



**CITY OF NEWPORT BEACH  
ADMINISTRATIVE HEARING  
STAFF REPORT**

December 19, 2024  
Agenda Item No. 1

**SUBJECT:** Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

**PERMITS:** X2018-3856 and XR2023-0561

**SITE LOCATION:** 515 W 36<sup>th</sup> Street

**APPLICANT:** Bill Chow

**PROPERTY OWNER:** 777 Seaview Island LLC

**BUILDING INSPECTOR:** Chad Shelton, Building Inspector II

**PREPARED BY:** Tonee Thai, Chief Building Official - 949-718-1867, [tthai@newportbeachca.gov](mailto:tthai@newportbeachca.gov)

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**PROJECT SUMMARY**

The scope of work for the project is to construct new 4,082 sq. ft. duplex with attached 422 sq. ft. garage.

**BUILDING PERMIT HISTORY**

This project first started with Permit X2018-3856 issued on June 12, 2020. Currently, only referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with initial three-year construction limit expiration date of June 12, 2023.

Permit XR2023-0561 is a supplement permit to X2018-3856 to document a change of contractor for the permit.

The first inspection was for a Pre-Grade Meeting on November 08, 2021.

The last inspection was for Rough Plumbing and Pan Test on October 17, 2024.

Please refer to Attachment 1 for detailed permit history.

Notice of pending Three-Year Construction Limit expiration were sent on April 11, 2024.

Please refer to Attachment 2 for detailed notice activities.

### **PREVIOUS EXTENSIONS**

The chief building official granted an extension for a three-year construction time limit on March 13, 2023, with expiration date of June 11, 2024. (Attachment 3)

The hearing officer granted a 180-day extension to the three-year construction time limit after conducting a public hearing on June 27, 2024, with expiration date of December 6, 2024. (Attachment 3)

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

### **PUBLIC NOTICE**

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

### **ATTACHMENTS**

- Attachment No. 1 – Building Permit Inspection History
- Attachment No. 2 – Three-Year Construction Limit Activities
- Attachment No. 3 – 1<sup>st</sup> Public Hearing and Building Official Extension

# **Attachment No. 1**

Building Permits Inspection History



# LINKED PERMIT INSPECTION HISTORY REPORT (2975-2018) FOR CITY OF NEWPORT BEACH

|                         |                              |   |
|-------------------------|------------------------------|---|
| Permit Type: Plan Check | Application Date: 12/20/2018 | Owner:                                    |
| Work Class: New         | Issue Date: 06/12/2020       | Parcel: 423 081 07                        |
| Status: Approved        | Expiration Date: 07/01/2020  | Address: 515 36TH ST<br>NEWPORT BEACH, CA |
| IVR Number: 160535      |                              |   |

| Scheduled Date                          | Actual Start Date | Inspection Type                      | Inspection No.            | Inspection Status | Primary Inspector | Reinspection Required? | Complete   |
|---|-------------------|--------------------------------------|---------------------------|-------------------|-------------------|------------------------|------------|
| <b>Inspection Location: 515 36TH ST</b> |                   |                                      |                           |                   |                   |                        |            |
| <b>Permit: E2020-0284</b>               |                   |                                      |                           |                   |                   |                        |            |
| 11/17/2020                              | 11/17/2020        | Other - MISC                         | E2020-0284-A0027<br>64306 | Approved          | Walter Jones      | No                     | Complete   |
| 12/08/2020                              | 12/08/2020        | Other - MISC                         | E2020-0284-A0027<br>71835 | Approved          | Walter Jones      | No                     | Complete   |
| 10/14/2021                              | 10/14/2021        | Other - Electrical                   | E2020-0284-A0028<br>96100 | Partial Pass      |                   | No                     | Incomplete |
| 03/15/2022                              | 03/15/2022        | Other - MISC                         | E2020-0284-A0029<br>57432 | Approved          |                   | No                     | Complete   |
| 04/11/2022                              | 04/11/2022        | Other - Electrical                   | E2020-0284-A0029<br>70532 | Partial Pass      |                   | No                     | Incomplete |
| <b>Permit: E2022-0735</b>               |                   |                                      |                           |                   |                   |                        |            |
| 10/12/2022                              | 10/12/2022        | Final Electrical                     | iBLD-012202-2022          | Approved          | Walter Jones      | No                     | Complete   |
| <b>Permit: X2018-3856</b>               |                   |                                      |                           |                   |                   |                        |            |
| 11/17/2020                              | 11/17/2020        | Other - MISC                         | X2018-3856-A0027<br>64311 | Approved          | Walter Jones      | No                     | Complete   |
| 12/07/2020                              | 12/07/2020        | Other - MISC                         | X2018-3856-A0027<br>71315 | Approved          | Walter Jones      | No                     | Complete   |
| 10/14/2021                              | 10/14/2021        | Other - Building                     | X2018-3856-A0028<br>96105 | Partial Pass      |                   | No                     | Incomplete |
| 11/08/2021                              | 11/08/2021        | Call Inspector for Pre-Grade Meeting | X2018-3856-A0029<br>06669 | Partial Pass      |                   | No                     | Incomplete |
| 03/15/2022                              | 03/15/2022        | Other - MISC                         | X2018-3856-A0029<br>57433 | Approved          |                   | No                     | Complete   |
| 04/11/2022                              | 04/11/2022        | Other - Building                     | X2018-3856-A0029<br>70527 | Partial Pass      |                   | No                     | Incomplete |
| 05/19/2022                              | 05/19/2022        | Call Inspector for Pre-Grade Meeting | X2018-3856-A0029<br>86858 | Approved          |                   | No                     | Complete   |
| 06/20/2022                              | 06/20/2022        | Legacy Inspection                    | X2018-3856-A0030<br>00233 | Partial Pass      |                   | No                     | Incomplete |
|   | 06/20/2022        | Rough Grade Approval                 | X2018-3856-A0029<br>99750 | Approved          |                   | No                     | Complete   |
| <b>Permit: X2020-1370</b>               |                   |                                      |                           |                   |                   |                        |            |
| 11/17/2020                              | 11/17/2020        | Other - MISC                         | X2020-1370-A0027<br>64309 | Approved          | Walter Jones      | No                     | Complete   |
| 12/07/2020                              | 12/07/2020        | Other - MISC                         | X2020-1370-A0027<br>71314 | Approved          | Walter Jones      | No                     | Complete   |
| 05/06/2021                              | 05/06/2021        | Other - Building                     | X2020-1370-A0028<br>28052 | Cancelled         | Walter Jones      | No                     | Complete   |
| 10/14/2021                              |                   |                                      |                           |                   |                   |                        |            |

# LINKED PERMIT INSPECTION HISTORY REPORT (2975-2018)

|                         |                              |   |
|-------------------------|------------------------------|---|
| Permit Type: Plan Check | Application Date: 12/20/2018 | Owner:                                    |
| Work Class: New         | Issue Date: 06/12/2020       | Parcel: 423 081 07                        |
| Status: Approved        | Expiration Date: 07/01/2020  | Address: 515 36TH ST<br>NEWPORT BEACH, CA |
| IVR Number: 160535      |                              |   |

| Scheduled Date | Actual Start Date | Inspection Type  | Inspection No.            | Inspection Status | Primary Inspector | Reinspection Required? | Complete   |
|----------------|-------------------|------------------|---------------------------|-------------------|-------------------|------------------------|------------|
|                | 10/14/2021        | Other - Building | X2020-1370-A0028<br>96098 | Partial Pass      |                   | No                     | Incomplete |
| 03/15/2022     | 03/15/2022        | Other - MISC     | X2020-1370-A0029<br>57434 | Approved          |                   | No                     | Complete   |
| 04/11/2022     | 04/11/2022        | Other - Building | X2020-1370-A0029<br>70530 | Partial Pass      |                   | No                     | Incomplete |
| 06/20/2022     | 06/20/2022        | Final Building   | X2020-1370-A0029<br>99749 | Approved          |                   | No                     | Complete   |

### Permit: X2022-1748

|   |            |                           |                  |                          |                |     |          |
|---|------------|---------------------------|------------------|--------------------------|----------------|-----|----------|
| 10/12/2022                              | 10/12/2022 | Erection Pads             | iBLD-012204-2022 | Not Ready for Inspection | Walter Jones   | Yes | Complete |
| 02/23/2023                              | 02/23/2023 | Sewer                     | iBLD-006900-2023 | Approved                 | Jason Rudenick | No  | Complete |
|   | 02/23/2023 | Soil Pipe                 | iBLD-006901-2023 | Cancelled                | Jason Rudenick | Yes | Complete |
| 03/01/2023                              | 03/01/2023 | Soil Pipe                 | iBLD-007298-2023 | Approved                 | Jason Rudenick | No  | Complete |
| <b>Reinspection of iBLD-006901-2023</b> |            |                           |                  |                          |                |     |          |
| 05/15/2023                              | 05/15/2023 | Footings and Foundation   | iBLD-017714-2023 | Approved                 | Jason Rudenick | No  | Complete |
|   | 05/15/2023 | Rough Grade Approval      | iBLD-017840-2023 | Approved                 | Jason Rudenick | No  | Complete |
|   | 05/15/2023 | Setbacks or Line & Grade  | iBLD-017712-2023 | Approved                 | Jason Rudenick | No  | Complete |
|   | 05/15/2023 | Slab On Grade             | iBLD-017842-2023 | Approved                 | Jason Rudenick | No  | Complete |
| 05/16/2023                              | 05/16/2023 | Ufer Ground               | iBLD-017601-2023 | Approved                 | Jason Rudenick | No  | Complete |
| 10/31/2023                              | 10/31/2023 | Floor Framing & Sheathing | iBLD-041733-2023 | Correction               | Chad Shelton   | Yes | Complete |

### Permit: XR2022-3004

|   |            |                              |                  |            |                |     |          |
|---|------------|------------------------------|------------------|------------|----------------|-----|----------|
| 06/15/2023                              | 06/15/2023 | Footings and Foundation      | iBLD-022132-2023 | Approved   | Jason Rudenick | No  | Complete |
|   | 06/15/2023 | Masonry Pre-Grout/Wall Steel | iBLD-022462-2023 | Approved   | Jason Rudenick | No  | Complete |
| 06/26/2023                              | 06/26/2023 | Final Building               | iBLD-023778-2023 | Correction | Jason Rudenick | Yes | Complete |
| 07/11/2023                              | 07/11/2023 | Final Building               | iBLD-025824-2023 | Approved   | Jason Rudenick | No  | Complete |
| <b>Reinspection of iBLD-023778-2023</b> |            |                              |                  |            |                |     |          |

### Permit: XR2023-0561

|   |            |                              |                  |              |                |     |            |
|---|------------|------------------------------|------------------|--------------|----------------|-----|------------|
| 10/09/2023                              | 10/09/2023 | WQ-Best Management Practices | iBLD-038954-2023 | Partial Pass | Jason Rudenick | Yes | Incomplete |
| 11/02/2023                              | 11/02/2023 | Complete Framing             | iBLD-042352-2023 | Cancelled    | Chad Shelton   | Yes | Complete   |
|   | 11/02/2023 | Floor Framing & Sheathing    | iBLD-042351-2023 | Partial Pass | Chad Shelton   | Yes | Incomplete |
| 03/19/2024                              | 03/19/2024 | Floor Framing & Sheathing    | iBLD-009945-2024 | Correction   | Chad Shelton   | Yes | Complete   |
| <b>Reinspection of iBLD-042351-2023</b> |            |                              |                  |              |                |     |            |

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| Status: Approved        | Expiration Date: 07/01/2020  | Address: 515 36TH ST<br>NEWPORT BEACH, CA |
| IVR Number: 160535      |                              |   |

| Scheduled Date                          | Actual Start Date | Inspection Type                       | Inspection No.   | Inspection Status | Primary Inspector | Reinspection Required? | Complete   |
|---|-------------------|---------------------------------------|------------------|-------------------|-------------------|------------------------|------------|
| 04/02/2024                              | 04/02/2024        | Floor Framing & Sheathing             | iBLD-012213-2024 | Partial Pass      | Chad Shelton      | Yes                    | Incomplete |
| <b>Reinspection of iBLD-009945-2024</b> |                   |                                       |                  |                   |                   |                        |            |
| 04/23/2024                              | 04/23/2024        | Roof Framing, Sheathing & Bldg Height | iBLD-015445-2024 | Cancelled         | Chad Shelton      | Yes                    | Complete   |
| 05/14/2024                              | 05/14/2024        | Roof Framing, Sheathing & Bldg Height | iBLD-017855-2024 | Correction        | Chad Shelton      | Yes                    | Complete   |
| <b>Reinspection of iBLD-015445-2024</b> |                   |                                       |                  |                   |                   |                        |            |
| 07/18/2024                              | 07/18/2024        | Shear and Hold Downs                  | iBLD-026929-2024 | Partial Pass      | Chad Shelton      | Yes                    | Incomplete |
| 07/30/2024                              | 07/30/2024        | Roof Framing, Sheathing & Bldg Height | iBLD-028630-2024 | Approved          | Chad Shelton      | No                     | Complete   |
| <b>Reinspection of iBLD-017855-2024</b> |                   |                                       |                  |                   |                   |                        |            |
|   | 07/30/2024        | Shear and Hold Downs                  | iBLD-028629-2024 | Partial Pass      | Chad Shelton      | Yes                    | Incomplete |
| <b>Reinspection of iBLD-026929-2024</b> |                   |                                       |                  |                   |                   |                        |            |
| 09/24/2024                              | 09/24/2024        | Rough Electric Residential            | iBLD-036511-2024 | Correction        | Chad Shelton      | Yes                    | Complete   |
| 10/17/2024                              | 10/17/2024        | Floor Framing & Sheathing             | iBLD-040803-2024 | Approved          | Chad Shelton      | No                     | Complete   |
| <b>Reinspection of iBLD-012213-2024</b> |                   |                                       |                  |                   |                   |                        |            |
|   | 10/17/2024        | Rough Electric Residential            | iBLD-039818-2024 | Correction        | Chad Shelton      | Yes                    | Complete   |
| <b>Reinspection of iBLD-036511-2024</b> |                   |                                       |                  |                   |                   |                        |            |
|   | 10/17/2024        | Rough Plumbing & Pan Test             | iBLD-039817-2024 | Correction        | Chad Shelton      | Yes                    | Complete   |

# Worksheet for Electrical/Mechanical/ Plumbing Application

City of Newport Beach  
Building Division



1. Project Address (Not mailing address)

Building Permit No. \_\_\_\_\_

515 36th St, Newport Beach

Floor \_\_\_\_\_

Suite \_\_\_\_\_

2. Owner's Name

Last

777 Seaview Island

First \_\_\_\_\_

Owner's Street Address

661 S Brea Canyon Rd.

City

Walnut

State

CA

Zip

91789

Telephone \_\_\_\_\_

Owner's E-mail Address

Bill @ leekey.com

3. Applicant's Name

Last

SURPRENANT

First

ROY

Applicant's Street Address

1941 W. LA VETA AVE

City

ORANGE

State

CA

Zip

92868

Telephone \_\_\_\_\_

714-681-3182

Applicant's E-mail Address

SOURCEMECHANICAL20@GMAIL.COM

4. Contractor's Name

Last

SURPRENANT

First

ROY

State Lic #

1121531

Contractor's Street Address

1941 W. LA VETA AVE

City

ORANGE

State

CA

Zip

92868

Telephone \_\_\_\_\_

Contractor's E-mail Address \_\_\_\_\_

Business Lic # \_\_\_\_\_

| Mechanical                      |          | Electrical                                 |          | Plumbing                     |          |
|---------------------------------|----------|--|----------|------------------------------|----------|
|                                 | Quantity | New Construction                           | Quantity |                              | Quantity |
| <b>Furnace</b>                  |          |  |          | <b>Bathroom</b>              |          |
| up to 100,000 btu:              | 4        | 1 & 2 Family S.F.:                         |          | Water closet (toilet):       |          |
| over 100,000 btu:               | 1        | Multi Family S.F.:                         |          | Bidet:                       |          |
| wall/floor heaters:             | 1        | <b>Receptacle, Switch Lighting Outlets</b> |          | Urinal:                      |          |
| <b>Heat Pumps/Package Units</b> |          | Total Outlets:                             |          | Bath Tub:                    |          |
| up to 100,000 btu:              | 1        | <b>Lighting Fixtures</b>                   |          | Shower stall:                |          |
| up to 1,000,000 btu:            | 1        | Total Fixtures:                            |          | Lavatory (basin):            |          |
| up to 1,750,000 btu:            | 1        | Total Low Voltage:                         |          | Hydro-massage tub:           |          |
| > 1,750,000 btu:                | 1        | Separate Circuit:                          |          | <b>Kitchen</b>               |          |
| <b>Boilers/Compressors</b>      |          | <b>Motors/Transformers</b>                 |          | Kitchen sink:                |          |
| up to 3 HP:                     | 1        | 0-1 HP or KVA:                             |          | Garbage Disposal:            |          |
| 3 HP-15 HP:                     | 1        | 1-10 HP or KVA:                            |          | Bar sink:                    |          |
| 15 HP-30 HP:                    | 1        | 10-50 HP or KVA:                           |          | Vegetable sink:              |          |
| 30 HP-50 HP:                    | 1        | 50-100 HP or KVA:                          |          | Dishwasher:                  |          |
| >50 HP:                         | 1        | Over 100 HP or KVA:                        |          | Laundry/washing trap:        |          |
| <b>Air Handling Units</b>       |          | <b>Signs</b>                               |          | Ice maker:                   |          |
| up to 10,000 CFM:               | 1        | One branch circuit:                        |          | Floor sink:                  |          |
| >10,000 CFM:                    | 1        | Add'l branch circuit:                      |          | <b>Miscellaneous</b>         |          |
| VAV Box:                        | 1        | <b>Service</b>                             |          | Floor drain:                 |          |
| <b>Repair/Alter/Add HVAC</b>    |          | 0-600V not over 200A:                      |          | Water piping:                |          |
| Number of Zones:                | 1        | 0-600V & over 200A:                        |          | Water softener:              |          |
| <b>Ventilation</b>              |          | over 600V:                                 |          | Water heater:                |          |
| Bathroom Fan:                   | 10       | Temp PP/Piggy Back:                        |          | Lavatory (basin):            |          |
| Exhaust Fan:                    | 6        | Sub Panel:                                 |          | Gas sys up to 4 outlets:     |          |
| Attic Exhaust:                  | 1        | Other:                                     |          | Gas sys # of outlets over 4: |          |
| Residential Hood:               | 2        |  |          |                              |          |
| Commercial Hood:                | 1        |  |          |                              |          |
| Metal Fireplaces:               | 1        |  |          |                              |          |
| Gas Lines:                      | 1        |  |          |                              |          |
| Fire Dampers:                   | 1        |  |          |                              |          |



**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 718-1888  
newportbeachca.gov/civic  
Combination Type - SFP  
Work Class - New



**COMB Permit : F2024-0330**

**Plan Check No : PC2024-1199**  
**Issued Date : 07/16/2024**  
**Final Date:**  
**Permit Status: Issued**  
**Inspection Area : 2**

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE**  
**NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS**

**Job Address :** 223 VIA MENTONE

**Legal Desc :** N TR 907 BLK LOT 612 TR 907 LOT 612(AND NELY 10 FT

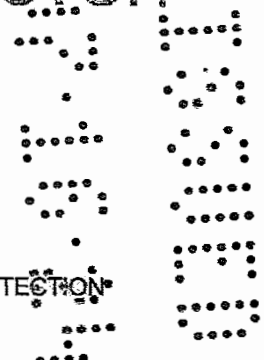
**Description :** NEW SFR FIRE SPRINKLERS (36 HEADS) \*XR2023-3227\*

**Owner :** HOANG VINH  
**Address :** 223 VIA MENTONE  
NEWPORT BEACH, CA 92663  
**Phone :** (310) 462-8828

**Contractor :** FIREPROOF FIRE PROTECTION  
**Address :** 1101 KINGSTON DR.  
LA HABRA, CA 90631  
**Phone :** (714) 476-5370  
**Con State Lic :** 876004  
**Lic Expire :** 04/30/2026  
**Bus Lic :** BT30040107  
**Bus Lic Expire :** 07/31/2024

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**INSPECTOR**



**Applicant :** FIREPROOF FIRE PROTECTION  
**Address :** 1101 KINGSTON DR.  
LA HABRA, CA 90631  
**Phone :** (714) 476-5370

**Workers' Compensation Insurance**  
**Carrier :** NATIONAL CASUALTY COMPANY  
**Policy No :** WCC336253A  
**W. C. Expire :** 2/15/2025

**Engineer :**  
**Address :**  
**Phone :**

**Designer :** FIREPROOF FIRE PROTECTION  
**Address :** 1101 KINGSTON DR.  
LA HABRA, CA 90631  
**Phone :** (714) 476-5370

**Owner/Builder :**  
**Address :**  
**Phone :**

**Code Edition :** 2022  
**Type of Construction :** V-B  
**Occupancy Groups :** R3/U  
**Bldg Height :**

**Fire Sprinklers :** YES  
**Fire Hazard Zone :** NO  
**No of Units :** 1  
**No of Stories :** 2

**Construction Valuation :** \$3,600.00  
**Added/New/TI sq. ft. Bldg :** 0  
**Alteration sq. ft. Bldg :** 0  
**Add/New sq. ft. Garage :** 0  
**TOTAL sq. ft. :** 0

**Building Setbacks :** Front: 4, Front: 10, Side: 4, Side: 4  
**Flood Zone :** X  
**Use Zone :** R-1 - Single-Unit Residential

**PROCESSED BY :** \_\_\_\_\_

**SPECIAL CONDITIONS:**



**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of or  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date 7/16/24 Contractor Signature [Signature]

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date 7/16/24

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name [Signature] Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name James Casey Date 7/16/24

| ACTION   | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403     | FOR OFFICE USE ONLY |
|--|------|----|---|---------------------|
| PERMIT EXPIRED                                     |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO   |                     |
| PERMIT CANCELLED                                   |      |    | <input type="checkbox"/> EPA  |                     |
| PERMIT EXTENDED                                    |      |    | <input type="checkbox"/> AQMD   |                     |
| PERMIT FINAL<br>CERTIFICATE OF<br>OCCUPANCY ISSUED |      |    | <input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION<br>SIGNATURE: |                     |



**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 644-3288  
Inspection Requests Phone: (949) 644-3255  
newportbeachca.gov/inspections



**Harbor Permit : M2022-0057**

**Plan Check No :**  
**Work Class : Other**  
**Issued Date : 11/18/2022**  
**Inspection Area : 1**

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION.**

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays.

