mediation. Each party shall be responsible for their own attorney fees and expert fees, if any. All offers, promises, conduct and statements, whether oral or written, made in the course of the mediation by any of the parties, their agents, employees, experts and attorneys, and by the mediator, are confidential, privileged and inadmissible for any purpose, including impeachment, in any arbitration or other proceeding involving the parties, provided that evidence that is otherwise admissible or discoverable shall not be rendered inadmissible or non-discoverable as a result of its use in the mediation.

D. Agreement to Arbitrate. In the event that a dispute or claim arising out of the sale of Residential Products, or otherwise relating to SPW, is not resolved through mediation, You and SPW agree that such dispute or claim shall be resolved through binding arbitration. Arbitration shall be conducted with JAMS, a private alternative dispute resolution business, pursuant to its Comprehensive Arbitration Rules and Procedures and in accordance with the Expedited Procedures in those Rules.

SPW shall be responsible for paying the costs of the JAMS arbitration. Each party shall be responsible for their own attorney fees and expert fees, if any. The arbitration will be held in Sacramento, California, unless the parties agree otherwise. Judgment on the arbitration award may be entered in any court having jurisdiction.

E. No Jury Trial. YOU AND SPW AGREE TO WAIVE ANY RIGHT TO A JURY TRIAL AND AGREE TO HAVE ALL DISPUTES HEARD AND DECIDED SOLELY BY THE ARBITRATOR CONDUCTING THE BINDING ARBITRATION.

F. No Class Action or Representative Action. YOU AND SPW AGREE THAT ALL DISPUTES OR CLAIMS SHALL BE BROUGHT ONLY ON AN INDIVIDUAL BASIS, AND SHALL NOT BE BROUGHT AS A REPRESENTATIVE OR CLASS ACTION. THE PARTIES AGREE THAT THE ARBITRATOR SHALL NOT HAVE THE POWER TO CONDUCT THE ARBITRATION AS A REPRESENTATIVE OR CLASS ACTION.

G. Limitations on Liability. You and SPW agree to waive any right to recover indirect, special, incidental or consequential damages or losses, including but not limited to, damages or losses from business interruption, loss of use, loss of business, loss of revenue, or loss of profits. You and SPW agree to waive any right to recover punitive or exemplary damages. You and SPW agree that the arbitrator is not empowered to award such damages. Some states do not allow for the exclusion or limitation of incidental, consequential or indirect damages or losses, so this limitation may not apply to you.

You and SPW agree that in no event or circumstance shall the aggregate amount of damages awarded in arbitration(s) exceed the aggregate amount paid to SPW in connection with the sale of the Residential Products; this limit applies regardless of whether damages are awarded in connection with one claim or multiple claims or one arbitration or multiple arbitrations, and regardless of the timeframe over which the claim(s) are made or arbitration(s) instituted.

H. Governing Law and Severability. This Dispute Resolution Agreement and the rights of the parties hereunder shall be governed by and construed in accordance with the laws of the State of California, exclusive of conflict or choice of law rules. The parties acknowledge that this Dispute Resolution Agreement evidences a transaction involving interstate commerce.

Notwithstanding the provision in this paragraph with respect to applicable substantive law, any arbitration conducted pursuant to the terms of this Agreement shall be governed by the Federal Arbitration Act (9 U.S.C., Secs. 1-16). In the event any aspect of this Dispute Resolution Agreement is found to be unenforceable or void, the remaining provisions of this Agreement shall remain in full force and effect.

I. Opt-Out Procedure. You may opt-out of this Dispute Resolution Agreement within twelve (12) months from the date of manufacture of your Residential Product by visiting the website www.sierrapacificwindows.com/optout and completing the form to opt-out of this Dispute Resolution Agreement.

(For additional information, including SPW Guides, care and maintenance instructions, installation instructions and previous warranties, refer to www.sierrapacificwindows.com or contact your local Sierra Pacific Windows Service Center or Dealer.