**Job Address :** 515 36TH ST

**Legal Desc :** A TR CANAL SECTION BLK 536 LOT 8 CANAL SECTION LOT 8 BLK 536 (AND NELY1/2 LOT 7 BLK

**Description :** MFR SEAWALL REPAIR W/ GUARD ON TOP, DEADMAN & TIE BACKS (CHANGE OF CONTRACTOR/OWNER) REPLACES M2022-0014

**Owner :** 777 SEAVIEW ISLAND LLC  
**Address :** 17870 CASTLETON ST STE255 CITY OF  
INDUSTRY, CA 91748  
**Phone :**

**Contractor :** AVEO INC  
**Address :** 1142 S DIAMOND BAR BLVD, 818  
DIAMOND BAR, CA 91765  
**Phone :** (909) 538-9188

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**Applicant :** AVEO INC  
**Address :** 1142 S DIAMOND BAR BLVD, 818 DIAMOND  
BAR, CA 91765  
**Phone :** (909) 538-9188

**Con State Lic :** 969881  
**Lic Expire :** 02/29/2024  
**Bus Lic :** BT30080027  
**Bus Lic Expire :** 11/30/2023

**Engineer :** AFZAL BEHZAD  
**Address :** 4000 BARRANCA PKWY #250 IRVINE, CA  
92604  
**Phone :** (949) 836-8298

**The Longshore and Harbor Workers' Insurance**  
**Carrier :** STATE COMP INS FUND/LONGSHORE &  
**Policy No :** HARBOR 905136-22  
**Policy Expire :** 7/3/2023

**Designer :**  
**Address :**  
**Phone :**

**Code Edition :** 2019  
**Type of Construction :**  
**Occupancy Groups :** U

**Fire Sprinklers :** NO  
**Fire Hazard Zone :** NO

**Construction Valuation :** \$0.00

**Building Setbacks :** Front: 30, Front: 5, Side: 4, Side: 4  
**Flood Zone :** AE, 8 FT; X  
**Use Zone :** R-2 - Two-Unit Residential

**Processed By:** \_\_\_\_\_

**SPECIAL CONDITIONS:**

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name \_\_\_\_\_ Date \_\_\_\_\_

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403  | FOR OFFICE USE ONLY |
|--|------|----|--|---------------------|
| PERMIT EXPIRED                               |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO                                      |                     |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA   |                     |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD  |                     |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: |                     |

**PERMIT FEE DETAILS FOR PERMIT M2022-0057**

| <b>Fee Name</b>                    | <b>Fee Amount</b> | <b>Fee Paid Amount</b>        |
|------------------------------------|-------------------|-------------------------------|
| Transaction Date    Payment Method |                   | Trans. Paid Amount    Paid By |
| <b>Building</b>                    |                   |                               |
| Building Permit Fee                | \$39.00           | \$0.00                        |
| <b>GRAND TOTAL:</b>                | <b>\$39.00</b>    |                               |



**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 718-1888  
newportbeachca.gov/civic  
Combination Type - **SFP**  
Work Class - **Other**



**COMB Permit : XR2023-0561**

**Plan Check No :**  
**Issued Date : 06/22/2022**  
**Final Date:**  
**Permit Status: Issued**  
**Inspection Area : 1**

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE**  
**NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS**

**Job Address :** 515 36TH ST

**Legal Desc :** A TR CANAL SECTION BLK 536 LOT 8 CANAL SECTION LOT

**Description :** NEW DUPLEX & GARAGE 4082/422 SF \*CHANGE OF CONTRACTOR\*

**Owner :** TJ MERCURY INC  
**Address :** 18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748  
**Phone :**

**Contractor :** LEOKEY CONSTRUCTION INC  
**Address :** 19745 COLIMA RD, 128  
ROWLAND HEIGHTS, CA 91748  
**Phone :** (626) 833-2188  
**Con State Lic :** 1066388  
**Lic Expire :** 06/30/2024  
**Bus Lic :** BT30080039  
**Bus Lic Expire :** 11/30/2023

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**Applicant :** LEOKEY CONSTRUCTION INC  
**Address :** 19745 COLIMA RD, 128  
ROWLAND HEIGHTS, CA 91748  
**Phone :** (626) 833-2188

**Engineer :** AFZAL BEHZAD  
**Address :** 4000 BARRANCA PKWY #250  
IRVINE, CA 92604  
**Phone :** (949) 836-8298

**Owner/Builder :**  
**Address :**  
**Phone :**

**Workers' Compensation Insurance**  
**Carrier :**  
**Policy No :** 9318931  
**W. C. Expire :** 6/2/2024

**Designer :**  
**Address :**  
**Phone :**

**Code Edition :** 2016  
**Type of Construction :** V-B  
**Occupancy Groups :** U,R-3  
**Bldg Height :**

**Fire Sprinklers :** NO  
**Fire Hazard Zone :** NO  
**No of Units :** 2  
**No of Stories :** 3

**Construction Valuation :**  
**Added/New/TL sq. ft. Bldg :** 0  
**Alteration sq. ft. Bldg :**  
**Added/New sq. ft. Garage :** 0  
**TOTAL sq. ft. :** 0

**Building Setbacks :** Front: 30, Front: 5, Side: 4, Side: 4  
**Flood Zone :** AE, 8 FT; X  
**Use Zone :** R-2 - Two-Unit Residential

**PROCESSED BY :** \_\_\_\_\_

**SPECIAL CONDITIONS:** CHANGE OF CONTRACTOR TO PERMIT X2022-1748

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

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Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

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Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name \_\_\_\_\_ Date \_\_\_\_\_

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403           | FOR OFFICE USE ONLY |
|--|------|----|---|---------------------|
| PERMIT EXPIRED                               |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO   |                     |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA  |                     |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD   |                     |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION<br>SIGNATURE: _____ |                     |

## PERMIT FEE DETAILS FOR PERMIT XR2023-0561

| Fee Name                               | Fee Amount      | Fee Paid Amount    |                         |
|--|-----------------|--------------------|-------------------------|
| Transaction Date    Payment Method     |                 | Trans. Paid Amount | Paid By                 |
| <b>Building</b>                        |                 |                    |                         |
| <b>Building Permit Fee - Valuation</b> | <b>\$118.00</b> | <b>\$0.00</b>      |                         |
| <b>Issuance Fee</b>                    | <b>\$39.00</b>  | <b>\$39.00</b>     |                         |
| 02/28/2023            CC EPL           |                 | \$39.00            | LEOKEY CONSTRUCTION INC |
| <b>GRAND TOTAL:</b>                    | <b>\$157.00</b> | <b>\$39.00</b>     |                         |



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

### BUILDING HEIGHT CERTIFICATION

Project Street Address: 515 36th Street

Building Permit Number(s): XR2023-0561

As the surveyor of record for the project at the above address, I hereby certify that I have reviewed the City of Newport Beach approved plan and original topographic survey and based the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on:  NAVD88       NGVD29       Assumed

*Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.*

#### RIDGES (3:12 slope or greater)

1. Approved elevation point of ridge is 38.00 and actual elevation point is 38.00.
2. Approved elevation point of ridge is 38.00 and actual elevation point is 37.99.
3. Approved elevation point of ridge is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.


#### FLAT ROOFS, PARAPETS AND GUARDRAILS

1. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
2. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
3. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.

I certify that the above height measurements are correct and the above project:

- IS in compliance with the City-approved plans.
- IS NOT in compliance with the City-approved plans (Provide explanation).

Please describe any deviation from the City-approved plans on the back of this form.

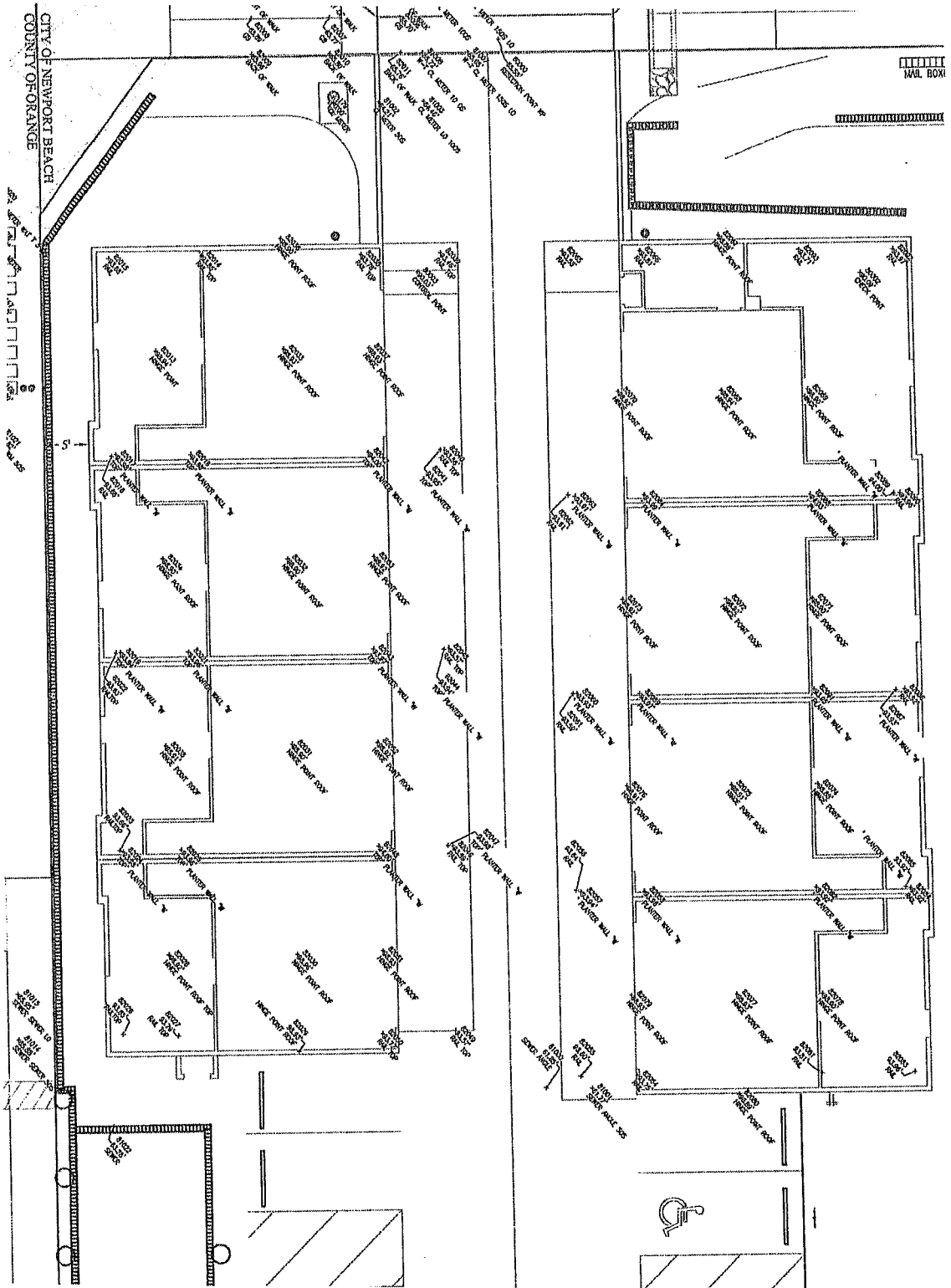
  
 \_\_\_\_\_  
 Surveyor or Civil Engineer's\* signature and seal  
 (Wet stamp and signature required)



5/2/24  
Date

\* License number of 33965 or lower







City of Newport Beach, Building Division  
Building Department  
100 Civic Center Drive  
Newport Beach, CA 92660

Tel:(949)644-3275

Re: Request for Permit Extension  
Work Construction Project at:  
515 36th Street Newport Beach, CA 92663  
Permit No. X2022-1748, XR2023-0561

Dear Building Division,

Platinum Coast Management Corporation (hereinafter as "Platinum") is the managing member for 777 Seaview Island LLC (hereinafter as "Seaview".) Seaview is the owner of the property located at 515 36th St. Newport Beach, CA 92663. Leokey Construction, Inc. (hereinafter as "Leokey"). Leokey is the General Contractor and current building permit holder under the "Construction Project", located at the address of: 515 36th St. Newport Beach, CA 92663. The permit is XR2023-0561 and involves the construction of a new duplex and garage for the property.

The project was originally contracted to Top Star Construction (hereinafter as "Topstar") and permitted on 2/28/2023. After the four (4) months of construction, Topstar chose to abandoned the project. In October 2023, Leokey was chosen and changed to as the new General Contractor of the project. A changed of Contractor was filed with the City of Newport Beach



and construction was restarted. Platinum, on behalf of Seaview, is respectfully requesting a one(1) year extension to the aforementioned permit for the Construction Project. The reason for this request is unexpected delays from materials vendors to deliver and apply appropriate credit for the continuation of framing process during these past months. (Please see fragmented deliveries attempts and credits from material vendors). Also challenging was the lack of staging areas to work with for deliveries to the jobsite. We can only take partial lumber deliveries because we can not leave anything near the sidewalk or roadside on 36th street. In addition, some hard to obtain materials such as angle plates were hard to procure for reasons that they needed special treatments (hot-dipped galvanized). Nevertheless, we have fully completed framing the property upto third and roof level. We are ready for the next inspection and ready to move toward the interior work of the duplex.

Seaview and Leokey estimates that the Construction Project will be fully completed within the next 10-12 months after the permit extension is granted.

As such, Seaview is respectfully requesting a permit extension of one (1) year to the aforementioned permit for the Construction Project, to facilitate the completion of work progress.

Respectfully yours,

A handwritten signature in black ink, appearing to read "Jianhua Jin".

Jianhua Jin, Owner  
Platinum Coast Management Corp.



**City of Newport Beach**

Community Development Department - Building Division  
 100 Civic Center Drive, Newport Beach, CA 92660  
 Permit Counter Phone: (949) 644-3288  
 Inspection Requests Phone: (949) 644-3255  
 newportbeachca.gov/inspections  
 Combination Type - SFP  
 Work Class - Other



**INSPECTOR**

FEMA

**COMB Permit : XR2023-0561**

Plan Check No :  
 Issued Date : 06/22/2022  
 Inspection Area : 1

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE  
 NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

**Job Address :** 515 36TH ST **Legal Desc :** A TR CANAL SECTION BLK 536 LOT 8 CANAL SECTION LOT 8 BLK 536 (AND NELY1/2 LOT 7 BLK  
**Description :** NEW DUPLEX & GARAGE 4082/422 SF \*CHANGE OF CONTRACTOR\*

**Owner :** TJ MERCURY INC  
**Address :** 18555 FIELDBROOK ST  
 ROWLAND HEIGHTS, CA 91748  
**Phone :**

**Contractor :** LEOKEY CONSTRUCTION INC  
**Address :** 19745 COLIMA RD, 128  
 ROWLAND HEIGHTS, CA 91748  
**Phone :** (626) 833-2188  
**Con State Lic :** 1066388  
**Lic Expire :** 06/30/2024  
**Bus Lic :** BT30080039  
**Bus Lic Expire :** 11/30/2023

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**Applicant :** LEOKEY CONSTRUCTION INC  
**Address :** 19745 COLIMA RD, 128  
 ROWLAND HEIGHTS, CA 91748  
**Phone :** (626) 833-2188

**Engineer :** AFZAL BEHZAD  
**Address :** 4000 BARRANCA PKWY #250  
 IRVINE, CA 92604  
**Phone :** (949) 836-8298

**Owner/Builder :**  
**Address :**  
**Phone :**

**Workers' Compensation Insurance Carrier :**  
**Policy No :** EXEMPT  
**W. C. Expire :**

**Designer :**  
**Address :**  
**Phone :**

**Code Edition :** 2016  
**Type of Construction :** V-B  
**Occupancy Groups :** U,R-3  
**Bldg Height :**

**Fire Sprinklers :** NO  
**Fire Hazard Zone :** NO  
**No of Units :** 2  
**No of Stories :** 3

**Construction Valuation :**  
**Added/New/TL sq. ft. Bldg :** 0  
**Alteration sq. ft. Bldg :**  
**Added/New sq. ft. Garage :** 0  
**TOTAL sq. ft. :** 0

**Building Setbacks :** Front: 5, Front: 30, Side: 4, Side: 4  
**Flood Zone :** AE, 8 FT; X  
**Use Zone :** R-2 - Two-Unit Residential

**PROCESSED BY :** BS

**SPECIAL CONDITIONS:** CHANGE OF CONTRACTOR TO PERMIT X2022-1748

**NO CONSTRUCTION NOISE**

**ON THE WEEKEND**

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of or  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date 2/28/23 Contractor Signature [Signature]

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature] Date 2/28/23

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name Bill Chow Date 2/28/23

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403                                   | FOR OFFICE USE ONLY |
|--|------|----|---|---------------------|
| PERMIT EXPIRED                               |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO   |                     |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA  |                     |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD   |                     |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input checked="" type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION<br>SIGNATURE: <u>[Signature]</u> |                     |

# PLATINUM COAST MANAGEMENT CORP.

17870 CASTLETON ST. SUITE 255  
CITY OF INDUSTRY, CA 91748

(TEL): 626-810-8099  
(Email): lzhaopl@platinumcoastus.com

February 28, 2023

City of Newport Beach, Building Department  
Newport Beach City Council Chambers  
100 Civic Center Drive  
Newport Beach, CA 92660  
TEL: (949) 644-3275

Re: **LETTER OF AUTHORIZATION - CHANGE OF GENERAL CONTRACTOR**  
**Project Address: 515 36th St. Newport Beach, CA 92663**  
**Permit No. X2022-1748**

Dear Building Division,

Platinum Coast Management Corp. (hereinafter as "Platinum") is the manager of 777 Seaview Island, LLC, the owner of the Construction Project, located at the address of: 515 36th St. Newport Beach, CA 92663.

Platinum hereby agrees and authorizes the appointment of its new general subcontractor for the '515 Newport' project. The previous designated general contractor reflected in the permit was Top Star Construction. The new general contractor moving forward shall be **Leokey Construction, Inc. (Lic. #1066388)**. Leokey shall assume all responsibilities as to the scope of work for the project moving forward.

### **BUSINESS INFORMATION**

Leokey Construction (Lic No. 1066388)  
19745 Colima Road, Ste 128  
Rowland Heights, CA 91748  
Business Phone Number: (626) 833-2188  
**License Issue Date: 06/19/2020**  
**License Expiration Date: 06/30/2024**  
**Classification: "B" General Building**

Bill Chow shall be the designated new & current general contractor contact for the '515 Construction' project. He can be reached at the number above. Please take all necessary actions to effectuate this change.

Yours Sincerely,

  
MENG ZHANG, CEO  
Platinum Coast Management Corp.

PLATINUM COAST MANAGEMENT CORP.

ADDRESS: 17870 CASTLETON ST. SUITE 352, CITY OF INDUSTRY, CA 91748

# **LLC Operating Agreement**

## ORGANIZATION

777 SEAVIEW ISLAND LLC is a single-member limited liability company founded on October 29, 2021.

## PARTIES

This LLC OPERATING AGREEMENT (Agreement), is mutually entered into with full consent by TJ MERCURY, INC. (Member). 777 SEAVIEW ISLAND LLC is wholly owned by TJ MERCURY, INC. Said member agrees to the following capital contributions:

| MEMBER           |  | PERCENT |
|------------------|--|---------|
| TJ MERCURY, INC. |  | 100%    |
|                  |  |         |

**Managing Manager.** Subject to the provisions of this Agreement, (i) the Company, and the Managing Manager PLATINUM COAST MANAGEMENT on behalf of the Company, may perform operational functions and maintenance, all without any further act, vote or approval of any Member.

## TERMS AND CONDITIONS

### PROFIT DISTRIBUTION

Members of the company will determine the summated profits of the company while the remaining will be allocated towards savings for future unforeseen emergencies and immediate projects.

### RESPONSIBILITIES

Members are expected to oversee the production, financial, administrative, and staff operations within the company. They will then be responsible for deciding the best track that the company should take annually after operational observations.



**AMENDMENTS**

Any member who wishes to amend certain provisions of this agreement shall consult with the company's legal counsel and the other member of the company. Both members should mutually co-sign the proposed amendment on a separate document of agreement.

**WITHDRAWAL**

Any member who wishes to withdraw their capital contributions from the company may make such election. Notice of withdrawal should also be provided three months before the date of withdrawal which shall be consented to by the other member on a separate document.

**DISSOLUTION OF AGREEMENT**

The agreement will be dissolved one month after both members co-sign a document detailing their separation and withdrawal from the company. However, the dissolution of the agreement will not immediately terminate the company as the board of directors will be tasked to sell the company's share to possible investors.


**COMPANY DISSOLUTION**

The company operations will be terminated only after both members and one representative from the board of directors co-sign a document detailing the dissolution and the reason why such agreement was reached including, but not limited to, bankruptcy, legal repercussions, and mutual withdrawal of capital contribution.

**GOVERNING LAW**

This agreement is placed under the jurisdiction of the state of California.

**SIGNATURE**

  
\_\_\_\_\_  
TJ MERCURY, INC.

10/29/2021  
\_\_\_\_\_  
Date



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - MFP ELEC MECH PLUM GRAD



COMB Permit : X2018-3856

Project No : 2975-2018

INSPECTOR

Issued Date : 06/12/2020
Inspection Area : 1

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 06/13/2023 OR PERMIT WILL BE INVALID

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 515 36TH ST NB
Description: NEW DUPLEX & GARAGE 4082/422 SF
Legal Desc.: CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536)

FEMA ELEVATION CERTIFICATE
REQUIRED FOR FINAL

Owner: TJ MERCURY INC
Address: 18535 FIELDBROOK ST
ROWLAND HEIGHTS, CA 91768

Contractor: OWNER/BLDR
Address: AUTH AGENT:
ROGER JEN

Architect:
Address:

Applicant: HUDGINS SCOTT
Address: 1107 S COAST HWY
LAGUNA BEACH CA 92651
Phone: 949-322-7922

Con State Lic: O/B
Lic Expire:
Bus Lic:
Lic Exp Date:

Engineer: AFZAL BEHZAD
Address: 4000 BARRANCA PKWY #250
IRVINE CA 92604
Phone: 949-836-8298
State Lic: C-079628

Code Edit : 2016
Type of Construction: V-B-SPR
Occupancy Group: R3/U
Added /New sq.ft. Bldg: 4082
Added /New sq. ft. Garage: 422
No of Stories: 3
No of Units : 2
Bldg Height: 0
Bldg Sprinklers: Y
Flood Zone: 02%

Worker's Compensation Insurance
Carrier:
Policy No:
Expire:

Building Setbacks Rear: 30
Front: 5
Left: 4
Right: 4

Designer:
Address:
Phone:
Special Conditions: O/B & LLC ATTACHED

Use Zone: R-2 Parking Spaces: 0 Fire Hazard Zone : N

Construction Valuation: \$770,000.00

Building Permit Fee: \$5,677.00
Plan Check Fee: \$4,244.00
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management : \$138.00
Energy Compliance: \$294.00
CA Seismic Safety : \$100.10
Disabled Access : \$0.00
Hazardous Mat \$0.00
Building Green Fee : \$31.00

Excise Tax: \$945.84
Additional Fee : \$2,335.00
Grading Bonds Fee: \$0.00
Grading PC Consultant : \$1,548.16
Grading Permit Fee: \$904.00
Grading PC Fee: \$339.84
WQ Insp. Fee : \$108.00
Electrical %: \$794.78
Mechanical %: \$624.47
Plumbing %: \$510.93

Planning Department -
Plan check Fee : \$432.00
Fair Share : \$1,865.00
SJH Trans : \$0.00
In-lieu Housing Fee : \$0.00
Public Works Department -
Park Dedication : \$0.00
P/W Plan Check : \$382.50
San Dist : \$2,715.00
NMUSD Fee: \$3,567.76

Fire Department
Fire Inspection: \$0.00
Fire Plan Rev \$0.00
Demolition Fee
Building Dept Adm \$0.00
General Service \$0.00
Refund Deposit \$0.00
Grading Bond: \$0.00

TOTAL FEE : \$27,557.38

Plan Check Fee : \$5,440.00

Fee Due at Permit Issuance : \$22,117.38

PROCESSED BY: [Signature]
ZONING APPROVAL: [Signature]
GRADING APPROVAL: [Signature]

PUBLIC WORKS APPROVAL: [Signature]
PLAN CHECK BY: [Signature]
APPROVAL TO ISSUE: [Signature]

NO CONSTRUCTION DAYS

NO CONSTRUCTION NOISE



**City of Newport Beach - Building Division**

100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone (949)644-3288



**HARBOR Permit : M2019-0035**

Project No : 1056-2019

Inspection Requests Phone (949)644-3255

Job Address: 515 36TH ST Floor: Suite: Bldg: 0  
Description of Work: RE-INFORCE (E) SEAWALL-UTILIZING DYWIDAG TIE-BACKS TO NEW CONCRETE DEADMEN

Inspector Area: 1  
Legal Description: CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536

Owner: GUO JACK  
Address: 50 W LEMON AV #23  
MONROVIA CA 91016  
Phone: 909-319-6888  
State Lic:

Contractor: OWNER/BLDR  
Address: GUO JACK  
Phone: 909-319-6888  
C-066947

Engineer: PETROV PLAMEN  
Address: 28161 CASITAS CT  
LAGUNA NIGUEL CA 92677  
Phone: 714-717-7542

Applicant: HUDGINS SCOTT  
Address: 1107 S COAST HWY  
LAGUNA BEACH CA 92651  
Phone: 949-322-7922

Con State Lic: O/B  
Lic Expire:  
Bus Lic:  
Lic Exp Date:  
Designer:  
Address:  
Phone:

**NO CONSTRUCTION NOISE  
ON THE WEEKEND**

Special Cond:

Issued Date 12/05/2019

Longshoremen's and Harbor Workers' Compensation Declaration -  
Carrier:  
Policy No:  
Expire:

**INSPECTOR**

|                      |                 | FEES                    |                 |                                     |                 |
|----------------------|-----------------|-------------------------|-----------------|-------------------------------------|-----------------|
| Valuation:           | \$10,000.00     | Fire Inspection Fee:    | \$0.00          | Plan Dep - Counter Review :         | \$0.00          |
| Inspection Fee:      | \$297.00        | Fire Plan Check Fee:    | \$0.00          | Plan Dep - Zoning Plan Check :      | \$0.00          |
| Plan Check Fee       | \$312.00        | Records Mangement:      | \$4.00          | Plan Dep - OverTime Plan Check :    | \$0.00          |
| OT Plan Check Fee:   | \$0.00          | Harbor Plan Check Fee:  | \$0.00          |                                     |                 |
| Investigation Fee:   | \$0.00          |                         |                 |                                     |                 |
| Building Green Fee : | \$1.00          |                         |                 |                                     |                 |
| <b>TOTAL FEE :</b>   | <b>\$677.00</b> | <b>Plan Check Fee :</b> | <b>\$302.00</b> | <b>Fee Due at permit Issuance :</b> | <b>\$375.00</b> |

PROCESSED BY: JH  
PLAN CHECK BY: ES / MRH

PUBLIC WORKS: \_\_\_\_\_  
APPROVAL TO ISSUE: \_\_\_\_\_  
OTHER DEPARTMENTS: CC  
FINAL INSPECTION : \_\_\_\_\_

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION



# City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone (949)644-3288



E 2 0 2 0 0 2 8 4 1

Electrical Permit : E2020-0284

Project No : 2975-2018

Inspection Requests Phone (949)644-3255

## INSPECTOR

Job Address: 515 36TH ST Bldg: 1 Floor: Suite:  
Description of Work: ELEC TEMP POWER POLE

Inspector Area: 1

Code Edit: 2019

Legal Description: CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536

Owner: TJ MERCURY INC  
Address: 50 W LEMON AV #23  
MONROVIA CA 91016  
Phone: 909-319-6888

Contractor: OWNER/BLDR  
Address: AUTH AGENT: ROGER JEN

Worker's Compensation Insurance  
Carrier :  
Policy No:  
Expire :

Issued Date:06/12/2020

Phone: 562-338-9555  
Con State Lic: O/B  
Lic Expire:  
Bus Lic:  
Lic Exp Date:

Processed By: *SAM*

NO CONSTRUCTION NOISE  
ON SATURDAYS

| New Construction           |          | Receptacle/Switch/Outlets |          | FEES                           |           |   |          |
|----------------------------|----------|---------------------------|----------|--------------------------------|-----------|---|----------|
| Residential                |          |                           |          | Motors/Transformers (HP/KVA)   |           |   |          |
| Multi-Family:              | 0 \$0.00 | Receptacles/Outlets:      | 0 \$0.00 | 0 to 1 HP/KW/KVA:              | 0 \$0.00  | Temp Underground:                           | 0 \$0.00 |
| 1-2 Family:                | 0 \$0.00 | Fixtures:                 | 0 \$0.00 | 1 to 10 HP/KW/KVA:             | 0 \$0.00  | Sub Panel:                                  | 0 \$0.00 |
|                            |          | Sep Circuits:             | 0 \$0.00 | 10 to 50 HP/KW/KVA:            | 0 \$0.00  | :   | 0 \$0.00 |
|                            |          | Low Voltage               | 0 \$0.00 | 50 to 100 HP/KW/KVA:           | 0 \$0.00  | :   | 0 \$0.00 |
|                            |          | Signs                     |          | Over 100 HP/KW/KVA:            | 0 \$0.00  | Record Mgmt Fee:                            | \$0.00   |
| Service                    |          | Branch Circuit:           | 0 \$0.00 |                                |           | Plan Check Fee:                             | \$0.00   |
| 0-600V up to 200A:         | 0 \$0.00 | Each Add Circuit:         | 0 \$0.00 | Piggy Back/Temp Power:         | 0 \$0.00  | Investigation Fee:                          | \$0.00   |
| 0-600V over 200A:          | 0 \$0.00 | Time Clocks:              | 0 \$0.00 | Temp Power Pole:               | 1 \$39.00 | Issuance Fee:                               | \$35.00  |
| Over 600V or 1000A:        | 0 \$0.00 | Additional Fee :          | \$0.00   |                                |           | Supplemental Fee:                           | \$0.00   |
| O/H to U/G                 | 0 \$0.00 |                           |          |                                |           |   |          |
| <b>TOTAL Fee : \$74.00</b> |          |                           |          | <b>Plan Check Fee : \$0.00</b> |           | <b>Fee Due at Permit Issuance : \$74.00</b> |          |

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION  
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m.



88.00

\* \$ R 0 0 1 3 4 3 1 9 4 9 \$ \*

2021000771247 11:12 am 12/28/21

65 PP2A G02 3

0.00 0.00 0.00 0.00 6.00 0.00 0.000.0075.00 0.00

RECORDING REQUESTED BY:

*Fidelity*

WHEN RECORDED MAIL TO:

777 Seaview Island LLC  
17870 CASTLETON ST #255  
CITY OF INDUSTRY, CA. 91748

**GRANT DEED**

APN NO.:423-081-07

THE UNDERSIGNED GRANTOR(s) DECLARE(s)  
Documentary transfer tax is \$ 0  
City Tax is \$0.00

- ( ) computed on full value of property conveyed or
- ( ) computed on the full value less liens of encumbrances remaining at the time of sale.
- ( ) Unincorporated area: (X) City of NEWPORT BEACH

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged:

TJ MERCURY INC., A DELAWARE CORPORATION

hereby GRANT(s) to

777 SEAVIEW ISLAND LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

The following real property in the City of NEWPORT BEACH , County of ORANGE, State of California, described as: LEGALE DESCRIPTION IS ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A"

commonly known as: 515 38th Street Newport Beach, CA 92663

See Exhibit A

"The grantors and the grantees in this conveyance are comprised of the same parties who continue to hold the same proportional interest in the property, R&T 11923(d)."

TJ Mercury Inc.

*[Signature]* \* a Delaware Corporation

JIANHUA JIN, PRESIDENT

Date: 12/22/2021

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA }  
COUNTY OF LOS ANGELES } ss.

On December 22, 2021 before me, Ernest Zuleta, Notary Public, personally appeared Jianhua Jin, who proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the



20211228077124742308107

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748



**HUGH NGUYEN**  
**CLERK-RECORDER**  
 601 N. Ross Street  
 Santa Ana, CA 92701  
 (714) 834-2500

# COUNTY OF ORANGE

## COURTESY NOTICE



**TODD SPITZER**  
**DISTRICT ATTORNEY**  
 300 N. Flower Street  
 Santa Ana, CA 92703  
 (714) 834-3600

TJ MERCURY INC  
 18555 FIELDBROOK ST  
 ROWLAND HEIGHTS, CA 91748

January 5, 2022

### **SUBJECT: PROPERTY RECORDING CONFIRMATION**

Dear Orange County Homeowner,

The Clerk-Recorder and the District Attorney of Orange County are working together to protect Orange County homeowners from potential fraudulent and illegal activities involving official property records.

This courtesy notice regarding a recent property recording transaction is being sent to you to ensure the legitimacy and accuracy of all records filed with the Clerk-Recorder.

**The Clerk-Recorder's records indicate that a document affecting the title to your real property was recently recorded. A copy of the first page of the document is enclosed for your reference.**

### **IF THE TRANSACTION IS CORRECT, NO ACTION IS REQUIRED ON YOUR PART.**

If you are unaware of this transaction, or suspect fraudulent or illegal activity, you may contact the Orange County District Attorney's Real Estate Fraud Unit by sending an email to [REFraud@da.ocgov.com](mailto:REFraud@da.ocgov.com) or by calling the Real Estate Fraud Hotline at (714) 664-3931. You may also fill out a Real Estate Fraud Complaint Form, which can be accessed at: [www.orangecountyda.org/howdoi/reportfraud.asp](http://www.orangecountyda.org/howdoi/reportfraud.asp). Click on the "Real Estate Fraud Report Form." Once you fill out the form, you will be able to submit it electronically by clicking "submit by email" at the bottom of the form. You will also have the option to print the form and mail it.

If you have any questions about real property records, please contact the Clerk-Recorder Department at (714) 834-2500. For more information regarding real property fraud, visit: [www.ocrecorder.com/services/documents/fraud](http://www.ocrecorder.com/services/documents/fraud).



# CONDADO DE ORANGE



**HUGH NGUYEN**  
**CLERK-RECORDER**  
601 N. Ross Street  
Santa Ana, CA 92701  
(714) 834-2500

## AVISO DE CORTESIA

**TODD SPITZER**  
**DISTRICT ATTORNEY**  
300 N. Flower Street  
Santa Ana, CA 92703  
(714) 834-3600

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748

January 5, 2022

### TEMA: CONFIRMACION DE REGISTRO DE PROPIEDAD DE BIENES RAICES

Querido Propietario de Bienes Raíces Dentro del Condado de Orange,

El Registro Civil del Condado (Clerk-Recorder) y el Fiscal del Condado de Orange (District Attorney) están trabajando juntos para proteger los propietarios de bienes raíces dentro del Condado de Orange de actividades potencialmente fraudulentas e ilegales involucrado los registros de propiedad de bienes raíces.

Este aviso de cortesía, con respecto a una transacción reciente de registro de propiedad de bienes raíces, se le está enviando para asegurar la legitimidad y la precisión de todos los registros archivados en la Oficina del Registro Civil del Condado de Orange.

Los registros de la Oficina del Registro Civil indican que un documento afectando la titularidad de sus bienes raíces fue recientemente registrado. Una copia de la primera página del documento está incluida para su referencia.

**SI ESTA TRANSACCION ESTA CORRECTA NINGUNA ACCION DE SU PARTE ESTA REQUERIDA.**

Si no está consciente de esta transacción, o sospecha actividades fraudulentas o ilegales, puede contactar la Unidad de Fraude de Bienes Raíces de la Fiscalía del Condado de Orange con un correo electrónico a [REFraud@da.ocgov.com](mailto:REFraud@da.ocgov.com) o llamando la Línea de Fraude de Bienes Raíces al (714) 664-3931. También puede completar el Formulario de Queja de Fraude de Bienes Raíces, que puede encontrar en la página web: [www.orangecountyda.org/howdoi/reportfraud.asp](http://www.orangecountyda.org/howdoi/reportfraud.asp). Presiona "Real Estate Fraud Report Form." Al terminar de completar el formulario, puede entregarlo electrónicamente presionando "submit by email" que aparece al final del formulario. También tiene la opción de imprimir el formulario y enviarlo por correo.

Si tiene alguna pregunta acerca de los registros de bienes raíces, favor de contactar al Registro del Condado al (714) 834-2500. Para más información acerca del fraude de bienes raíces, visite:

[www.ocrecorder.com/services/documents/fraud](http://www.ocrecorder.com/services/documents/fraud).





**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 718-1888  
newportbeachca.gov/civic  
Combination Type - **MFP**  
Work Class - **Other**



**COMB Permit : X2022-1748**

**Plan Check No : 2975-2018**  
Issued Date : 06/22/2022  
Final Date:  
Permit Status: Issued  
Inspection Area : 1

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE**  
**NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS**

**Job Address :** 515 36TH ST

**Legal Desc :** A TR CANAL SECTION BLK 536 LOT 8 CANAL SECTION LOT 8 BLK 536 (AND NELY1/2 LOT 7 BLK

**Description :** NEW DUPLEX & GARAGE 4082/422 SF \*CHANGE OF CONTRACTOR\*

**Owner :** TJ MERCURY INC  
**Address :** 18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748  
**Phone :**

**Contractor :** TOP STAR USA CONSTRUCTION INC  
**Address :** 4127 WALNUT GROVE APT A  
ROSEMEAD, CA 91770  
**Phone :** (626) 200-7598  
**Con State Lic :** 1067089  
**Lic Expire :** 07/31/2024  
**Bus Lic :** BT30074560  
**Bus Lic Expire :** 03/31/2024

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**Applicant :**  
**Address :**

**Workers' Compensation Insurance**  
**Carrier :** STATE COMPENSATION INSURANCE FUND  
**Policy No :** 9279884  
**W. C. Expire :** 7/11/2023

**Engineer :** AFZAL BEHZAD  
**Address :** 4000 BARRANCA PKWY #250  
IRVINE, CA 92604  
**Phone :** (949) 836-8298

**Phone :**

**Designer :**  
**Address :**

**Owner/Builder :**  
**Address :**

**Phone :**

**Phone :**

**Code Edition :** 2016  
**Type of Construction :** V-B  
**Occupancy Groups :** U,R-3  
**Bldg Height :**

**Fire Sprinklers :** YES  
**Fire Hazard Zone :** NO  
**No of Units :** 2  
**No of Stories :** 3

**Construction Valuation :**  
**Added/New/TI sq. ft. Bldg :** 0  
**Alteration sq. ft. Bldg :**  
**Added/New sq. ft. Garage :** 0  
**TOTAL sq. ft. :** 0

**Building Setbacks :** Front: 5, Front: 30, Side: 4, Side: 4  
**Flood Zone :** AE, 8 FT; X  
**Use Zone :** R-2 - Two-Unit Residential

**PROCESSED BY :** \_\_\_\_\_

**SPECIAL CONDITIONS:**

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
 By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name \_\_\_\_\_ Date \_\_\_\_\_

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403  | FOR OFFICE USE ONLY |
|--|------|----|--|---------------------|
| PERMIT EXPIRED                               |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO                                      |                     |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA   |                     |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD  |                     |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: |                     |

**PERMIT FEE DETAILS FOR PERMIT X2022-1748**

| Fee Name            |                                     | Fee Amount     | Fee Paid Amount    |                   |
|---------------------|-------------------------------------|----------------|--------------------|-------------------|
| Transaction Date    | Payment Method                      |                | Trans. Paid Amount | Paid By           |
| <b>Building</b>     |                                     |                |                    |                   |
|                     | <b>Building Permit Fee (Legacy)</b> | <b>\$38.00</b> | <b>\$38.00</b>     |                   |
| 06/22/2022          | CC EPL                              |                | \$38.00            | EnerGov Solutions |
| <b>GRAND TOTAL:</b> |                                     | <b>\$38.00</b> | <b>\$38.00</b>     |                   |



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
 www.newportbeachca.gov | (949) 644-3200

**BUILDING HEIGHT CERTIFICATION**

Project Street Address: 515 36th Street

Building Permit Number(s): \_\_\_\_\_

As the surveyor of record for the project at the above address, I hereby certify that I have reviewed the City of Newport Beach approved plan and original topographic survey and based the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on:  NAVD88       NGVD29       Assumed

*Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.*

*RIDGES (3:12 slope or greater)*

1. Approved elevation point of ridge is 38.00 and actual elevation point is 38.00.
2. Approved elevation point of ridge is 38.00 and actual elevation point is 37.99.
3. Approved elevation point of ridge is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.

*FLAT ROOFS, PARAPETS AND GUARDRAILS*

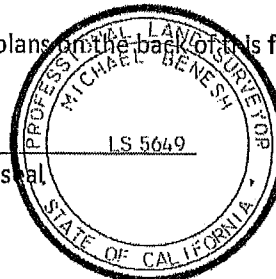
1. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
2. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
3. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.

I certify that the above height measurements are correct and the above project:

- IS in compliance with the City-approved plans.  
 IS NOT in compliance with the City-approved plans (Provide explanation).

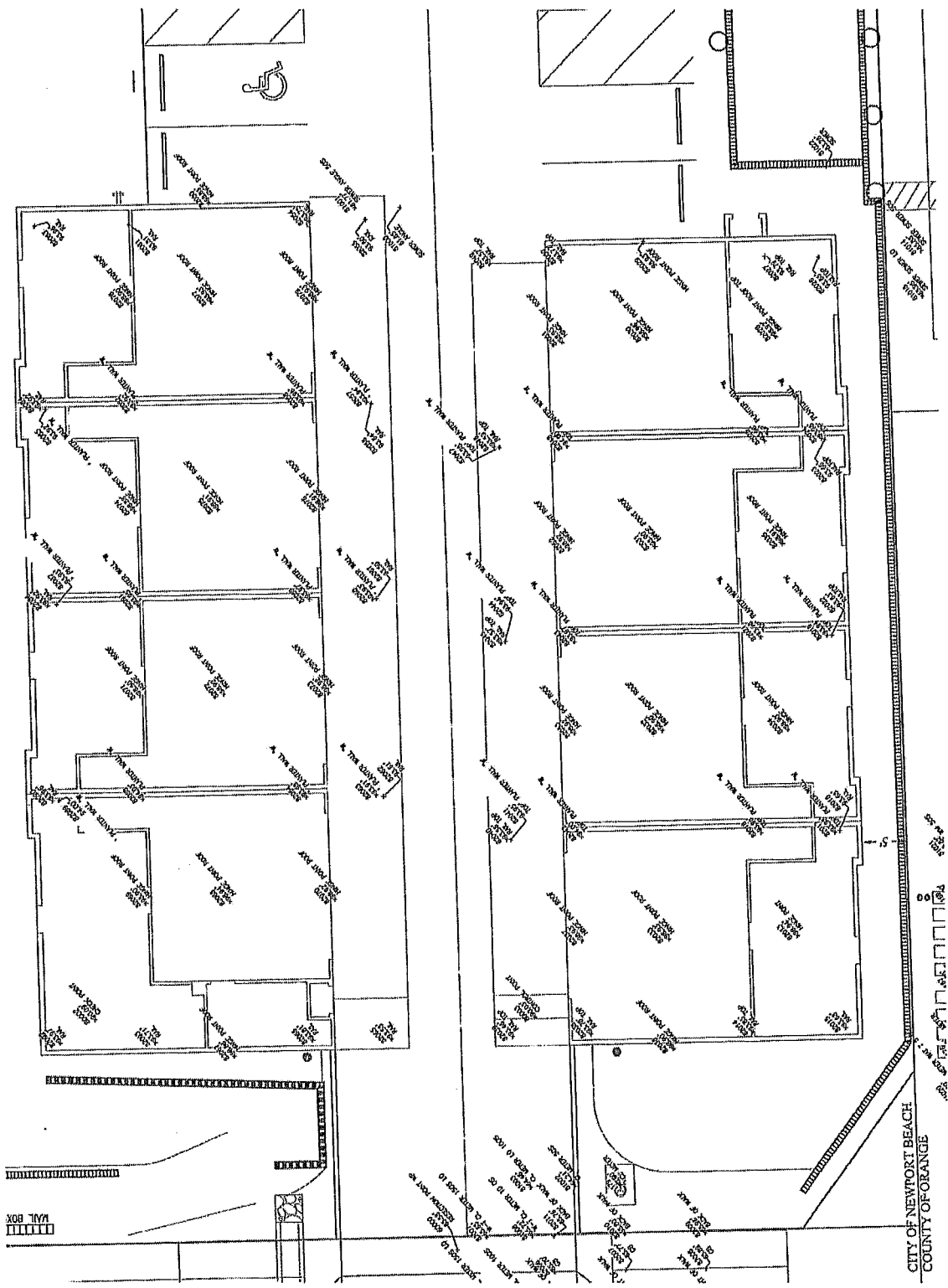
Please describe any deviation from the City-approved plans on the back of this form.

Surveyor or Civil Engineer's\* signature and seal  
 (Wet stamp and signature required)

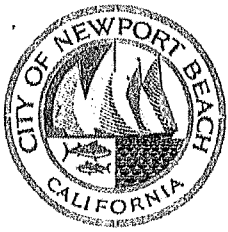


5/2/24  
 Date

\* License number of 33965 or lower



CITY OF NEWPORT BEACH  
 COUNTY OF ORANGE



**CITY OF NEWPORT BEACH**  
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Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on:  NAVD88       NGVD29       Assumed

*Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.*

*RIDGES (3:12 slope or greater)*

1. Approved elevation point of ridge is 38.00 and actual elevation point is 38.00.
2. Approved elevation point of ridge is 38.00 and actual elevation point is 37.99.
3. Approved elevation point of ridge is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.


*FLAT ROOFS, PARAPETS AND GUARDRAILS*

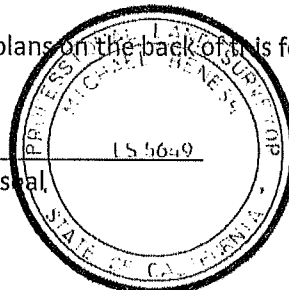
1. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
2. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.
3. Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_.

I certify that the above height measurements are correct and the above project:

- IS in compliance with the City-approved plans.  
 IS NOT in compliance with the City-approved plans (Provide explanation).

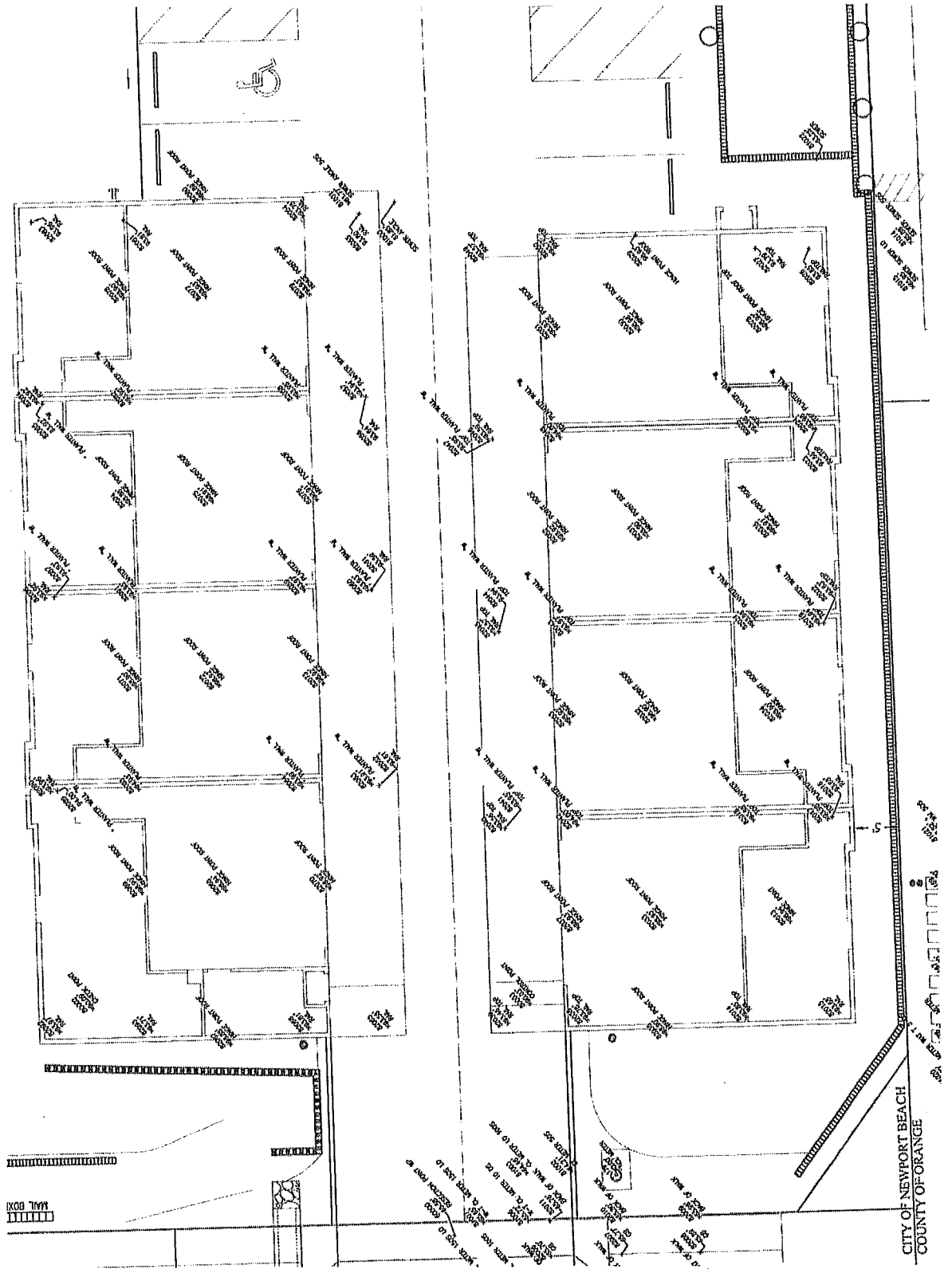
Please describe any deviation from the City-approved plans on the back of this form.