April 14, 2022

To: Graystone Custom Builders
 3419 VIA LIDO SUITE 455
 NEWPORT BEACH, CA 92663-_____



From: Sierra Pacific Windows
 Order #: 10611309
 Re: Implications of Products with Low Profile Sills

To Whom It May Concern,

The intent of this letter is to advise you of the issues inherent to the use of low profile sills on exterior doors and windows. Sierra Pacific products with low profile sills include swing doors with ADA compliant sills; Multi-slide Doors and Windows with flush tracks; Bi-fold Doors and Windows with U-channel or ADA compliant sills; Pivot doors; and Multi-Slide Plus Doors with 1-1/8" back dam.

Due to the design of ADA compliant and low profile sills, products with these sills do not carry a design pressure (DP) rating for air or water infiltration. Furthermore, because of the low profile sill design, these products will not provide the same air or water performance as products with a standard sill height and design configuration and, therefore, are susceptible to air and water leakage.

Sierra Pacific doors with ADA compliant and low profile sills carry a warranty on the metal clad coating and insulated glass as defined by the applicable Sierra Pacific Windows Limited Warranty dated 5/1/17.

There are a variety of design options you can incorporate into your building to help you deal with the potential air and water leakage issues inherent to the design of products with low profile sills, including:

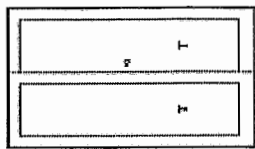
- Design the building to give the doors protection from the weather:
 - Use large overhangs to protect the doors and/or windows
 - Place shade awnings over the doors and/or windows
 - Recess the doors and/or windows back from the outside plane of the building envelope
- In areas adjacent to the doors and/or windows, use materials that are resistant to potential damage from air and water penetration:
 - Tile
 - Slate
 - Concrete
 - Granite
- In areas adjacent to the doors and/or windows, do not specify materials that may be susceptible to damage when exposed to weather:
 - Hardwood
 - Carpet

As your window and door supplier, we want to remain a valued member of your team. We hope that the information included above will clarify the issues that may potentially be caused by the design of ADA compliant and low profile sills. We also hope that this information will help you proactively address the potential leakage issues through the use of creative design solutions.

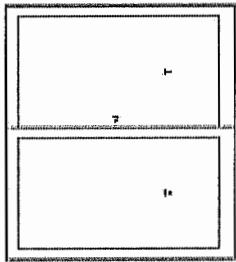
Sincerely,

Sierra Pacific Windows

1) C-PS-060106-2(OX)
 Qty: 1
 RO: 59 15/16"x108 1/4"
 Jamb: 6"
 Loc: BONUS ROOM
 Sym: 3
 Clad: 023-Black



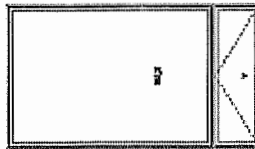
2) C-PS-118106-2(OX)
 Qty: 1
 RO: 117 15/16"x108 1/4"
 Jamb: 6"
 Loc: BONUS ROOM
 Sym: 2
 Clad: 023-Black



3) C-OD-030106-1(R)
 Qty: 1
 RO: 32 9/16"x107 15/16"
 Jamb: 6"
 Loc: CASITA
 Sym: C
 Clad: 023-Black



004) C-WA-5418-1(X)
 005) C-WCP-5478-1(S)
 Box Mull @Plant
 Qty: 1
 RO: 54 3/4"x96 3/4"
 Jamb: 6"
 Loc: CASITA
 Sym: B
 Clad: 023-Black



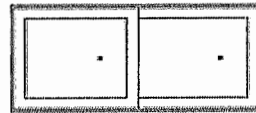
006) C-WA-3018-1(X)
 007) C-WCP-3078-1(S)
 Box Mull @Plant
 Qty: 1
 RO: 30 3/4"x96 3/4"
 Jamb: 6"
 Loc: CASITA
 Sym: 1
 Clad: 023-Black