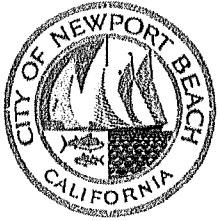
  
 Surveyor or Civil Engineer's\* signature and seal  
 (Wet stamp and signature required)



5/2/24  
 Date

\* License number of 33965 or lower





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Michael Benesh License # LS 5649

Engineer/Surveyor's Address 3100 Airway Avenue, Suite 124, Costa MEsa, CA 92626

Job Address 515 36th Street

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* Top of slab/floor elevation: 9.16

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

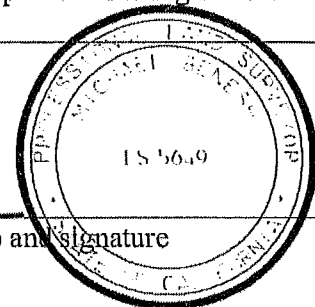
I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

4/24/23

Date

Engineer/Surveyor's stamp and signature



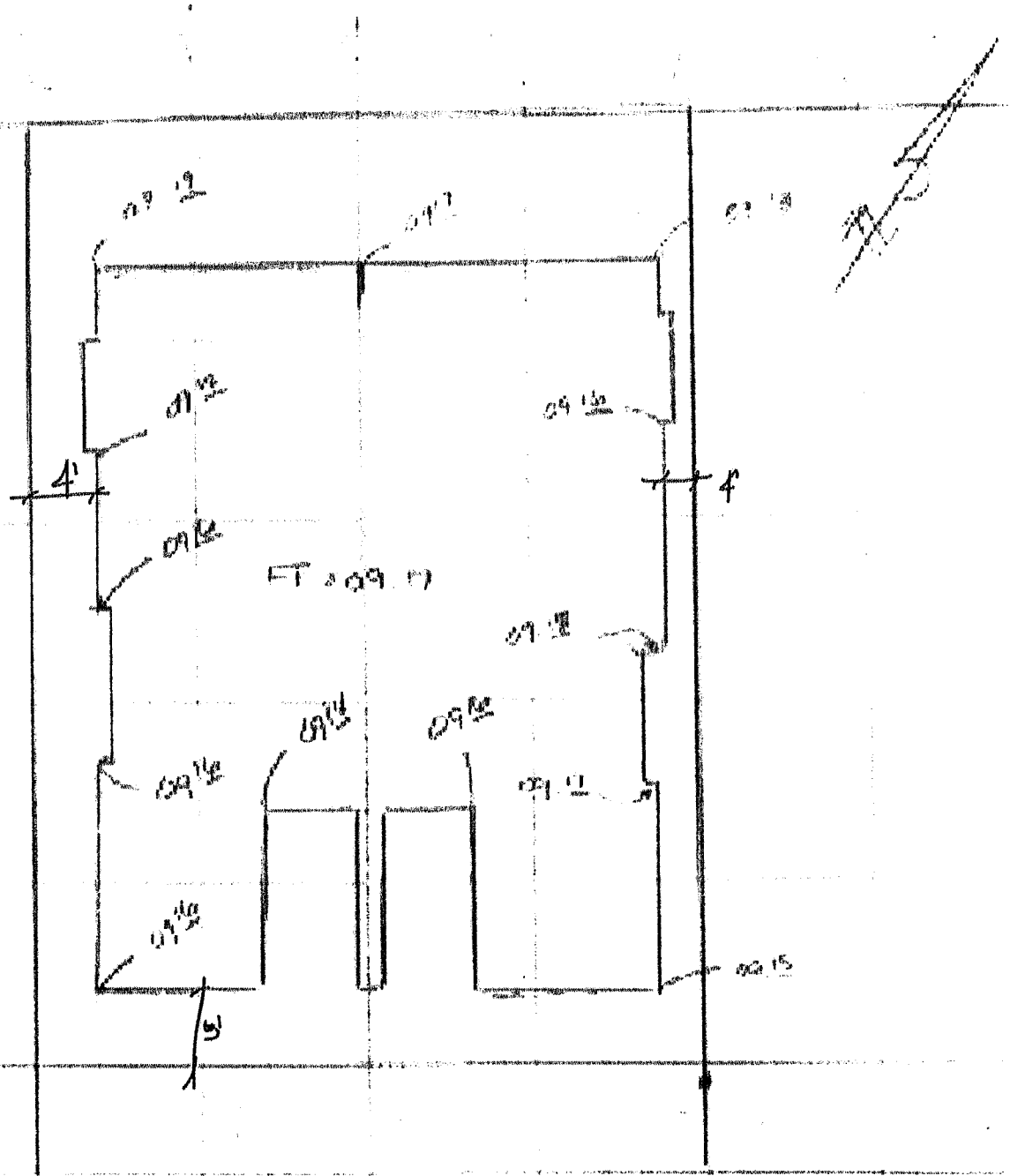




# GUIDA SURVEYING INC.

CREW                       
 GUIDA JOB NUMBER                       
 JOB DESCRIPTIONS:                     

PAGE 1 of 1  
 DATE                     





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

### CIVIL ENGINEER'S CERTIFICATION FORM

From: Robin B. Hamers & Associates, Inc

Date:

3100 Airway Avenue, Suite 124

6/15/22

Costa Mesa, CA

**ATTENTION: GRADING ENGINEER, BUILDING DIVISION**

GPC No.: \_\_\_\_\_ Tract/Subdivision/Lot No.: \_\_\_\_\_ Rough: X Final: \_\_\_\_\_

Project Names: 515 36th Street

Owner/Developer: Jack Guo

**Type of Project:**

\_\_\_ Tract: \_\_\_\_\_ Drainage  
\_\_\_ Commercial x Other  
\_\_\_ Industrial

Notes: Pad Grade Certification

**Yardage for Project:**

\_\_\_ Cut: \_\_\_\_\_ Borrow:  
\_\_\_ Fill: \_\_\_\_\_ Export:

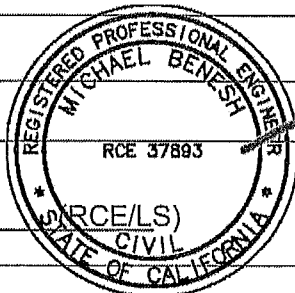
Notes: Pad is elevation 6.8 instead of 8.09 shown on plan due to 24" mat slab

I hereby approve the grading for this project in accordance with my responsibilities under the City Grading Code. I have inspected the project and hereby certify that all areas exhibit positive surface flow to public ways or City approved drainage devices. The grading has been completed: \_\_\_\_\_ in conformance with, XX with the following changes to the approved grading plan.

Description of Changes: Pad grade was changed to 6.8 to accommodate 24" thick mat slab shown on the structural plans.

Company: \_\_\_\_\_

Name: Michael Benesh  
(print)



[Signature]  
(sign)

License No.: RCE 37893



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

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### PRE-GRADE MEETING AGREEMENT

DATE: 5-19-22 JOB ADDRESS: 515 36<sup>th</sup> St

1. The grading plan check number for this site is X2019-3856 and will be referred to in all reports, certifications and correspondence.
2. **STOP ORDERS** Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
3. The stamped set of approved plans shall be on the job site at all times.
4. **NOTIFICATION OF NONCOMPLIANCE** If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
5. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
6. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inlets internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
7. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1557 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
8. All trench (including interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
9. Whenever work on which required inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
10. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
11. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.

12. The permittee or his agent shall notify the Building Division when the grading operation is ready for each of the following inspections:
  - a. **PRE-GRADE MEETING** When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.
  - b. **DRAINAGE DEVICE INSPECTION** After forming of terrace drains, down drains or after placement of pipe in subdrains, but before any concrete or filter material is placed.
  - c. **SPECIAL**
  - d. **ROUGH GRADING** When all rough grading has been completed, the rough grade report shall be provided to the Building Inspector at foundation inspection or sooner based on the Building Inspector's discretion.
  - e. **FINAL** When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan, professional approvals and the required reports have been submitted.
13. All footing excavations, slab on grade areas and subdrains shall be inspected and approved by the Geotechnical Engineer or Engineering Geologist. Written approval shall be submitted to the Building Inspector.
14. Prior to the start of grading, all permanent property corner monuments shall be in place. Prior to any foundation inspections, proof of recordation of the "corner record" or "record of survey" with the County of Orange shall be provided.
15. The undersigned acknowledge a copy of the above and agree to comply with the Grading Code of the City of Newport Beach, the recommendations of the project soils report and any special requirements of the permit.
16. Prior to foundation inspection a Line and Grade Certificate Form must signed and stamped by the surveyor of record and submitted to the building inspector. A Structural Observation Report may be required.
17. All parties listed below must be present for the pregrade meeting unless approved by the building inspector.
18. All duplex construction requires separate utilities (sewer, water, gas, electrical, fire sprinkler risers).

OWNER/CONTRACTOR: Top Star USA Construction DESIGN CIVIL ENGR.: Mike Benesh

By: \_\_\_\_\_ By: \_\_\_\_\_  
 Address: 101 South Cordova St. Alhambra Address: 234 E 17th St. C/M  
 Telephone: 626 200 7598 Telephone: 949-548-1192

GEOTECHNICAL ENGINEER: SAEED SHAHIN GEOLOGIST.: \_\_\_\_\_  
 By: PROFESSIONAL ENGINEERS CONSULTING By: \_\_\_\_\_  
 Address: 25422 TRABULORA #105 LAKE FOREST Address: \_\_\_\_\_  
 Telephone: 949-768-3643 Telephone: \_\_\_\_\_

GRADING CONTR.: Tim Gice/raf COORDINATOR: Sam Farsoni (owner)  
 By: Jenallian Aguilar By: \_\_\_\_\_  
 Address: 16652 Burke Ln Address: \_\_\_\_\_  
 Telephone: 714 847 2700 Telephone: (949) 244-2603

NEWPORT BEACH REPRESENTATIVE: Jason Rudenich PHONE #: 949-644-3262

INSPECTION REQUESTS: (949) 644-3255

**Newport Beach Construction Hours:**  
 Monday through Friday: 7:00 a.m. to 6:30 p.m.  
 Saturdays: 8:00 a.m. to 6:00 p.m.  
 No work on Sundays and Holidays

SHEET 1 OF 1  
DATE OF SURVEY: APRIL 25, 2022  
SCALE: 1" = 30'

# RECORD OF SURVEY NO. 2022-1063

## IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SURVEY OF LOT 8 AND THE NORTHEAST HALF OF LOT 7, BLOCK 536, MAP OF CANAL SECTION, NEWPORT BEACH, AS SHOWN ON A MAP THEREOF, FILED IN BOOK 4, PAGE 98, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.

ROBIN B. HAMERS & ASSOC., INC. MICHAEL BENESH, L.S. 5649

ACCEPTED AND FILED AT THE  
REQUEST OF  
THE ORANGE COUNTY SURVEYOR'S OFFICE

DATE: December 6, 2022  
TIME: 6:24 PM FEE \$ 01  
INSTRUMENT NO. 2022000399379  
BOOK 380 PAGE 36 P.15

HUGH NGUYEN  
COUNTY CLERK-RECORDER

BY: *[Signature]*  
DEPUTY

### REFERENCES:

- ( ) INDICATES RECORD OR CALC'D PER NOTED REFERENCE
- R1 INDICATES RECORD OR CALC'D PER MAP OF CANAL SECTION, NEWPORT BEACH, MM 4/98
- R2 INDICATES RECORD OR CALC'D PER PM NO. 2009-117, PMB 370/48-49
- R3 INDICATES RECORD OR CALC'D PER RS NO. 2013-1103, RSB 268/29
- R4 INDICATES RECORD OR CALC'D PER CR 2017-3100
- R5 INDICATES RECORD OR CALC'D PER UNFILED RECORD OF SURVEY NO. 2019-1162
- R6 INDICATES RECORD OR CALC'D PER UNFILED CR 2019-0805
- R7 INDICATES RECORD OR CALC'D PER UNFILED CR 2019-0808
- R8 INDICATES RECORD OR CALC'D PER CR 2005-1163
- R9 INDICATES RECORD OR CALC'D PER RS 2012-1009, RSB 257/8
- R10 INDICATES RECORD OR CALC'D PER RS 2005-1192, RSB 289/42
- R11 INDICATED RECORD OR CALC'D PER RS NO. 2021-0164, RSB 325/40
- R12 INDICATED RECORD OR CALC'D PER CR 2013-2852
- M & R INDICATES MEASURED AND RECORD PER REFERENCE NOTED

### MONUMENT NOTES:

- FOUND MONUMENT AS NOTED
- SET EPOXIED TAG STAMPED "LS 5649" ON CONCRETE WALL.
- SET LEAD, TACK & TAG STAMPED "LS 5649" 1.00' ON PL PROD.
- ① FOUND NAIL AND WASHER ILLEGIBLE, FLUSH, ACCEPTED AS NAIL & TAG "LS 4125" PER R3 CENTERLINE INTERSECTION OF FINLEY AVENUE & 36TH STREET.
- ② FOUND SPIKE AND WASHER STAMPED "LS 8133" FLUSH, NO REFERENCE. FITS TIES PER R6, ACCEPTED AS CENTERLINE INTERSECTION OF 36TH STREET & SHORT STREET.
- ③ FOUND SPIKE AND WASHER STAMPED "LS 8133" FLUSH, NO REFERENCE. FITS TIES PER R6, ACCEPTED AS CENTERLINE INTERSECTION OF SHORT STREET & ALLEY.
- ④ FOUND SPIKE AND WASHER STAMPED "LS 8133" FLUSH, NO REFERENCE. FITS TIES PER R7, ACCEPTED AS CENTERLINE INTERSECTION OF 36TH STREET & SHORT STREET.
- ⑤ FOUND GEAR SPIKE AND WASHER STAMPED "LS 4184" FLUSH, PER R8, ACCEPTED AS CENTERLINE INTERSECTION OF 35TH STREET & FINLEY STREET.
- ⑥ FOUND SPIKE & WASHER STAMPED "LS 4184", FLUSH, PER R8, ACCEPTED AS CENTERLINE INTERSECTION OF FINLEY AVENUE & ALLEY.
- ⑦ FOUND LEAD, TACK AND TAG STAMPED "LS 6921", FLUSH IN CONCRETE IN LIEU OF EPOXIED TAG STAMPED "LS 6921" PER R11.
- ⑧ FOUND LEAD, TACK AND TAG STAMPED "LS 6921", FLUSH IN CONCRETE AT 4.75' PL PROD PER R11.
- ⑨ FOUND LEAD, TACK AND TAG STAMPED "PLS 8516" FLUSH ON SIDEWALK, PER R5, ACCEPTED AS S37°14'08"E, 1.00' OFFSET FROM THE MOST SOUTHERLY CORNER OF LOT 6, BLOCK 536 OF R1 PER R5.
- ⑩ FOUND LEAD, TACK AND TAG STAMPED "PLS 8516" FLUSH ON SIDEWALK, PER R5, ACCEPTED AS S37°14'18"E, 1.00' OFFSET MEASURED ALONG THE PROPERTY LINE PROJECTED FROM THE NORTHEASTERLY CORNER OF THE SOUTHEASTERLY HALF OF LOT 7, BLOCK 536 OF R1 PER R5.
- ⑪ FOUND TAG STAMPED "LS 8516" EPOXIED FLUSH IN SIDEWALK, IN LIEU OF LEAD, TACK AND TAG, STAMPED "LS 8516" PER R4, ACCEPTED AS SOUTHWESTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.
- ⑫ FOUND LEAD, TACK AND TAG STAMPED "PLS 8516" ON TOP OF WALL PER R4, ACCEPTED AS N26°26'37"W 0.51' OFFSET FROM THE NORTHEASTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.
- ⑬ FOUND LEAD, TACK AND TAG STAMPED "PLS 8516" ON TOP OF WALL PER R4, ACCEPTED AS N120°55'E 0.81' (N07°48'36"E 0.71' R4) OFFSET FROM THE NORTHWESTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.

### STATEMENT OF PURPOSE:

THE PURPOSE OF THIS SURVEY IS TO RE-ESTABLISH AND RE-MONUMENT THE PROPERTY LINES OF LOT 8 AND THE NORTHEAST HALF OF LOT 7, BLOCK 536, MAP OF CANAL SECTION, NEWPORT BEACH, AS SHOWN ON A MAP THEREOF, FILED IN BOOK 4, PAGE 98, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.

### BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF 36TH STREET, HAVING A BEARING OF NORTH 82°45'57" EAST, AS PER R3.

### SURVEYOR'S NOTE:

THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINGUISH BORDER) OF THIS MAP AS ESTABLISHED HEREON.

### ESTABLISHMENT NOTES:

- (A) ESTABLISHED THE CENTERLINE INTERSECTION OF FINLEY AVENUE AND THE RIGHT-OF-WAY LINE OF THE RIALTO CHANNEL, 100 FEET WIDE, BY HOLDING RECORD BEARING DISTANCE ALONG THE CENTERLINE OF FINLEY AVENUE FROM THE CENTERLINE INTERSECTION OF FINLEY AVENUE AND 36TH STREET PER MONUMENT NO. 1. CENTERLINE OF FINLEY AVENUE ESTABLISHED BY MONUMENT NOS. 1, 5 & 6.
- (B) SEARCHED FOUND NOTHING. CORNER ESTABLISHED AT RECORD DISTANCE PER R11.
- (C) SEARCHED FOUND NOTHING. MONUMENT LOST AFTER NEW STUCCO FINISH ON WALL CORNER ESTABLISHED AT RECORD DISTANCE PER R11.
- (D) SEARCHED FOUND NOTHING. MONUMENT LOST DURING CONSTRUCTION. ESTABLISHED AT 15 FEET FROM THE NORTHWESTERLY CORNER OF LOT 8 PER R1.
- (E) SEARCHED FOUND NOTHING. ESTABLISHED AT RECORD DISTANCE 60.00 FEET FROM THE MOST NORTHERLY CORNER OF LOT 10 PER R1.
- (F) ESTABLISHED THE CENTERLINE INTERSECTION OF SHORT STREET AND RIGHT-OF-WAY LINE OF THE RIALTO CHANNEL, 100 FEET WIDE, BY HOLDING RECORD BEARING AND DISTANCE ALONG THE CENTERLINE OF SHORT STREET FROM THE CENTERLINE INTERSECTION OF SHORT STREET AND 36TH STREET PER MONUMENT NO. 2. CENTERLINE OF SHORT STREET ESTABLISHED BY MONUMENT NOS. 2 & 3.
- (G) SEARCHED FOUND NOTHING. ESTABLISHED AT RECORD DISTANCE 45.00 FEET FROM THE MOST EASTERLY CORNER OF THE SOUTHWEST HALF OF LOT 7, BLOCK 536 OF R1 PER R5.

### LINE DIMENSION TABLE:

- L1 N37°13'21"W 230.28' M & R2, R8, R11 (230.00' R1)(230.30' R4, R5, R9, R10)
- L2 N37°13'21"W 115.16' M & R3, R9, R11 (115.00' R1)(115.14' R2, R6)(115.05' R10)
- L3 N37°13'21"W 115.12' M & R3, R10, R11 (115.00' R1)(115.14' R2, R6, R9)
- L4 N52°45'57"E 15.00' M & R4, R5, R11
- L5 N52°45'57"E 30.01' M & R11 (30.00' R1)
- L6 N52°45'57"E 30.00' M & R1
- L7 N52°45'57"E 30.00' M & R1, R11 (30.01' R4)
- L8 N52°45'57"E 29.95' M & R11 (30.00' R1 & R4)
- L9 N52°45'57"E 30.01' (30.00' R1)
- L10 N37°13'04"W 230.12' M & R11 (230.09' R2, R5, R8)
- L11 N37°13'04"W 115.10' (115.00' R1)(115.05' R2)(115.08' R6)(115.06' R12)
- L12 N37°13'04"W 115.02' (115.00' R1)(115.04' R2, R8)

### SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF SEAVIEW ISLAND LLC, IN APRIL, 2022.

*[Signature]*  
MICHAEL BENESH  
L.S. 5649  
DATE 11/18/2022

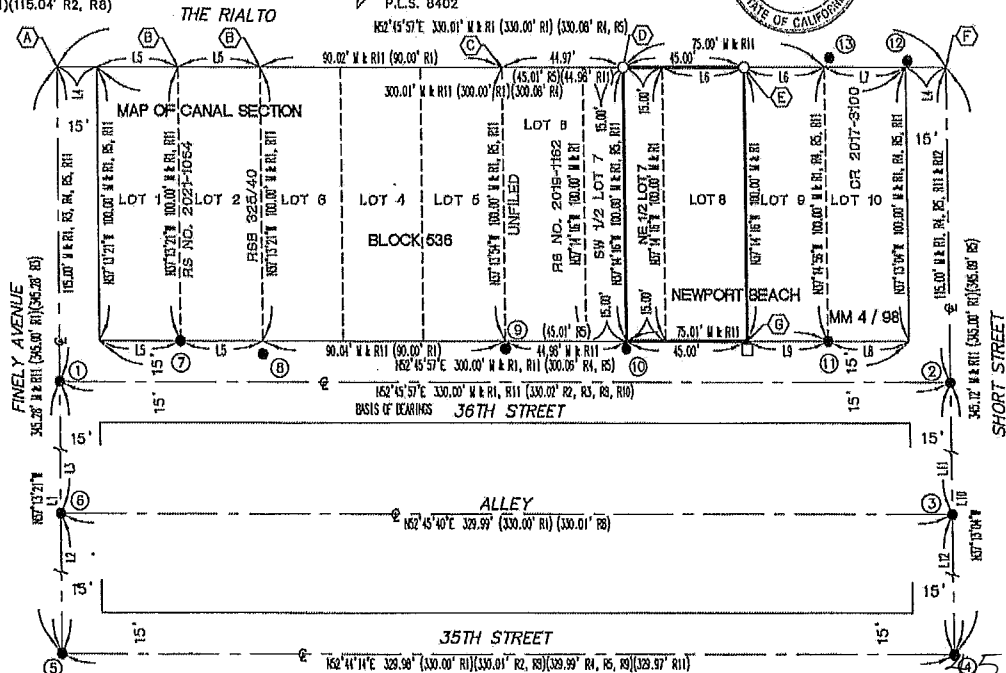


### COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 22<sup>ND</sup> DAY OF NOVEMBER, 2022.

KEVIN R. HILLS, COUNTY SURVEYOR  
L.S. 6617

*[Signature]*  
LILY M. SANDBERG, DEPUTY COUNTY SURVEYOR  
P.L.S. 8402



330  
360



# County of Orange

OC Public Works

Main Office  
601 North Ross Street  
Santa Ana, CA, 92701  
714-607-8888

## Submission Summary

### Project

**Project OCID :** OC22-32723  
**Project Name :** 515 26th Street, Newport Beach  
**Project Description :** Boundary Survey

### Map Application

#### SRS.20220071:Record of Survey

**Enter Issued RS Number :** 2022-1063  
**Legal Description :** CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536 TR 164  
**Jurisdiction :** Cities  
**Record Of Survey Type :** Monument Preservation/ Replacement  
**Cities :** Newport Beach  
**Type :** Record of Survey Processing  
**Number of Sheets :** 1  
**Application Comments :**

### Location

515 36TH ST, NEWPORT BEACH

### Contact

| Name                      | Phone          | Email                  | Address  | Type              | FRP |
|---------------------------|----------------|------------------------|--|-------------------|-----|
| Dawn Saidi                | 949-548-1192   | dsaidi@robhamers.com   | 234 E. 17th St. Suite<br>205 Costa Mesa CA<br>92627            | Applicant         | No  |
| 777 Seaview Island<br>LLC | (626) 810-2307 | liliana@lancerusa.com  | 17870 Castleton St.,<br>Suite 255 City of<br>Industry CA 91748 | Owner             | Yes |
| Michael Benesh            | (949) 548-1192 | mlbenesh@robhamers.com | 235 e. 17th street, suite<br>205 Costa Mesa CA<br>92627        | Surveyor/Engineer | No  |

### Attachment



# County of Orange

OC Public Works

Main Office  
601 North Ross Street  
Santa Ana, CA, 92701  
714-607-8888

| Name  | File Name                    |
|---|------------------------------|
| 1st Reference Maps  | Reference Maps 2022-1063.pdf |
| 1st Submittal Record of Survey                                | RS 2022-1063.pdf             |
| 1st GPS Horizontal Control Data Sheets                        |                              |
| 1st Traverse Closures   | CLOSURES RS 2022.txt         |
| Digital Submittal (AutoCAD)                                   |                              |
| 1st All Other documents – Combined as single research package |                              |

## Declaration

By submitting this application, I agree:

1. To the best of my knowledge that the information I have presented on this form and attached materials is true and correct and the County of Orange makes no representations regarding such information; and
2. To indemnify, defend and hold harmless the County of Orange, its officers, employees and representatives from any claim or litigation arising from or related to the submission of this application or any actions taken on the basis of this application; and
3. That I am subject to the fees, deposits, and charges as identified in the County's current fee schedules as approved by the County of Orange Board of Supervisors; including, any Road Fee Program annual rate adjustments due at the time of permit issuance as authorized per Resolution #14-053.
4. Applicant shall, at its own expense, defend, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, Subdivision Committee, Director of OC Public Works, or Deputy Director of OC Development Services concerning this application. The County may, at its sole discretion, participate in the defense of any action, at the applicant's expense, but such participation shall not relieve applicant of his/her obligations under this condition. Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required to pay as a result of such action.

If litigation is filed challenging the Project, the County may, at its sole discretion, require the Applicant to post a bond, enter into an escrow agreement, obtain an irrevocable letter of credit from a qualified financial institution, or provide other security, to the satisfaction of the County, in anticipation of litigation and possible attorney's fee awards. The County shall promptly notify the applicant of any such claim, action or proceeding.

Name : Michael Benesh



# County of Orange

OC Public Works

Main Office  
601 North Ross Street  
Santa Ana, CA, 92701  
714-607-8888

Date : 05/10/2022



SHEET 1 OF 1  
DATE OF SURVEY: APRIL 25, 2022  
SCALE: 1" = 30'

# RECORD OF SURVEY NO. 2022-1063 IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SURVEY OF LOT 8 AND A PORTION OF LOT 7, BLOCK 536, MAP OF CANAL SECTION, NEWPORT BEACH, AS SHOWN ON A MAP THEREOF, FILED IN BOOK 4, PAGE 98, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.

ROBIN B. HAMERS & ASSOC., INC. MICHAEL BENESH, L.S. 5649

ACCEPTED AND FILED AT THE  
REQUEST OF  
THE ORANGE COUNTY SURVEYOR'S OFFICE

DATE: \_\_\_\_\_  
TIME: \_\_\_\_\_ FEE \$ \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_  
BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
HUGH NGUYEN  
COUNTY CLERK-RECORDER  
BY: \_\_\_\_\_  
DEPUTY

### REFERENCES:

- ( ) INDICATES RECORD OR CALC'D PER NOTED REFERENCE
- R1 INDICATES RECORD OR CALC'D PER MAP OF CANAL SECTION, NEWPORT BEACH, MM 4/98
- R2 INDICATES RECORD OR CALC'D PER PM NO. 2009-117, PMB 370/48
- R3 INDICATES RECORD OR CALC'D PER RS NO. 2013-1103, RSB 288/29
- R4 INDICATES RECORD OR CALC'D PER CR 2017-3100
- R5 INDICATES RECORD OR CALC'D PER RS NO. 2018-1182, NOT YET FILED
- R6 INDICATES RECORD OR CALC'D PER CR 2019-0805, NOT YET FILED
- R7 INDICATES RECORD OR CALC'D PER CR 2019-0806, NOT YET FILED
- R8 INDICATES RECORD OR CALC'D PER CR 2005-1493
- R9 INDICATES RECORD OR CALC'D PER RS 2012-1009, RSB 257/3
- R10 INDICATES RECORD OR CALC'D PER RS 2005-1192, RSB 289/42
- R11 INDICATES RECORD OR CALC'D PER RS NO. 2021-0164, NOT YET FILED
- R12 INDICATES RECORD OR CALC'D PER CR 2013-2852

### MONUMENT NOTES:

- FOUND MONUMENT AS NOTED
- SET EXPIRED TAG STAMPED "LS 5649" ON CONCRETE WALL
- SET LEAD, TACK & TAG STAMPED "LS 5649" 1.00' ON PL PROD.
- ① FOUND NAIL AND WASHER ILLEGIBLE, FLUSH, ACCEPTED AS NAIL & TAG "LS 4125" PER R3 CENTERLINE INTERSECTION OF FINLEY AVENUE & 36TH STREET
- ② FOUND SPIKE AND WASHER STAMPED "LS B1337" FLUSH, FITS TIES PER R6. ACCEPTED AS CENTERLINE INTERSECTION OF 36TH STREET & SHORT STREET.
- ③ FOUND SPIKE AND WASHER STAMPED "LS B1337" FLUSH, FITS TIES PER R6. ACCEPTED AS CENTERLINE INTERSECTION OF SHORT STREET AND ALLEY.
- ④ FOUND SPIKE AND WASHER STAMPED "LS B1337" FLUSH, FITS TIES PER R7. ACCEPTED AS CENTERLINE INTERSECTION OF 35TH STREET & SHORT STREET.
- ⑤ FOUND GEAR SPIKE AND WASHER STAMPED "LS 4184" FLUSH, PER R6. ACCEPTED AS CENTERLINE INTERSECTION OF 35TH STREET & FINLEY STREET.
- ⑥ FOUND SPIKE & WASHER STAMPED "LS 4184", FLUSH, PER R6. ACCEPTED AS CENTERLINE INTERSECTION OF FINLEY AVENUE & ALLEY.
- ⑦ FOUND LEAD, TACK AND TAG STAMPED "LS 6921", FLUSH IN CONCRETE PER R11.
- ⑧ FOUND LEAD, TACK AND TAG STAMPED "LS 6921", FLUSH IN CONCRETE AT 4.75' PL PROD PER R11.
- ⑨ FOUND LEAD, TACK AND TAG STAMPED "PLS B5169" FLUSH ON SIDEWALK, PER R5. ACCEPTED AS S37°14'09"E, 1.00' OFFSET FROM THE MOST SOUTHERLY CORNER OF LOT 6, BLOCK 536 OF R1 PER R5.
- ⑩ FOUND LEAD, TACK AND TAG STAMPED "PLS B5169" FLUSH ON SIDEWALK, PER R6. ACCEPTED AS S37°14'30"E, 1.00' OFFSET MEASURED ALONG THE PROPERTY LINE PROJECTED FROM THE NORTHEASTERLY CORNER OF THE SOUTHEASTERLY HALF OF LOT 7, BLOCK 536 OF R1 PER R5.
- ⑪ FOUND TAG STAMPED "LS B516" EPOXIED FLUSH IN SIDEWALK, PER R4. ACCEPTED AS SOUTHWESTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.
- ⑫ FOUND LEAD, TACK AND TAG STAMPED "PLS B516" ON TOP OF WALL PER R4. ACCEPTED AS N26°26'37"W 0.51' OFFSET FROM THE NORTHEASTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.
- ⑬ FOUND LEAD, TACK AND TAG STAMPED "PLS B516" ON TOP OF WALL PER R4. ACCEPTED AS N12°08'55"E 0.81' OFFSET FROM THE NORTHWESTERLY CORNER OF LOT 10, BLOCK 536 OF R1 PER R4.

### STATEMENT OF PURPOSE:

THE PURPOSE OF THIS SURVEY IS TO RE-ESTABLISH AND RE-MONUMENT THE PROPERTY LINES OF LOT 8 AND A PORTION OF LOT 7, BLOCK 536, MAP OF CANAL SECTION, NEWPORT BEACH, AS SHOWN ON A MAP THEREOF, FILED IN BOOK 4, PAGE 98, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.

### BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF 36TH STREET, HAVING A BEARING OF NORTH 52°45'57" EAST, AS PER R2.

### SURVEYOR'S NOTE:

THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINCTIVE BORDER) OF THIS MAP AS ESTABLISHED HEREON.

### ESTABLISHMENT NOTES:

- (A) ESTABLISHED THE CENTERLINE INTERSECTION OF FINLEY AVENUE AND THE RIGHT-OF-WAY LINE OF THE RIALTO BY HOLDING RECORD BEARING DISTANCE ALONG THE CENTERLINE OF FINLEY AVENUE FROM THE CENTERLINE INTERSECTION OF FINLEY AVENUE AND 36TH STREET PER MONUMENT NO. 1. CENTERLINE OF FINLEY AVENUE ESTABLISHED BY MONUMENT NOS. 1, 4 & 10.
- (B) ESTABLISHED THE CENTERLINE INTERSECTION OF SHORT STREET AND RIGHT-OF-WAY LINE OF THE RIALTO CHANNEL BY HOLDING RECORD BEARING AND DISTANCE ALONG THE CENTERLINE OF SHORT STREET FROM THE CENTERLINE INTERSECTION OF SHORT STREET AND 36TH STREET PER MONUMENT NO. 2. CENTERLINE OF SHORT STREET ESTABLISHED BY MONUMENT NO. 2 & 3.
- (C) SEARCHED FOUND NOTHING. ESTABLISHED AT RECORD DISTANCE PER R11.
- (D) SEARCHED FOUND NOTHING. ESTABLISHED AT RECORD DISTANCE 45.00' FROM THE MOST NORTHERLY CORNER OF THE SOUTHWEST HALF OF LOT 7, BLOCK 536 OF R1 PER R5.
- (E) SEARCHED FOUND NOTHING. ESTABLISHED AT RECORD DISTANCE 46.00' FROM THE MOST SOUTHERLY CORNER OF THE SOUTHWEST HALF OF LOT 7, BLOCK 536 OF R1 PER R5.

### SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF \_\_\_\_\_ IN MAY, 2022.

MICHAEL BENESH  
L.S. 5649

5/09/2022

### COUNTY SURVEYOR'S STATEMENT:

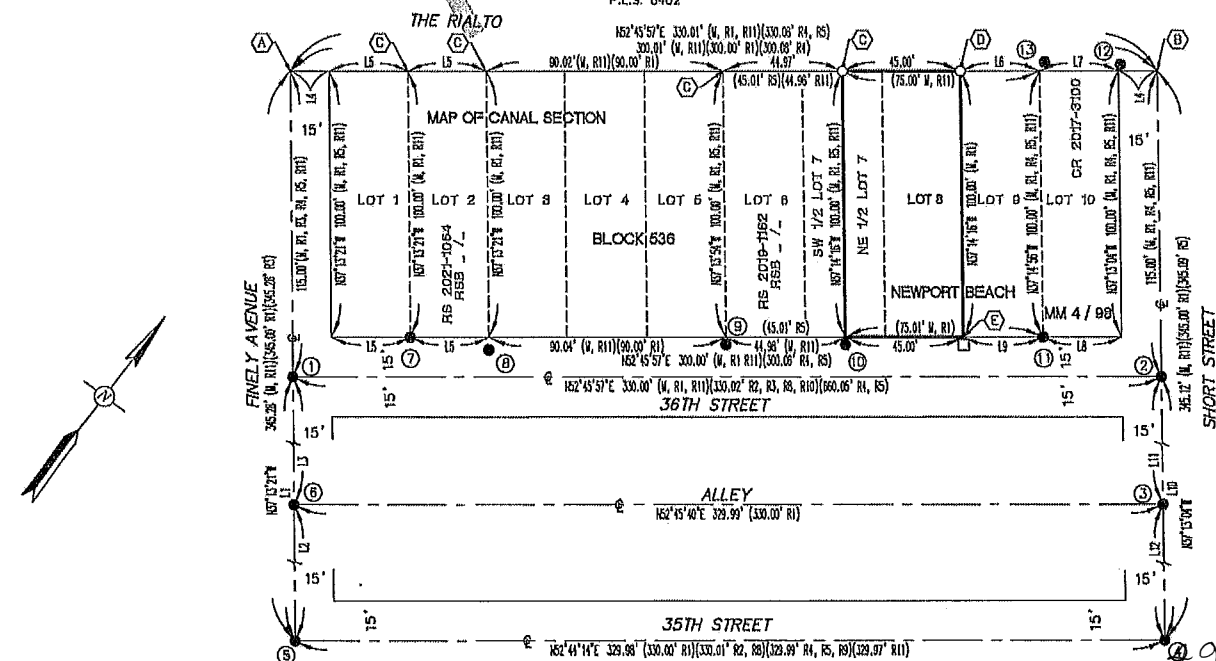
THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 0766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

KEVIN R. HILLS, COUNTY SURVEYOR  
L.S. 6617

BY: LILY H. N. SANDBERG, DEPUTY COUNTY SURVEYOR  
P.L.S. 0402

### LINE DIMENSION TABLE:

- L1 N37°13'21"W 230.28' (M, R2, R6, R11)(230.00' R1)(230.30' R4, R5, R10)(230.31' R9)
- L2 N37°13'21"W 115.18' (M, R3, R9, R11)(115.00' R1)(115.14' R2, R8)(115.08' R10)
- L3 N37°13'21"W 115.12' (M, R3, R10, R11)(115.00' R1)(115.14' R2, R8, R9)
- L4 N82°45'57"E 15.00' (M, R3, R4, R5, R11)
- L5 N82°45'57"E 30.01' (M, R11)(30.00' R1)
- L6 N52°45'57"E 30.00' (M, R1)
- L7 N52°45'57"E 30.00' (M, R1, R11)(30.01' R4)
- L8 N52°45'57"E 29.95' (M, R11)(30.00' R1&R4)
- L9 N52°45'57"E 30.01' (30.00' R1)
- L10 N37°13'04"W 230.12' (M, R11)(230.09' R2, R6, R8)
- L11 N37°13'04"W 115.10' (115.00' R1)(115.05' R2)(115.08' R6)(115.06' R12)
- L12 N37°13'04"W 115.02' (115.00' R1)(115.04' R2)



**PROFESSIONAL ENGINEERS CONSULTING, Inc.**

**GEOTECHNICAL**

**ENVIRONMENTAL**

**CIVIL**

**INSPECTION**

*25422 Trabuco Rd. #105*

*Lake Forest CA 92630*

*Phone 949-768-3693*

*pecigeo@gmail.com*

**COMPACTION  
REPORT**

**SITE:**

**515 36th Street  
Newport Beach, CA 92663**

**DATE:**

**June 9, 2022**

**Project Number:**

**SS0522**

**PREPARED FOR:**

**Mr. Sam Safai  
515 36th Street  
Newport Beach, CA 92663**

**PROFESSIONAL ENGINEERS CONSULTING, Inc.**

**GEOTECHNICAL ENVIRONMENTAL CIVIL INSPECTION**  
25422 Trabuco Rd. #105 Lake Forest, CA 92630 Phone 949-768-3693 pecigeo@gmail.com

June 9, 2022

Mr. Sam Safai  
515 36th Street  
Newport Beach, CA 92663

Dear Mr. Safai:

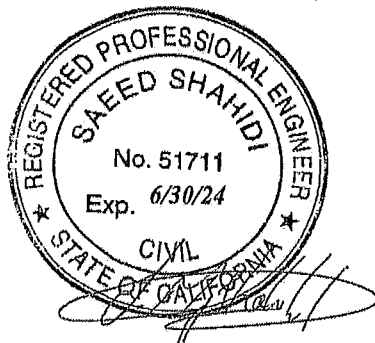
Professional Engineers Consulting, Inc. is pleased to present you this compaction report for your project at 515 36th Street, Newport Beach, CA 92663.

Based on the actual site condition, laboratory analyses, and our field observations, we are providing you a summary of geotechnical studies. All compaction tests passed at the minimum of 90% Maximum Dry Density.

This opportunity to be of professional service is greatly appreciated.

Respectfully Submitted,

Professional Engineers Consulting, Inc.



Saeed Shahidi  
Registered Civil Engineer

**TABLE OF CONTENTS**

|                                  |   |
|----------------------------------|---|
| INTRODUCTION                     | 1 |
| SITE LOCATION & DESCRIPTION      | 1 |
| EARTHWORK AND GROUND PREPARATION | 1 |
| LABORATORY COMPACTION CHARACTERS | 2 |
| FIELD TESTING                    | 2 |
| FILL TYPE                        | 3 |
| CONCLUSIONS AND RECOMMENDATIONS  | 3 |
| LIMITATIONS                      | 4 |
|                                  | 5 |
|                                  | 6 |
| <b>APPENDIX A</b>                |   |
| FIGURES                          |   |
| 1. SITE VICINITY MAP             |   |
| 2. SITE MAP                      |   |
| 3. DENSITY TESTS LOCATIONS       |   |
| <b>APPENDIX B</b>                |   |
| SUMMARY OF LABORATORY            |   |
| ANALYSIS                         |   |

PROFESSIONAL ENGINEERS CONSULTING, Inc.

*Compaction Report  
515 36th Street  
Newport Beach, CA 92663  
Project Number: SS0512*

Page 1 of 6

## **INTRODUCTION**

Professional Engineers Consulting, Inc, prepared this report to provide geotechnical inspection, grading observation, and field testing with respect to the earthwork that was performed within the property at 515 36th Street, Newport Beach, CA 92663.

## **SITE LOCATION & DESCRIPTION**

The subject lot is within the City of Newport Beach. The subject property is located at 515 36th Street, Newport Beach, CA 92663, on the north of Balboa Peninsula and south of Pacific Coast Highway.

The area in general is developed with residential structures. Currently, the site is vacant and the old building structure is demolished and removed.

## **PROPOSED DEVELOPMENT**

The purpose of this development is to construct a two story single resident home. Surface drainage will be controlled by sloped concrete flatwork earth swales and area drains will be designed to carry surface water to drain inside the property.

Should details involved in final design vary from those outlined above, this firm should be notified for review and possible revision of our recommendations. Otherwise we can not take any responsibility.

## **EARTHWORK AND GROUND PREPARATION**

All earthworks, including grading and site clearing were performed in accordance with all applicable requirements of the Grading Code of the City of Newport Beach, California.

Prior to the placement of compacted fill, the site was stripped and cleared of excess vegetation, debris, and other deleterious materials. The vegetation debris and trees cleared from the site were disposed of outside of the project limits.

The construction area was over excavated to 3.5 feet below grade.

Prior to the excavation, shorings were placed on the north and south property lines

Due to the shallow groundwater which was encountered at the bottom of the cavity, precautions are made to reinforce the subgrade by placing Geofabric (Tensar) at the bottom, followed by placing one foot of crushed rock gravel. The gravel then was covered by geotextile, followed by placing onsite soil for backfilling.

Prior to the placement of onsite soil,  $\pm 7\%$  cement was added to the soil and thoroughly mixed.

A registered Civil Engineer from this firm evaluated all removals, mixing and compactions.

### **COMPACTION PROCEDURES**

Onsite removed soil mixed with cement was placed in lifts varying from 6 to 8 inches in thickness. Moisture content of the soils was brought to at least optimum moisture or  $\pm 3\%$  greater. The materials were then compacted to a minimum of 90% of maximum dry density as determined in accordance with ASTM.

### **FIELD TESTING**

Compacted fills were tested at the time of placement to verify that the specified moisture content and relative density had been achieved by continuous monitoring

PROFESSIONAL ENGINEERS CONSULTING, Inc.

*Compaction Report  
515 36th Street  
Newport Beach, CA 92663  
Project Number: SS0512*

Page 3 of 6

and probing and by performing Field density tests. At least one in-place density test was taken for the compacted fill placed in every 1.5 feet in vertical height of backfilling. The actual number of tests taken per day varied with the project conditions, such as the number of equipments, availability of room for placing fill and compaction, and weather condition.

Between testing, water conditioning, mixing and placements our Registered Civil Engineer observed and periodically inspected the backfills to ensure a uniform compaction. When field density tests produced results less than our minimal standard (90 percent of maximum density or below optimum moisture content), or seemed below standard by inspection and probing, the approximate limits of the substandard fill were established. The substandard area was reworked, moisture conditioned and recompacted as necessary or they were removed, moisture conditioned and replaced as properly compacted fill.

### **LABORATORY TESTING**

Laboratory testing were performed during and immediately following grading to evaluate the moisture density relation of soils and to evaluate other soil characteristics for deign and construction. These laboratory tests included the following:

- Laboratory Maximum dry density and optimum moisture (ASTM D-1557)
- Field Density Tests

### **LABORATORY COMPACTION CHARACTERS**

This test method covers laboratory compaction procedures to determine the relationship between water content and dry unit weight of soils (ASTM Method D1557). A soil at a selected water content displaced in five layers into a mold of given dimensions, with each layer compacted by twenty five blows of a 10-lbf rammer dropped from a distance of 18 inch. The resulting unit weight is determined.

**PROFESSIONAL ENGINEERS CONSULTING, Inc.**

*Compaction Report  
515 36th Street  
Newport Beach, CA 92663  
Project Number: SS0512*

Page 4 of 6

The procedure is repeated for a sufficient number of water contents to establish a relationship between the dry unit weight and the water content of the soil. This data, when plotted, presents a curvilinear relationship known as the compaction curve. The values of optimum water content and modified maximum dry unit weight are determined from the compaction curve.

**REPORTING**

Our Registered Civil Engineer prepared daily field reports for the project, including density testing, job conditions for each day, and work areas within the site. A summary of all density tests taken for this project to date is presented in Density Test Summary Table.

**CONCLUSIONS & RECOMMENDATIONS**

Based on our field observations combined with the laboratory results, the fill placement and compaction of the pad incorporated all recommendations contained in our soil reports and also city of Newport Beach grading requirements.

Based on our professional opinion, all graded areas have been compacted to an indicated minimum 90% relative compaction.

**ALLOWABLE FOUNDATION PRESSURE**

The allowable foundation pressure value is 1,500 psf for footings having a minimum width and depth of 12 inches.

The above values are based on footings placed directly against compacted fill. In the case where footing sides are formed, all backfill against footings should be compacted to at least 90 percent of maximum dry density.



### **LATERAL RESISTANCE**

A passive earth pressure of 150 pounds per square foot per foot of depth may be used to determine lateral bearing resistance for footings. Lateral sliding resistance coefficient should be 0.25. The above values are based on footings placed directly against bedrock or compacted fill. In the case where footing sides are formed, all backfill against footings should be compacted to at least 90 percent of maximum dry density.