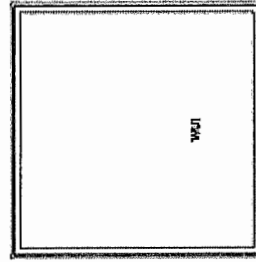
008) C-WA-4818-1(X)
 009) C-WCP-4878-1(S)
 Box Mull @Plant
 Qty: 1
 RO: 48 3/4"x96 3/4"
 Jamb: 6"
 Loc: CASITA
 Sym: A
 Clad: 023-Black



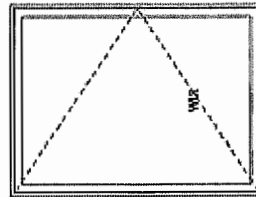
10) C-H3DH-3072-1(X)
 Qty: 1
 RO: 30"x72"
 Jamb: 6"
 Loc: CASITA
 Sym: BB
 Clad: 023-Black
 Sash Split: 50/50



11) C-WCP-6060-1(S)
 Qty: 1
 RO: 60 3/4"x60 3/4"
 Jamb: 6"
 Loc: ENTRY
 Sym: N
 Clad: 023-Black



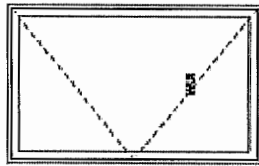
12) C-WC-3648-1(R)
 Qty: 1
 RO: 36 3/4"x48 3/4"
 Jamb: 6"
 Loc: VEST
 Sym: M
 Clad: 023-Black



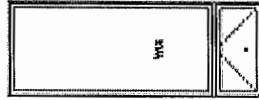
All Window/Door operations are viewed from exterior. Pictures are NOT to scale. They are offered as a rough approximation of design and mulling sequence, therefore CAD drawings may still be required on some units.

Ship To: FRANK CHRISTENSEN MICHELLE
 BROWN
 540 HAZEL DRIVE

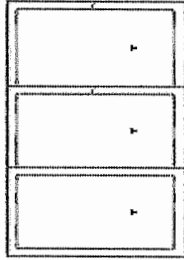
13) C-WC-3048-1(L)
 Qty: 1
 RO: 30 3/4"x48 3/4"
 Jamb: 6"
 Loc: POWDER
 Sym: L
 Clad: 023-Black



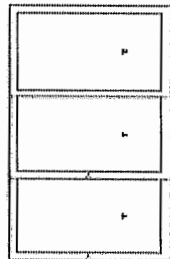
014) C-WA-3618-1(X)
 015) C-WCP-3678-1(S)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: GREAT ROOM
 Sym: K
 Clad: 023-Black



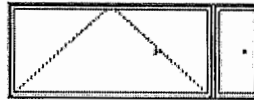
16) C-MSSP-054 3/16108-3
 (OXX)
 Qty: 1
 RO: 156"x110 3/8"
 Loc: GREAT
 Sym: 19
 Clad: 023-Black



17) C-MSSP-058 3/16108-3
 (XXO)
 Qty: 1
 RO: 168"x110 3/8"
 Loc: GREAT
 Sym: 18
 Clad: 023-Black



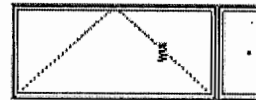
018) C-WCP-3618-1(S)
 019) C-WC-3678-1(R)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: KITCHEN
 Sym: J
 Clad: 023-Black



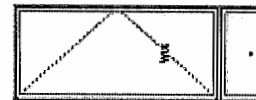
020) C-WCP-3618-1(S)
 021) C-WC-3678-1(L)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: KITCHEN
 Sym: I
 Clad: 023-Black