### **SETTLEMENT**

The majority of total and differential settlements are expected to occur during construction or shortly thereafter as building loads are applied. The proposed design calls for mat slab which will reduce the settlement. The cement treatment of the soil and placement of gravel, tensor, and Geofabric reduced the settlement significantly. However, due to the liquefaction character of the soil which is common in the area, in case of any ground shaking, some small seismically induced settlements may be occurred. We recommended conservative design value to be provided by the structural engineer.

### **GEOTECHNICAL OBSERVATION & TESTING**

Typically, several observations and testing are recommended throughout the construction, we cannot accept any responsibility unless we are given the opportunity to inspect and make proper recommendations and certification. Usual inspections are as follow:

1. Footing trenches excavation
2. Detention basin installation
3. When any unusual soil conditions are encountered during any operation subsequent to this report or requested by the city

PROFESSIONAL ENGINEERS CONSULTING, Inc.

*Compaction Report  
515 36th Street  
Newport Beach, CA 92663  
Project Number: SS0512*

Page 6 of 6

**LIMITATIONS**

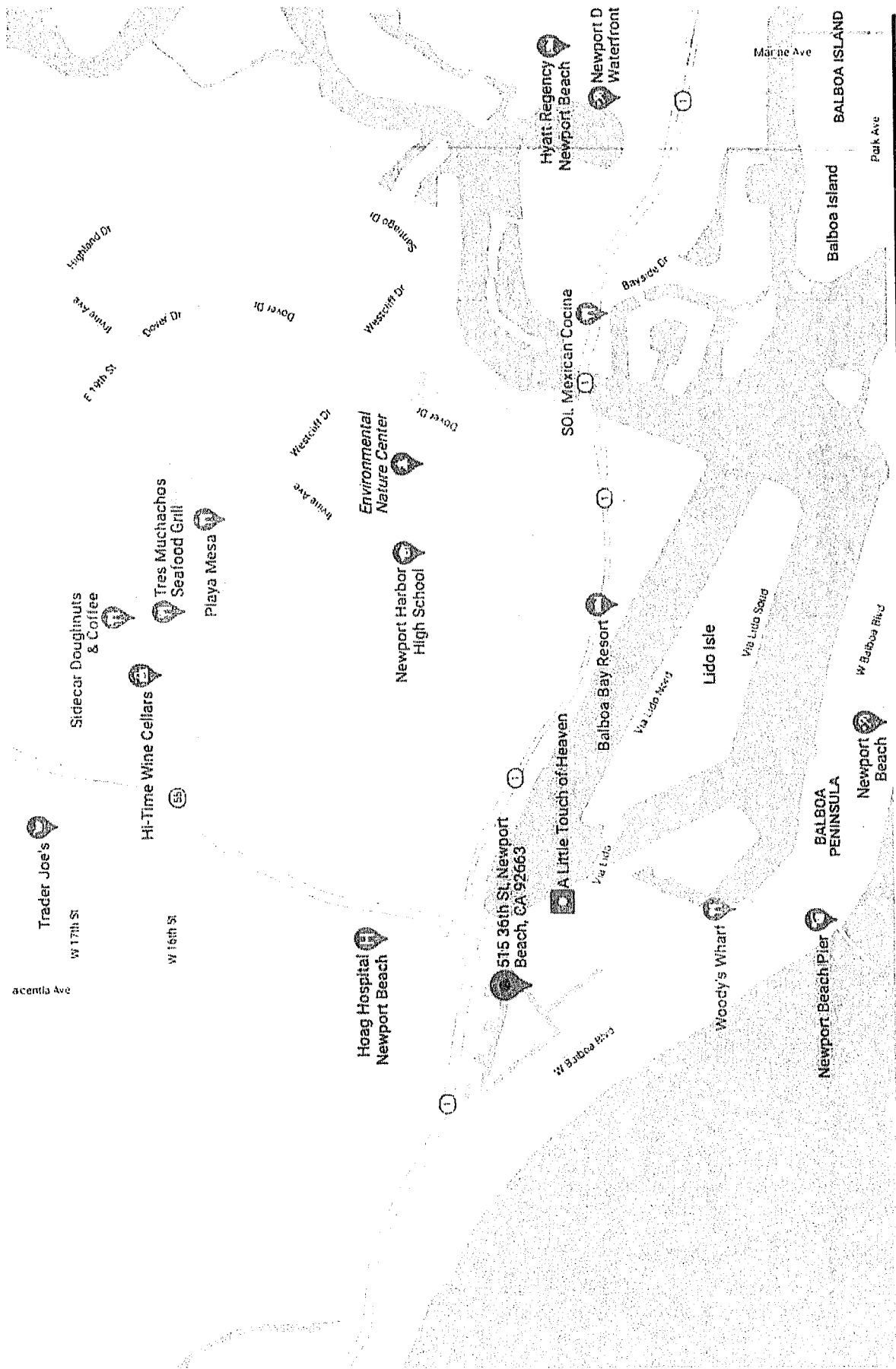
The geotechnical assessment activities presented in this report have been conducted in accordance with current practice and the standard of care exercised by geotechnical consultants performing similar tasks in this area.

No warranty, expressed or implied, is made regarding the conclusions, professional opinions, and recommendations expressed in this report. The conclusions are based solely upon an analysis of the conditions as observed by our personnel and as reported to use by regulatory agencies and other named sources are and also based on surface and subsurface conditions present and our present state of geotechnical knowledge. They are not meant to imply a control of nature. If actual conditions differ from those described in this report, our office should be notified.

The usage of this report in any independent form cannot be approved unless specific, written verification of the applicability of the recommendations is obtained from our firm.

The services provided in this report are only to provide geotechnical characteristics of the subsurface, based on our field data and observations only and also the actual public documents that are available by the city of Newport Beach and following the ASTM standards. By accepting this report, client will agree that we are not responsible for reviewing any private investigation that may have been performed at the site or surroundings and not released to public agencies, particularly by the Homeowner association or leading property management company. We take no responsibility for any matter that is not disclosed to us prior or during our studies.

**APPENDIX "A"**  
**FIGURES & MAPS**



**SITE VICINITY MAP**

**515 36th Street, Newport Beach, CA 92663**

**Project No.: SS0522**

**FIGURE 1**





**SITE LOCATION**

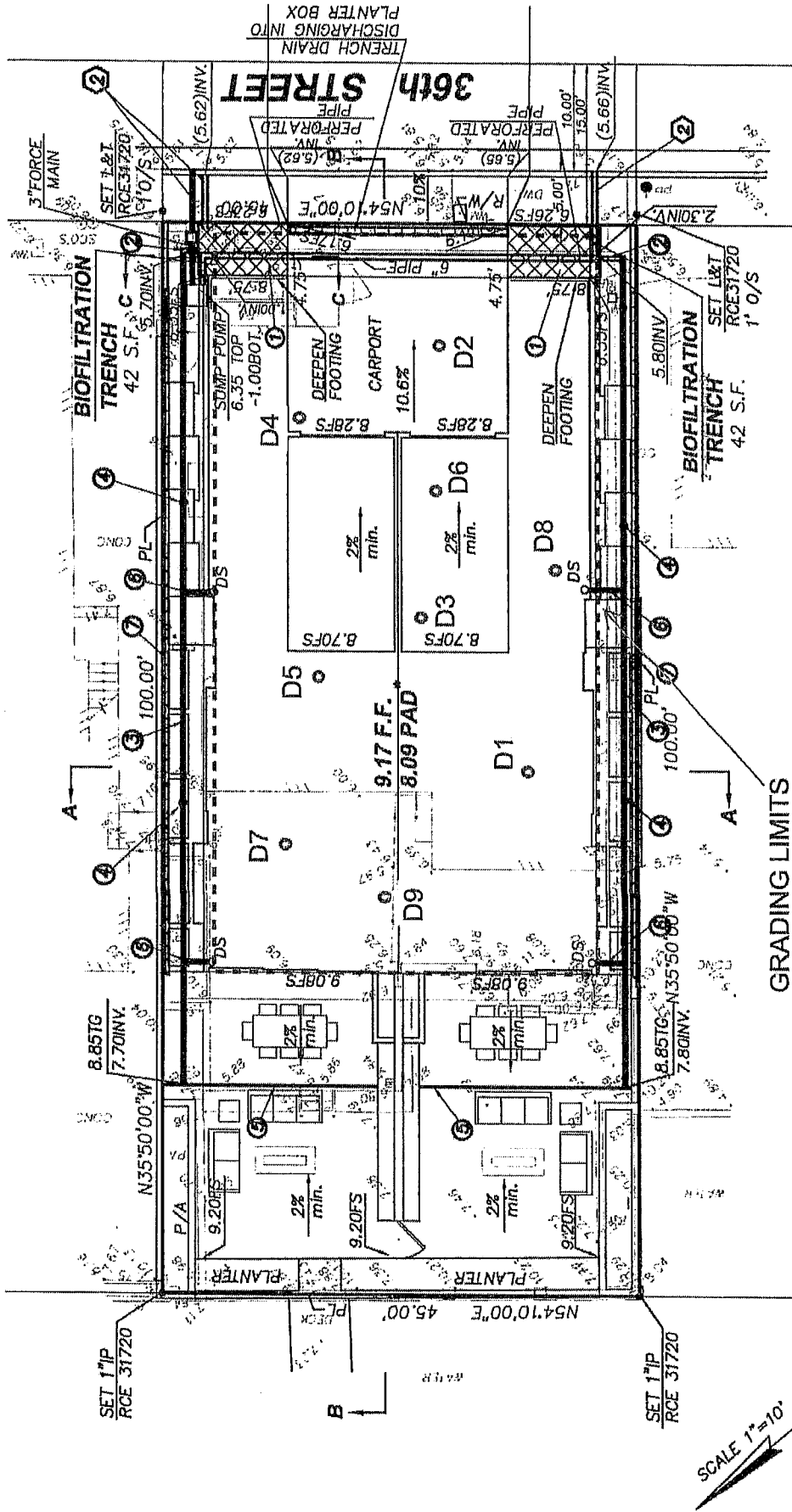
515 36th Street, Newport Beach, CA 92663

Project No.: SS0522

FIGURE 2



PROFESSIONAL ENGINEERS CONSULTING, Inc.



**DENSITY TEST LOCATIONS**  
 515 36th Street, Newport Beach, CA 92663  
 Project No.: SS0522 **FIGURE 3**

**APPENDIX "B"**

**FIELD AND LABORATORY DATA**

PROFESSIONAL ENGINEERS CONSULTING, Inc.

COMPACTION TEST

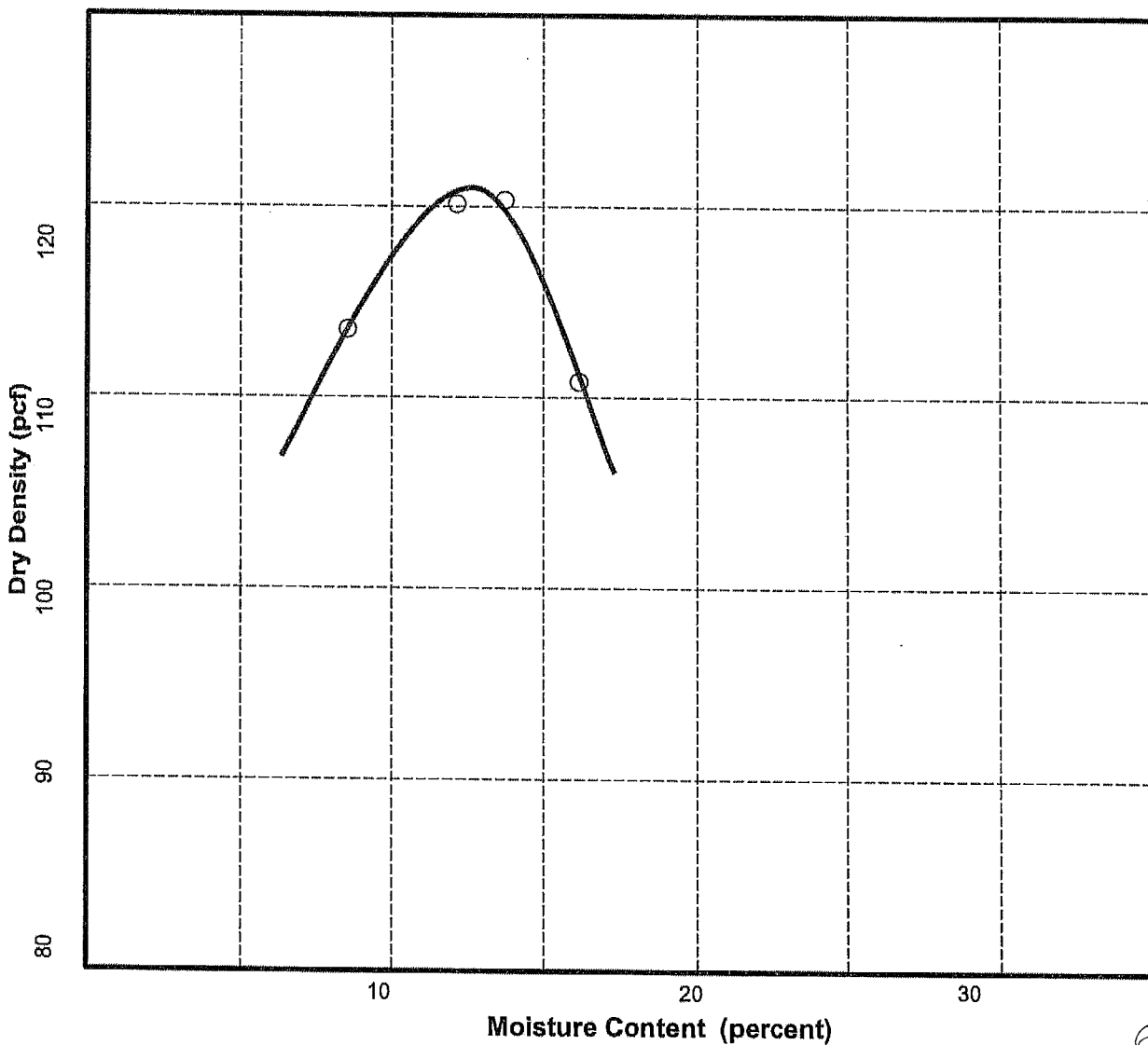
PROJECT NUMBER:SS0522

SITE:515 36th Street, Newport Beach, CA 92663

SAMPLE: GS-1

DEPTH: 0-3.5 ft

|                          |                  |
|--------------------------|------------------|
| Maximum Dry Density      | 121.6 pcf        |
| Optimum Moisture Content | 12.9 %           |
| Soil Description         | Light brown sand |





PROFESSIONAL ENGINEERS CONSULTING, Inc.

COMPACTION TEST

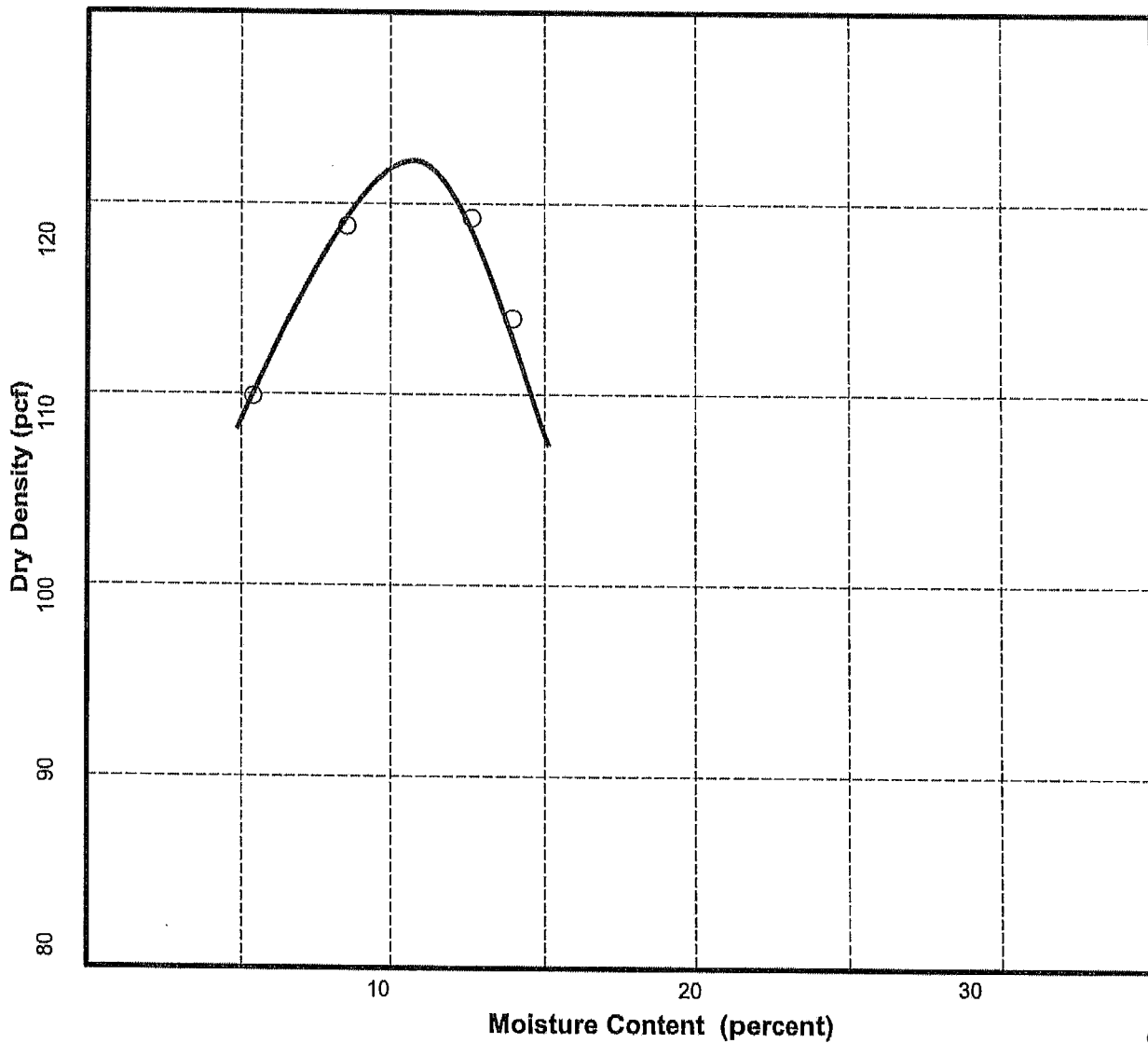
PROJECT NUMBER:SS0522

SITE:515 36th Street, Newport Beach, CA 92663

SAMPLE: GS-2

DEPTH: 0-3 ft

|                          |                  |
|--------------------------|------------------|
| Maximum Dry Density      | 123.1 pcf        |
| Optimum Moisture Content | 11.3 %           |
| Soil Description         | Light brown sand |



PROFESSIONAL ENGINEERS CONSULTING, Inc.

COMPACTION TEST

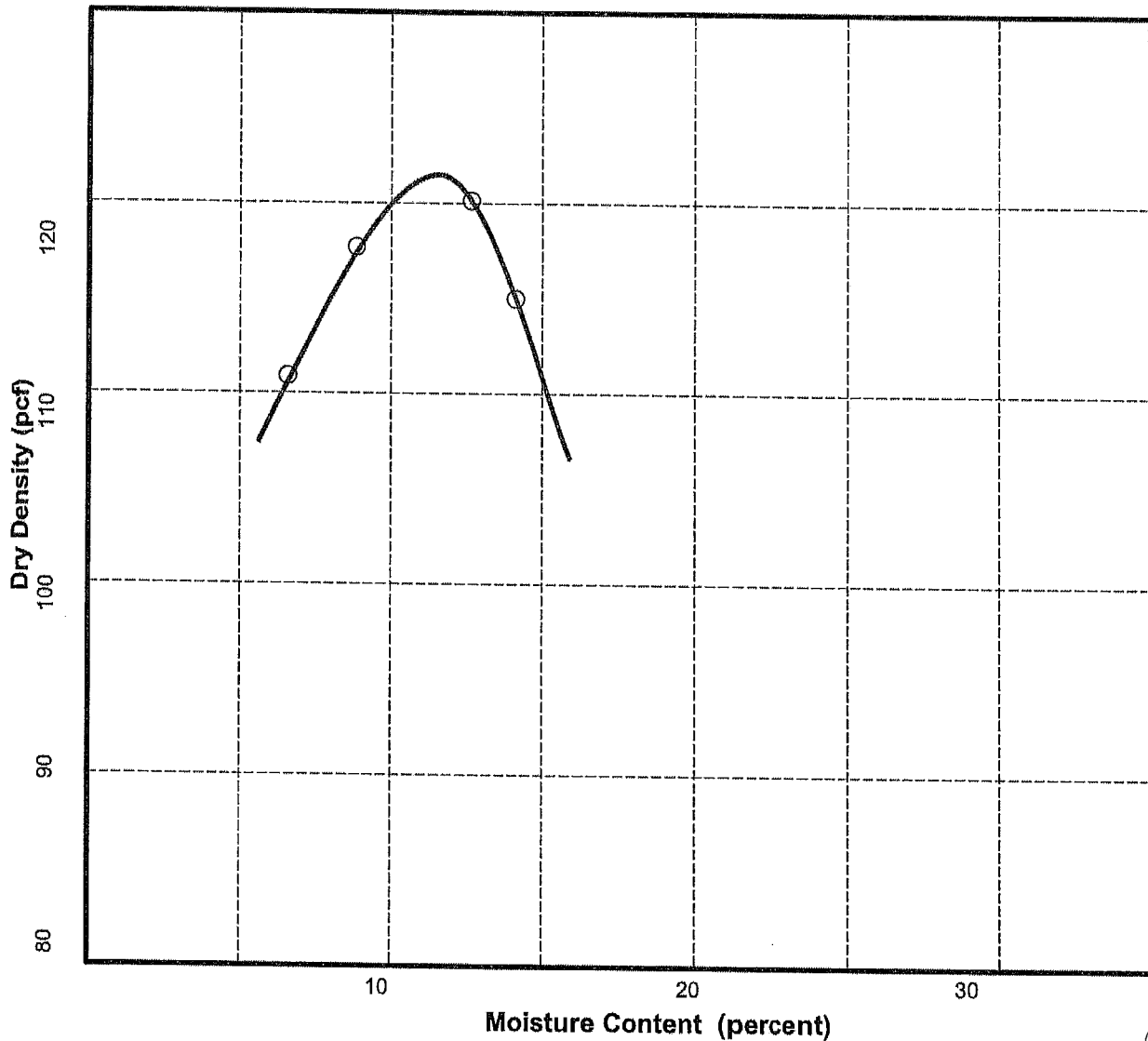
PROJECT NUMBER:SS0522

SITE:515 36th Street, Newport Beach, CA 92663

SAMPLE: Import

DEPTH: 0-1 ft

|                          |                        |
|--------------------------|------------------------|
| Maximum Dry Density      | 122.3 pcf              |
| Optimum Moisture Content | 11.7 %                 |
| Soil Description         | Light brown silty sand |