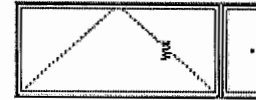
022) C-WCP-3618-1(S)
 023) C-WC-3678-1(R)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: KITCHEN
 Sym: H
 Clad: 023-Black



024) C-WCP-3618-1(S)
 025) C-WC-3678-1(R)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: KITCHEN
 Sym: G
 Clad: 023-Black

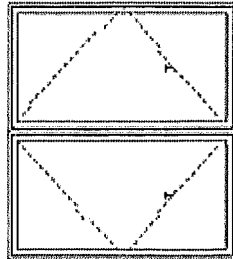


026) C-WCP-3618-1(S)
 027) C-WC-3678-1(R)
 Box Mull @Plant
 Qty: 1
 RO: 36 3/4"x96 3/4"
 Jamb: 6"
 Loc: KITCHEN
 Sym: F
 Clad: 023-Black

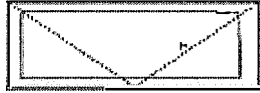


Ship To: FRANK CHRISTENSEN MICHELLE
 BROWN
 540 HAZEL DRIVE

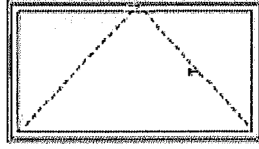
28) C-WC-3054-2(LR)
 Qty: 1
 RO: 60 3/4"x54 3/4"
 Jamb: 6"
 Loc: DINING
 Sym: E
 Clad: 023-Black



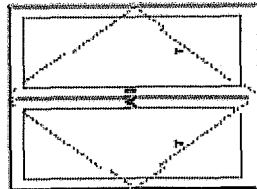
29) C-ID-3296-1(L)
 Qty: 1
 RO: 34 7/16"x98 1/2"
 Jamb: 6"
 Loc: DINING
 Sym: 17
 Clad: 023-Black



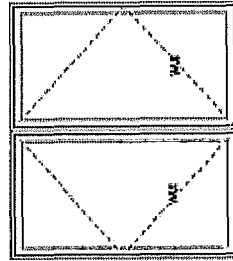
30) C-WC-3054-1(R)
 Qty: 1
 RO: 30 3/4"x54 3/4"
 Jamb: 6"
 Loc: DINING
 Sym: D
 Clad: 023-Black



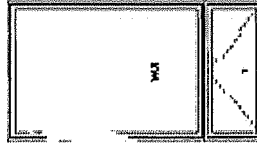
31) C-ID-6490-2(AI)
 Qty: 1
 RO: 67 5/16"x92 1/2"
 Jamb: 6"
 Loc: BED 3
 Sym: 26
 Clad: 023-Black



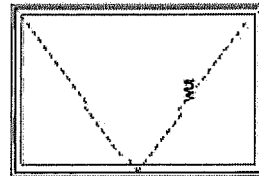
32) C-WC-2748-2(LR)
 Qty: 1
 RO: 54 3/4"x48 3/4"
 Jamb: 6"
 Loc: BED 3
 Sym: V
 Clad: 023-Black



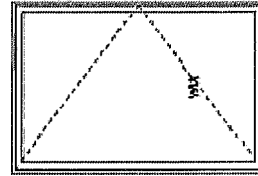
033) C-WA-4218-1(X)
 034) C-WCP-4260-1(S)
 Box Mull @Plant
 Qty: 1
 RO: 42 3/4"x78 3/4"
 Jamb: 6"
 Loc: HALL
 Sym: U
 Clad: 023-Black



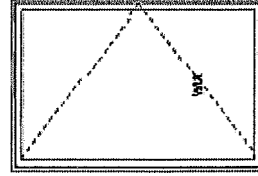
35) C-WC-3654-1(L)
 Qty: 1
 RO: 36 3/4"x54 3/4"
 Jamb: 6"
 Loc: OFFICE
 Sym: T
 Clad: 023-Black



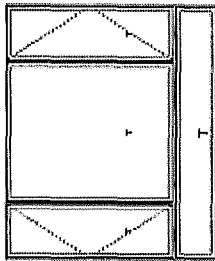
36) C-WC-3654-1(R)
 Qty: 1
 RO: 36 3/4"x54 3/4"
 Jamb: 6"
 Loc: OFFICE
 Sym: S
 Clad: 023-Black



37) C-WC-3654-1(R)
 Qty: 1
 RO: 36 3/4"x54 3/4"
 Jamb: 6"
 Loc: OFFICE
 Sym: R
 Clad: 023-Black



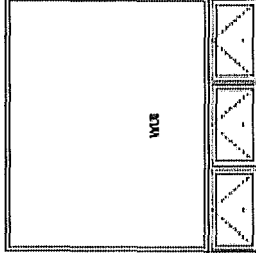
038) C-WCP-108018-1(S)
 039) HORZ 1/2" INTER-LOCK
 040) C-WC-2472-1(L)
 041) C-WCP-6072-1(S)
 042) C-WC-2472-1(R)
 Box Mull @Plant
 Qty: 1
 RO: 108 3/4"x91 1/4"
 Jamb: 6"
 Loc: MST BATH
 Sym: Q
 Clad: 023-Black



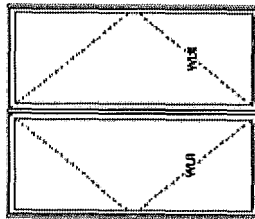
43) C-OD-3096-1(L)
 Qty: 1
 RO: 32 9/16"x97 15/16"
 Jamb: 6"
 Loc: MASTER
 Sym: 25
 Clad: 023-Black



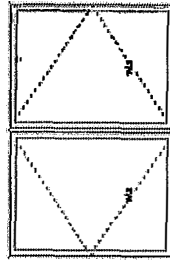
044) C-WA-3018-3(XXX)
 045) HORZ 1/2" INTER-LOCK
 046) C-DGP-9072-1(O)
 Box Mull @Plant
 Qty: 1
 RO: 90 3/4"x91 1/4"
 Jamb: 6"
 Loc: MASTER
 Sym: P
 Clad: 023-Black



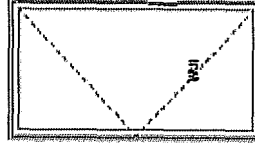
47) C-WC-3072-2(LR)
 Qty: 1
 RO: 60 3/4"x72 3/4"
 Jamb: 6"
 Loc: MASTER
 Sym: O
 Clad: 023-Black



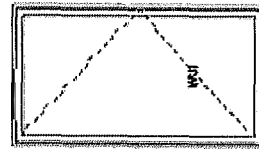
48) C-WC-3648-2(LR)
 Qty: 1
 RO: 72 3/4"x48 3/4"
 Jamb: 6"
 Loc: STAIRS
 Sym: Z
 Clad: 023-Black



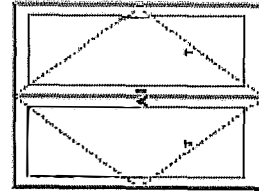
49) C-WC-3054-1(L)
 Qty: 1
 RO: 30 3/4"x54 3/4"
 Jamb: 6"
 Loc: BED 2
 Sym: Y
 Clad: 023-Black



50) C-WC-3054-1(R)
 Qty: 1
 RO: 30 3/4"x54 3/4"
 Jamb: 6"
 Loc: BED 2
 Sym: X
 Clad: 023-Black



51) C-ID-6490-2(AI)
 Qty: 1
 RO: 67 5/16"x92 1/2"
 Jamb: 6"
 Loc: BED 2
 Sym: 27
 Clad: 023-Black



52) C-WA-3030-1(X)
 Qty: 1
 RO: 30 3/4"x30 3/4"
 Jamb: 6"
 Loc: BATH 3
 Sym: W
 Clad: 023-Black