## SUMMARY OF DENSITY TEST RESULTS

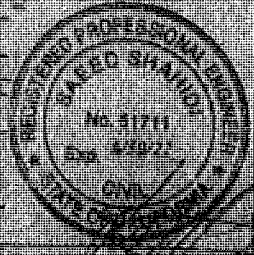
515 36th Street, Newport Beach, CA 92663

| Soil Description       | Field Moisture | Field Density | Opt. Moisture | Max. Dry | Compaction level |   | Depth/ft | Test ID | Area | Soil ID |
|------------------------|----------------|---------------|---------------|----------|------------------|---|----------|---------|------|---------|
|                        | %              | pcf           | %             | pcf      | %                | % |          |         |      |         |
| Light brown sand       | 14.0           | 111.4         | 12.9          | 121.6    | 91.6             |   | 2.0      | D 1     | Pad  | G1      |
| Light brown sand       | 14.5           | 110.9         | 12.9          | 121.6    | 91.2             |   | 2.0      | D 2     | Pad  | G1      |
| Light brown sand       | 15.5           | 112.2         | 12.9          | 121.6    | 92.3             |   | 2.0      | D 3     | Pad  | G1      |
| Light brown sand       | 13.2           | 113.3         | 11.3          | 123.1    | 92.0             |   | 1.5      | D 4     | Pad  | G2      |
| Light brown sand       | 13.0           | 113.0         | 11.3          | 123.1    | 91.8             |   | 1.5      | D 5     | Pad  | G2      |
| Light brown sand       | 14.1           | 113.9         | 11.3          | 123.1    | 92.5             |   | 1.0      | D 6     | Pad  | G2      |
| Light brown sand       | 13.7           | 112.5         | 11.3          | 123.1    | 91.4             |   | 1.0      | D 7     | Pad  | G2      |
| Light brown silty sand | 13.4           | 113.1         | 11.7          | 122.3    | 92.5             |   | 1.0      | D 8     | Pad  | IMP     |
| Light brown silty sand | 13.9           | 113.4         | 11.7          | 122.3    | 92.7             |   | 0.5      | D 9     | Pad  | IMP     |

DAILY FIELD MEMO

PROJECT: RESIDENTIAL CLIENT: SAM SAFA  
 SITE LOCATION: 515 36th STREET, NEW YORK BEACH  
 SUBJECT: GEOTECH 1

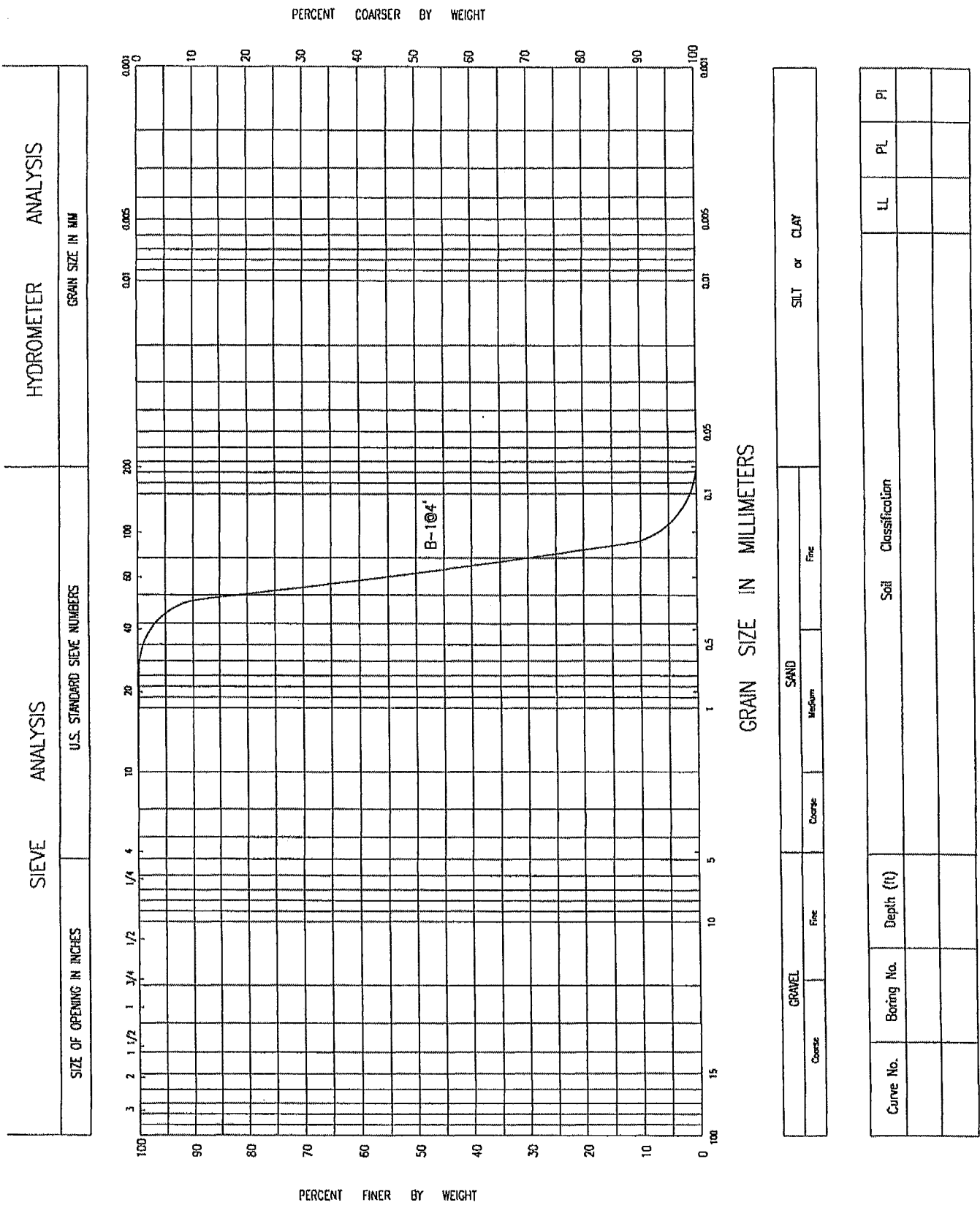
| Date/Time | Activity  |
|-----------|---|
| 5/17/74   | THE BOTTOM OF EXCAVATION WAS EXPOSED AT 3 FEET BELOW GRADE:   |
|           | THE BOTTOM WAS SATURATED BY GROUNDWATER AS EXPECTED.  |
|           | THE LAMPFOL IS SUSPECT TO THE LIQUEFACTION & WE RECOMMEND THE FOLLOWING:                                |
|           | ① EXCAVATE TO 3.5 FEET (3 TO 3.5 FEET).   |
|           | ② PLACE GEOTEXTILE AT THE BOTTOM.   |
|           | ③ PLACE A MINIMUM OF ONE FOOT OF CRUSHED ROCK (3/4").   |
|           | ④ PLACE GEOTEXTILE ABOVE THE GRAVEL.  |
|           | ⑤ BACKFILL WITH SAND. SOIL MIXED WITH 7% CEMENT, PROPERLY MIXED & COMPACT TO 95% REL. MAX. DRY DENSITY. |
|           | ADJUSTMENT OF SLOPES ON THE SLOES UPON OBSERVATION.   |
|           | APPROVED BY: <u>[Signature]</u>   |



FIELD ENGINEER: Saeed Shamsi

Inspection and measurements were strictly visual and made in daylight under field conditions. They are based on the actual surface and subsurface conditions as shown. This is not a design or construction document. It is a record of what was observed and measured. It is not intended to be used for any other purpose. The engineer assumes no liability for any errors or omissions. (Seal) This is not a design or construction document.

# GRADATION CURVE



**PROJECT LOCATION:**

515 36th St  
Newport Beach, California

**PROJECT No.:**

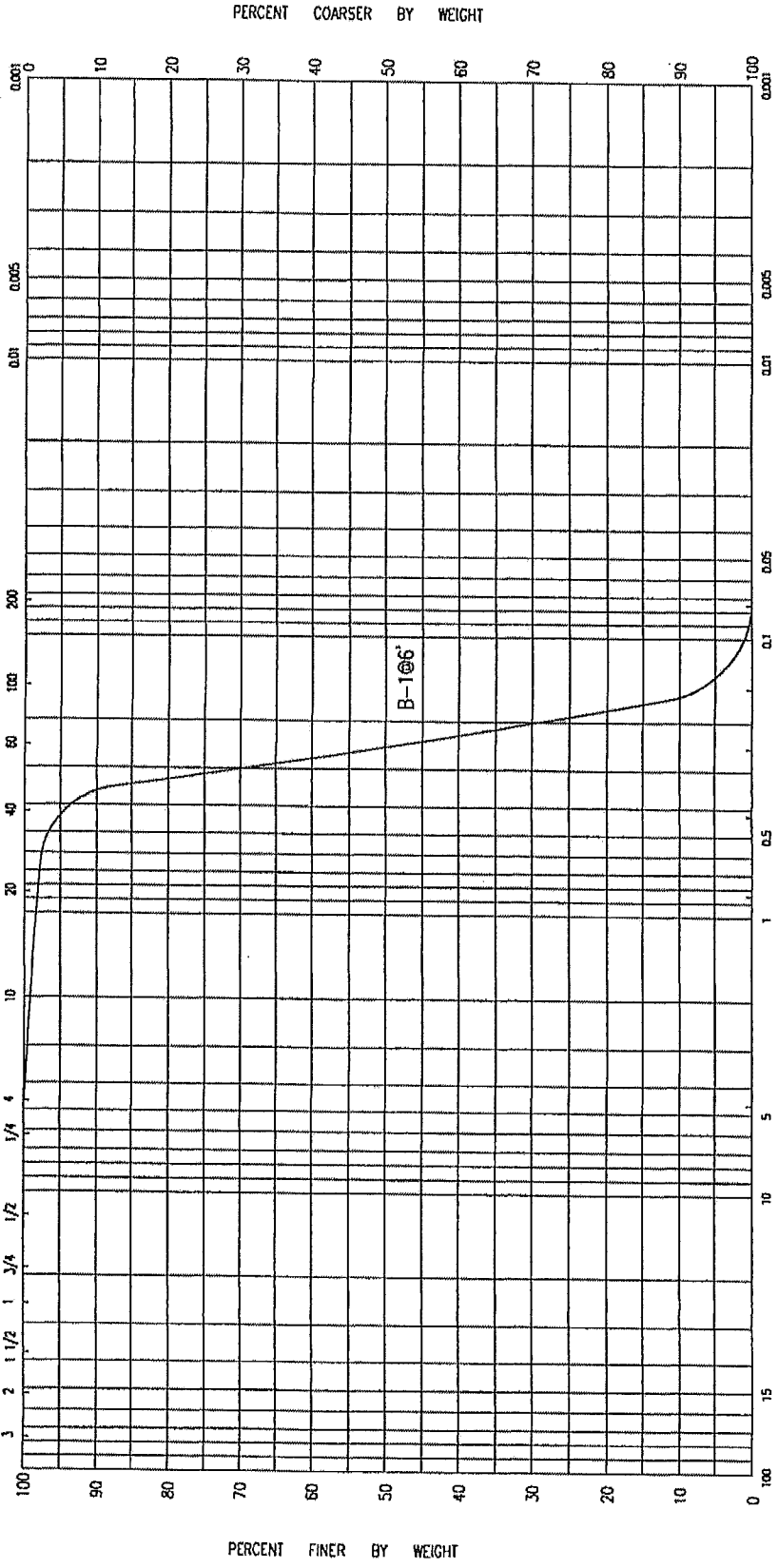
1660-S

**PLATE**

A-6

# GRADATION CURVE

|                             |                     |
|-----------------------------|---------------------|
| SIEVE ANALYSIS              | HYDROMETER ANALYSIS |
| SIZE OF OPENING IN INCHES   | GRAIN SIZE IN MM    |
| U.S. STANDARD SIEVE NUMBERS |                     |



GRAIN SIZE IN MILLIMETERS

|        |                |              |
|--------|----------------|--------------|
| GRAVEL | SAND           | SILT or CLAY |
| Coarse | Fine<br>Medium |              |

| Curve No. | Boring No. | Depth (ft) | Soil Classification | LL | PL | PI |
|-----------|------------|------------|---------------------|----|----|----|
|           |            |            |                     |    |    |    |
|           |            |            |                     |    |    |    |

PROJECT LOCATION:

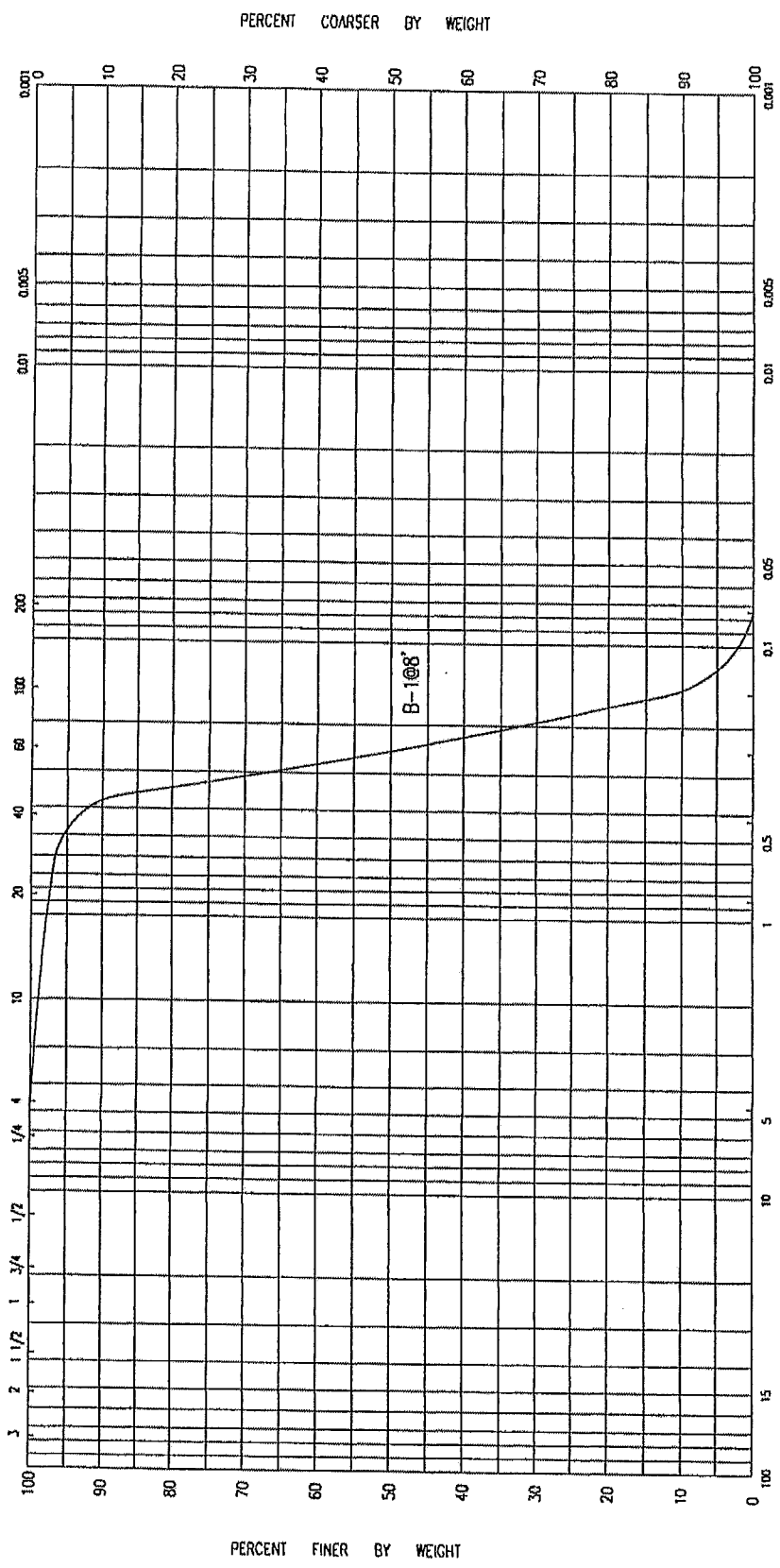
515 36th St  
Newport Beach, California

PROJECT No.: 1660-S

PLATE A-7

# GRADATION CURVE

|                             |                     |
|-----------------------------|---------------------|
| SIEVE ANALYSIS              | HYDROMETER ANALYSIS |
| SIZE OF OPENING IN INCHES   | GRAIN SIZE IN MM    |
| U.S. STANDARD SIEVE NUMBERS |                     |



GRAIN SIZE IN MILLIMETERS

|        |                |              |
|--------|----------------|--------------|
| GRAVEL | SAND           | SILT or CLAY |
| Coarse | Fine<br>Medium |              |

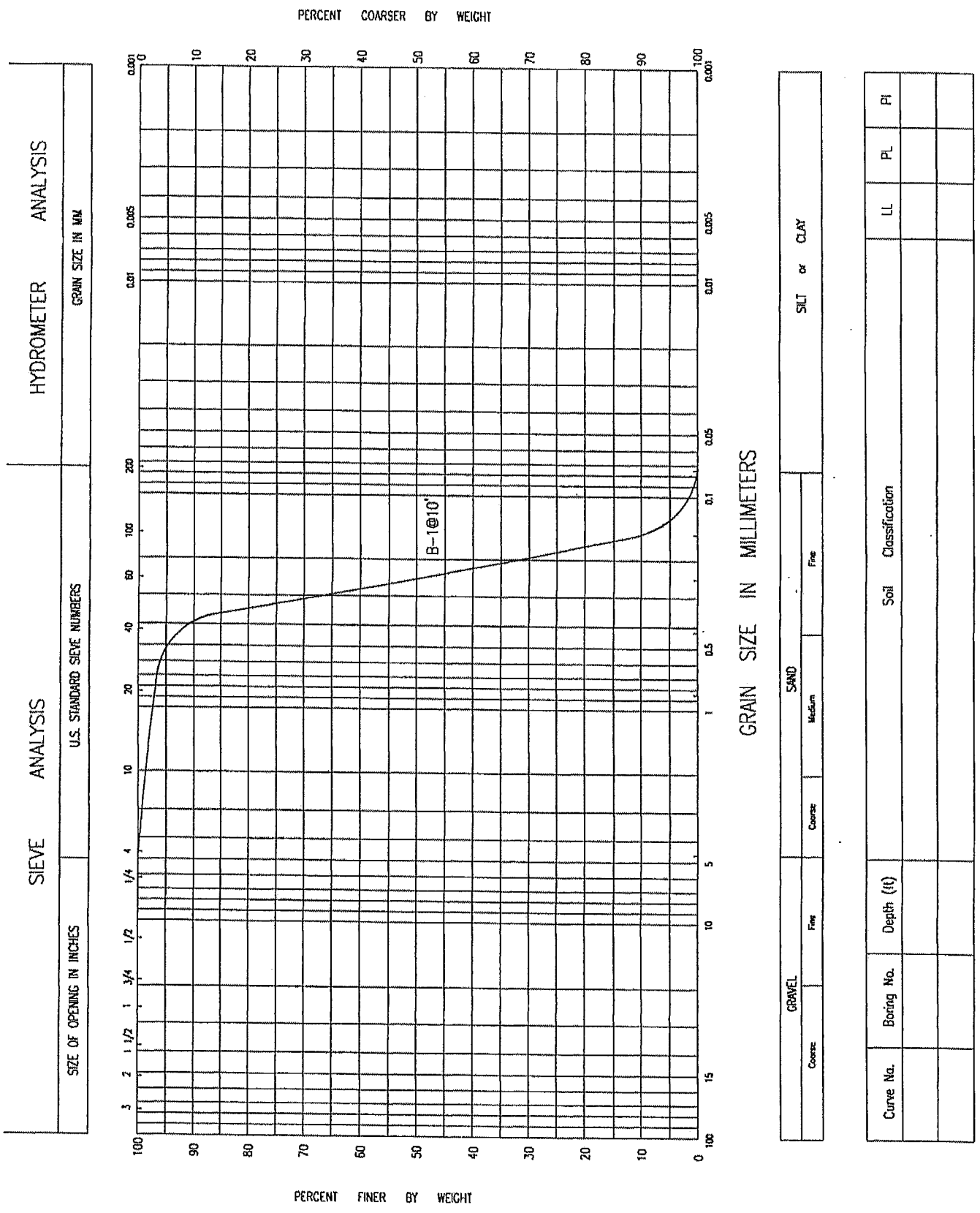
| Curve No. | Boring No. | Depth (ft) | Soil Classification | LL | PL | PI |
|-----------|------------|------------|---------------------|----|----|----|
|           |            |            |                     |    |    |    |
|           |            |            |                     |    |    |    |

**PROJECT LOCATION:** 515 36th St  
Newport Beach, California

**PROJECT No.:** 1660-S

**PLATE** <sup>71</sup> A-8

# GRADATION CURVE



|                             |                     |
|-----------------------------|---------------------|
| SIEVE ANALYSIS              | HYDROMETER ANALYSIS |
| SIZE OF OPENING IN INCHES   | GRAIN SIZE IN MM    |
| U.S. STANDARD SIEVE NUMBERS |                     |

|        |        |      |      |
|--------|--------|------|------|
| GRAVEL | SAND   | SILT | CLAY |
| Coarse | Fine   |      |      |
|        | Medium |      |      |
|        | Coarse |      |      |

| Curve No. | Boring No. | Depth (ft) | Soil Classification | LL | PL | PI |
|-----------|------------|------------|---------------------|----|----|----|
|           |            |            |                     |    |    |    |
|           |            |            |                     |    |    |    |

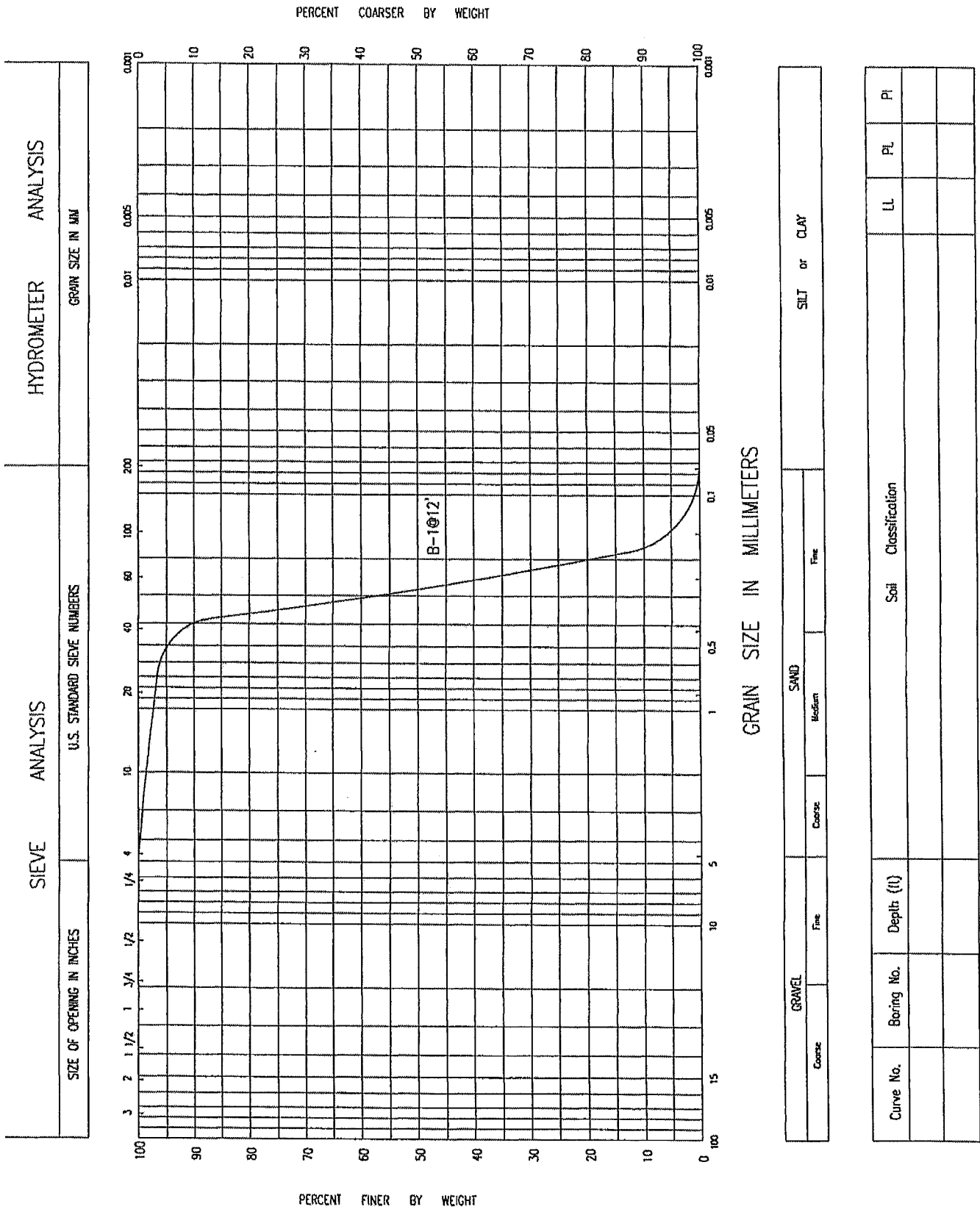
PROJECT LOCATION: 515 36th St  
Newport Beach, California

PROJECT No.: 1660-S

PLATE *72* A-9



# GRADATION CURVE



PROJECT LOCATION:

515 36th St  
Newport Beach, California

PROJECT No.:

1660-S

PLATE A-10

# APPENDIX B

## SEISMIC DESIGN MAPS SUMMARY REPORT

# USGS Design Maps Summary Report

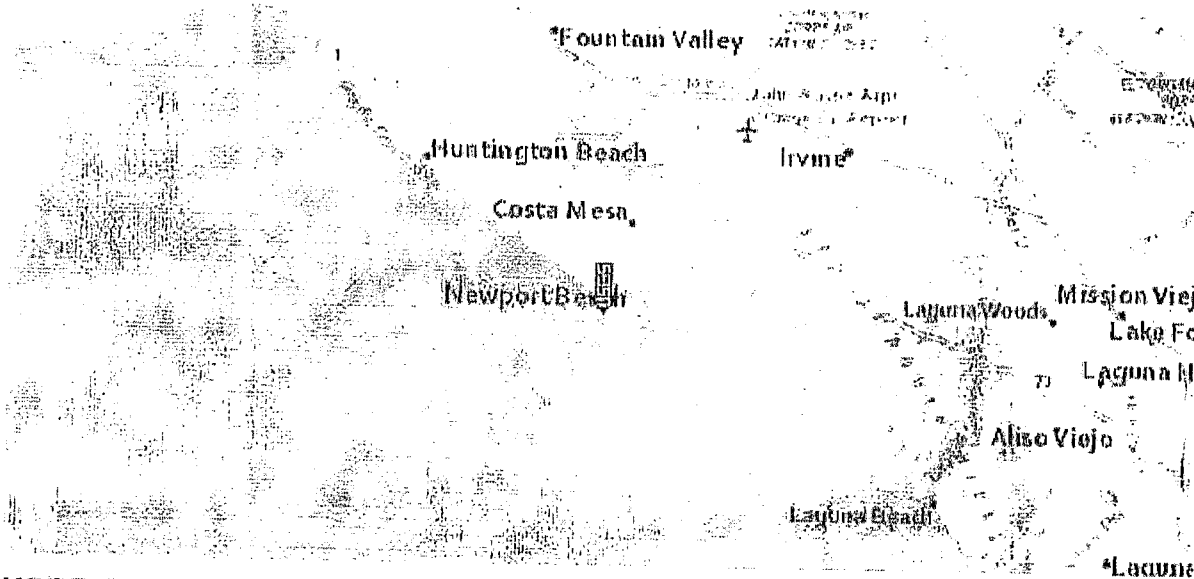
## User-Specified Input

Building Code Reference Document ASCE 7-10 Standard  
 (which utilizes USGS hazard data available in 2008)

Site Coordinates 33.6186°N, 117.9313°W

Site Soil Classification Site Class D - "Stiff Soil"

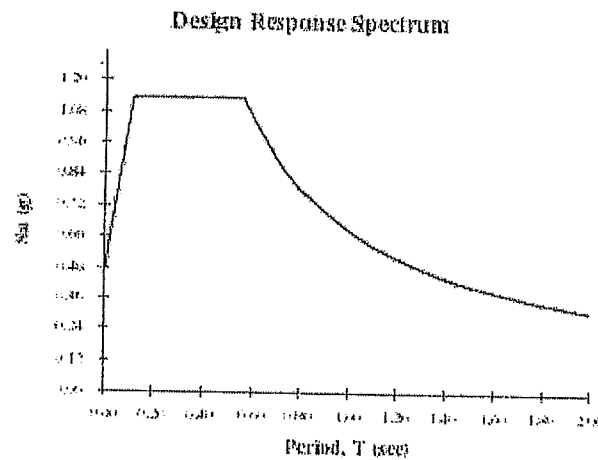
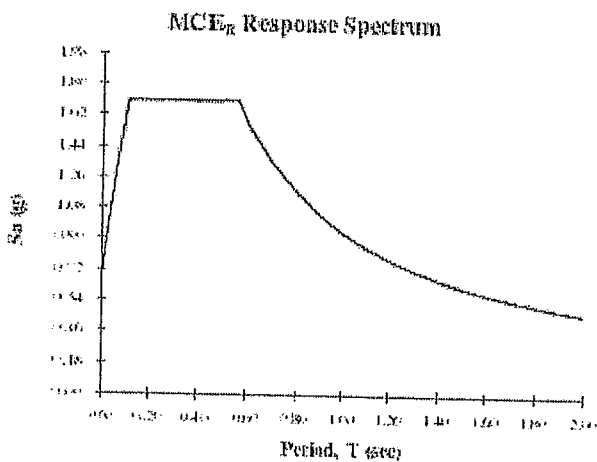
Risk Category I/II/III



## USGS-Provided Output

|                         |                            |                            |
|-------------------------|----------------------------|----------------------------|
| $S_s = 1.701 \text{ g}$ | $S_{MS} = 1.701 \text{ g}$ | $S_{DS} = 1.134 \text{ g}$ |
| $S_1 = 0.629 \text{ g}$ | $S_{M1} = 0.943 \text{ g}$ | $S_{D1} = 0.629 \text{ g}$ |

For information on how the  $S_s$  and  $S_1$  values above have been calculated from probabilistic (risk-targeted) and deterministic ground motions in the direction of maximum horizontal response, please return to the application and select the "2009 NEHRP" building code reference document.



For  $PGA_M$ ,  $T_L$ ,  $C_{RS}$ , and  $C_{R1}$  values, please [view the detailed report](#).

Although this information is a product of the U.S. Geological Survey, we provide no warranty, expressed or implied, as to the accuracy of the data contained therein. This tool is not a substitute for technical subject-matter knowledge.

# USGS Design Maps Detailed Report

ASCE 7-10 Standard (33.6186°N, 117.9313°W)

Site Class D – “Stiff Soil”, Risk Category I/II/III

## Section 11.4.1 — Mapped Acceleration Parameters

Note: Ground motion values provided below are for the direction of maximum horizontal spectral response acceleration. They have been converted from corresponding geometric mean ground motions computed by the USGS by applying factors of 1.1 (to obtain  $S_s$ ) and 1.3 (to obtain  $S_1$ ). Maps in the 2010 ASCE-7 Standard are provided for Site Class B. Adjustments for other Site Classes are made, as needed, in Section 11.4.3.

From Figure 22-1 <sup>[1]</sup>

$$S_s = 1.701 \text{ g}$$

From Figure 22-2 <sup>[2]</sup>

$$S_1 = 0.629 \text{ g}$$

## Section 11.4.2 — Site Class

The authority having jurisdiction (not the USGS), site-specific geotechnical data, and/or the default has classified the site as Site Class D, based on the site soil properties in accordance with Chapter 20.

Table 20.3-1 Site Classification

| Site Class                       | $\bar{v}_s$         | $\bar{N}$ or $\bar{N}_{ch}$ | $\bar{s}_u$        |
|----------------------------------|---------------------|-----------------------------|--------------------|
| A. Hard Rock                     | >5,000 ft/s         | N/A                         | N/A                |
| B. Rock                          | 2,500 to 5,000 ft/s | N/A                         | N/A                |
| C. Very dense soil and soft rock | 1,200 to 2,500 ft/s | >50                         | >2,000 psf         |
| D. Stiff Soil                    | 600 to 1,200 ft/s   | 15 to 50                    | 1,000 to 2,000 psf |
| E. Soft clay soil                | <600 ft/s           | <15                         | <1,000 psf         |

Any profile with more than 10 ft of soil having the characteristics:

- Plasticity index  $PI > 20$ ,
- Moisture content  $w \geq 40\%$ , and
- Undrained shear strength  $\bar{s}_u < 500$  psf

|   |                    |  |  |
|---|--------------------|--|--|
| F. Soils requiring site response analysis in accordance with Section 21.1 | See Section 20.3.1 |  |  |
|---|--------------------|--|--|

For SI: 1ft/s = 0.3048 m/s 1lb/ft<sup>2</sup> = 0.0479 kN/m<sup>2</sup>

Section 11.4.3 — Site Coefficients and Risk-Targeted Maximum Considered Earthquake ( $MCE_R$ ) Spectral Response Acceleration Parameters

Table 11.4-1: Site Coefficient  $F_a$

| Site Class | Mapped $MCE_R$ Spectral Response Acceleration Parameter at Short Period |              |              |              |                 |
|------------|---|--------------|--------------|--------------|-----------------|
|            | $S_s \leq 0.25$   | $S_s = 0.50$ | $S_s = 0.75$ | $S_s = 1.00$ | $S_s \geq 1.25$ |
| A          | 0.8   | 0.8          | 0.8          | 0.8          | 0.8             |
| B          | 1.0   | 1.0          | 1.0          | 1.0          | 1.0             |
| C          | 1.2   | 1.2          | 1.1          | 1.0          | 1.0             |
| D          | 1.6   | 1.4          | 1.2          | 1.1          | 1.0             |
| E          | 2.5   | 1.7          | 1.2          | 0.9          | 0.9             |
| F          | See Section 11.4.7 of ASCE 7  |              |              |              |                 |

Note: Use straight-line interpolation for intermediate values of  $S_s$

For Site Class = D and  $S_s = 1.701$  g,  $F_a = 1.000$

Table 11.4-2: Site Coefficient  $F_v$

| Site Class | Mapped $MCE_R$ Spectral Response Acceleration Parameter at 1-s Period |              |              |              |                 |
|------------|---|--------------|--------------|--------------|-----------------|
|            | $S_1 \leq 0.10$   | $S_1 = 0.20$ | $S_1 = 0.30$ | $S_1 = 0.40$ | $S_1 \geq 0.50$ |
| A          | 0.8   | 0.8          | 0.8          | 0.8          | 0.8             |
| B          | 1.0   | 1.0          | 1.0          | 1.0          | 1.0             |
| C          | 1.7   | 1.6          | 1.5          | 1.4          | 1.3             |
| D          | 2.4   | 2.0          | 1.8          | 1.6          | 1.5             |
| E          | 3.5   | 3.2          | 2.8          | 2.4          | 2.4             |
| F          | See Section 11.4.7 of ASCE 7  |              |              |              |                 |

Note: Use straight-line interpolation for intermediate values of  $S_1$

For Site Class = D and  $S_1 = 0.629$  g,  $F_v = 1.500$

Equation (11.4-1):

$$S_{M5} = F_a S_s = 1.000 \times 1.701 = 1.701 \text{ g}$$

Equation (11.4-2):

$$S_{M1} = F_v S_1 = 1.500 \times 0.629 = 0.943 \text{ g}$$

Section 11.4.4 — Design Spectral Acceleration Parameters

Equation (11.4-3):

$$S_{DS} = \frac{2}{3} S_{M5} = \frac{2}{3} \times 1.701 = 1.134 \text{ g}$$

Equation (11.4-4):

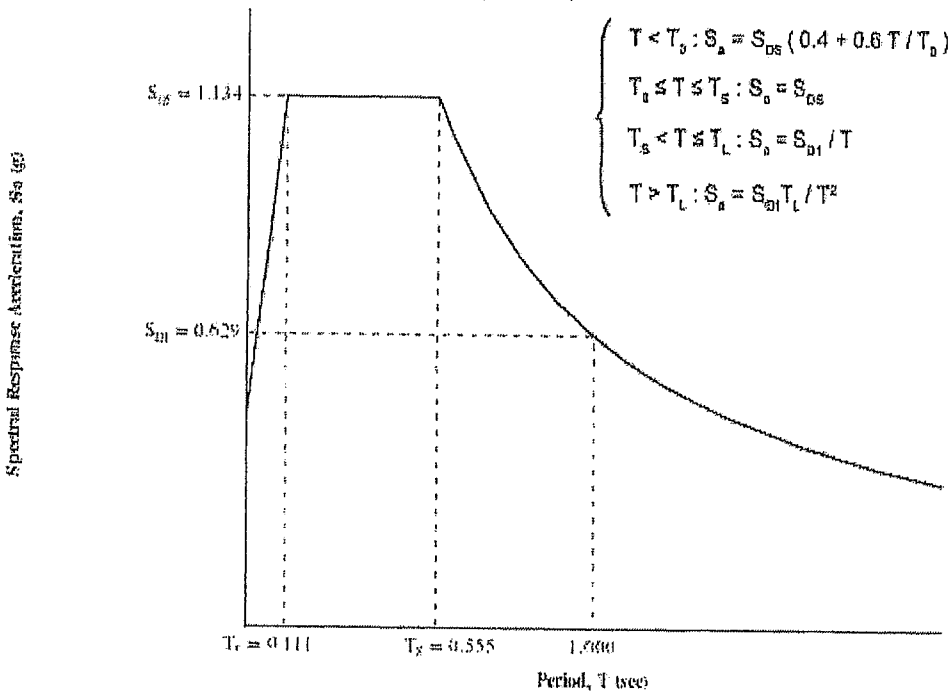
$$S_{D1} = \frac{2}{3} S_{M1} = \frac{2}{3} \times 0.943 = 0.629 \text{ g}$$

Section 11.4.5 — Design Response Spectrum

From Figure 22-12 <sup>[3]</sup>

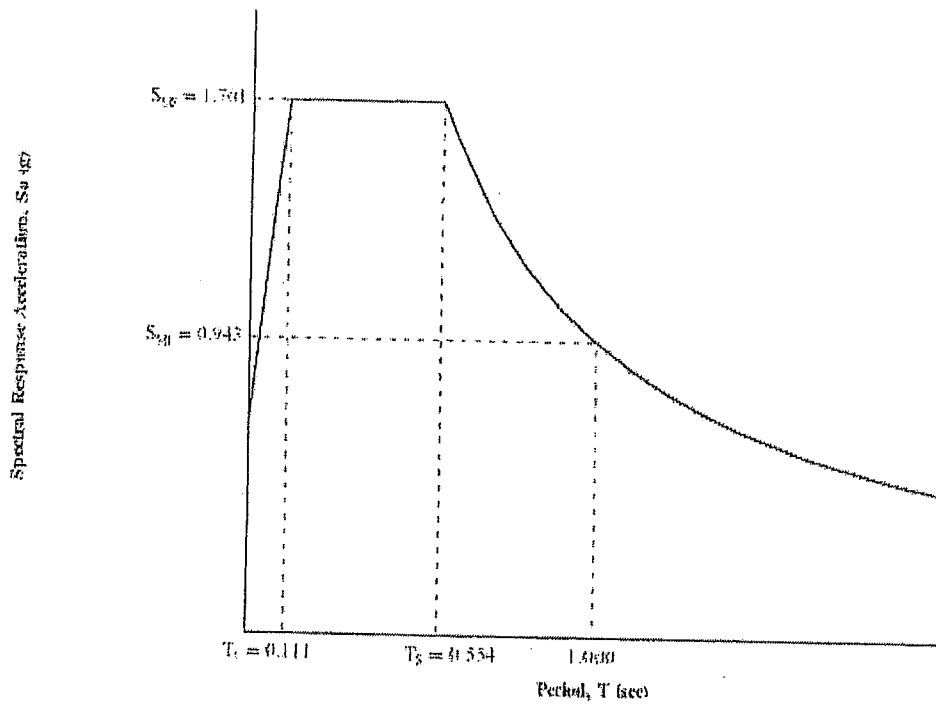
$T_L = 8$  seconds

Figure 11.4-1: Design Response Spectrum



# Section 11.4.6 — Risk-Targeted Maximum Considered Earthquake (MCE<sub>R</sub>) Response Spectrum

The MCE<sub>R</sub> Response Spectrum is determined by multiplying the design response spectrum above by 1.5.



Section 11.8.3 — Additional Geotechnical Investigation Report Requirements for Seismic Design Categories D through F

From **Figure 22-7** <sup>[4]</sup>

$$PGA = 0.697$$

**Equation (11.8-1):**

$$PGA_M = F_{PGA} PGA = 1.000 \times 0.697 = 0.697 \text{ g}$$

Table 11.8-1: Site Coefficient  $F_{PGA}$

| Site Class | Mapped MCE Geometric Mean Peak Ground Acceleration, PGA |            |            |            |            |
|------------|---|------------|------------|------------|------------|
|            | PGA ≤ 0.10  | PGA = 0.20 | PGA = 0.30 | PGA = 0.40 | PGA ≥ 0.50 |
| A          | 0.8   | 0.8        | 0.8        | 0.8        | 0.8        |
| B          | 1.0   | 1.0        | 1.0        | 1.0        | 1.0        |
| C          | 1.2   | 1.2        | 1.1        | 1.0        | 1.0        |
| D          | 1.6   | 1.4        | 1.2        | 1.1        | 1.0        |
| E          | 2.5   | 1.7        | 1.2        | 0.9        | 0.9        |
| F          | See Section 11.4.7 of ASCE 7                            |            |            |            |            |

Note: Use straight-line interpolation for intermediate values of PGA

**For Site Class = D and PGA = 0.697 g,  $F_{PGA} = 1.000$**

Section 21.2.1.1 — Method 1 (from Chapter 21 – Site-Specific Ground Motion Procedures for Seismic Design)

From **Figure 22-17** <sup>[5]</sup>

$$C_{RS} = 0.902$$

From **Figure 22-18** <sup>[6]</sup>

$$C_{R1} = 0.919$$



## Section 11.6 — Seismic Design Category

Table 11.6-1 Seismic Design Category Based on Short Period Response Acceleration Parameter

| VALUE OF $S_{DS}$            | RISK CATEGORY |     |    |
|------------------------------|---------------|-----|----|
|                              | I or II       | III | IV |
| $S_{DS} < 0.167g$            | A             | A   | A  |
| $0.167g \leq S_{DS} < 0.33g$ | B             | B   | C  |
| $0.33g \leq S_{DS} < 0.50g$  | C             | C   | D  |
| $0.50g \leq S_{DS}$          | D             | D   | D  |

For Risk Category = I and  $S_{DS} = 1.134 g$ , Seismic Design Category = D

Table 11.6-2 Seismic Design Category Based on 1-S Period Response Acceleration Parameter

| VALUE OF $S_{D1}$             | RISK CATEGORY |     |    |
|-------------------------------|---------------|-----|----|
|                               | I or II       | III | IV |
| $S_{D1} < 0.067g$             | A             | A   | A  |
| $0.067g \leq S_{D1} < 0.133g$ | B             | B   | C  |
| $0.133g \leq S_{D1} < 0.20g$  | C             | C   | D  |
| $0.20g \leq S_{D1}$           | D             | D   | D  |

For Risk Category = I and  $S_{D1} = 0.629 g$ , Seismic Design Category = D

Note: When  $S_1$  is greater than or equal to 0.75g, the Seismic Design Category is **E** for buildings in Risk Categories I, II, and III, and **F** for those in Risk Category IV, irrespective of the above.

Seismic Design Category = "the more severe design category in accordance with Table 11.6-1 or 11.6-2" = D

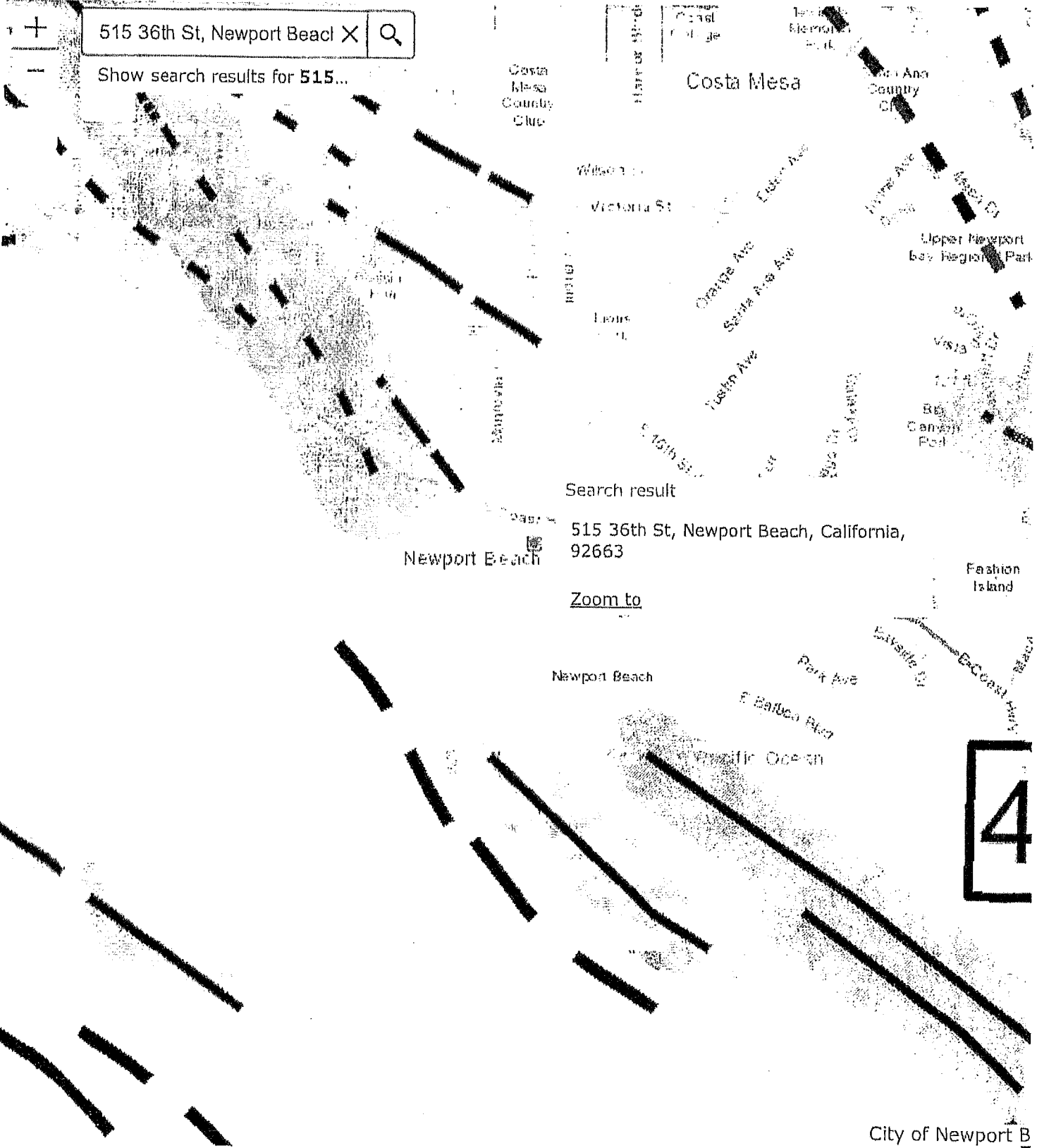
Note: See Section 11.6 for alternative approaches to calculating Seismic Design Category.

### References

1. Figure 22-1: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-1.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-1.pdf)
2. Figure 22-2: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-2.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-2.pdf)
3. Figure 22-12: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-12.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-12.pdf)
4. Figure 22-7: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-7.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-7.pdf)
5. Figure 22-17: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-17.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-17.pdf)
6. Figure 22-18: [https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-18.pdf](https://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-18.pdf)



# Fault Activity Map of California (2010)



515 36th St, Newport Beach X

Show search results for 515...

Search result

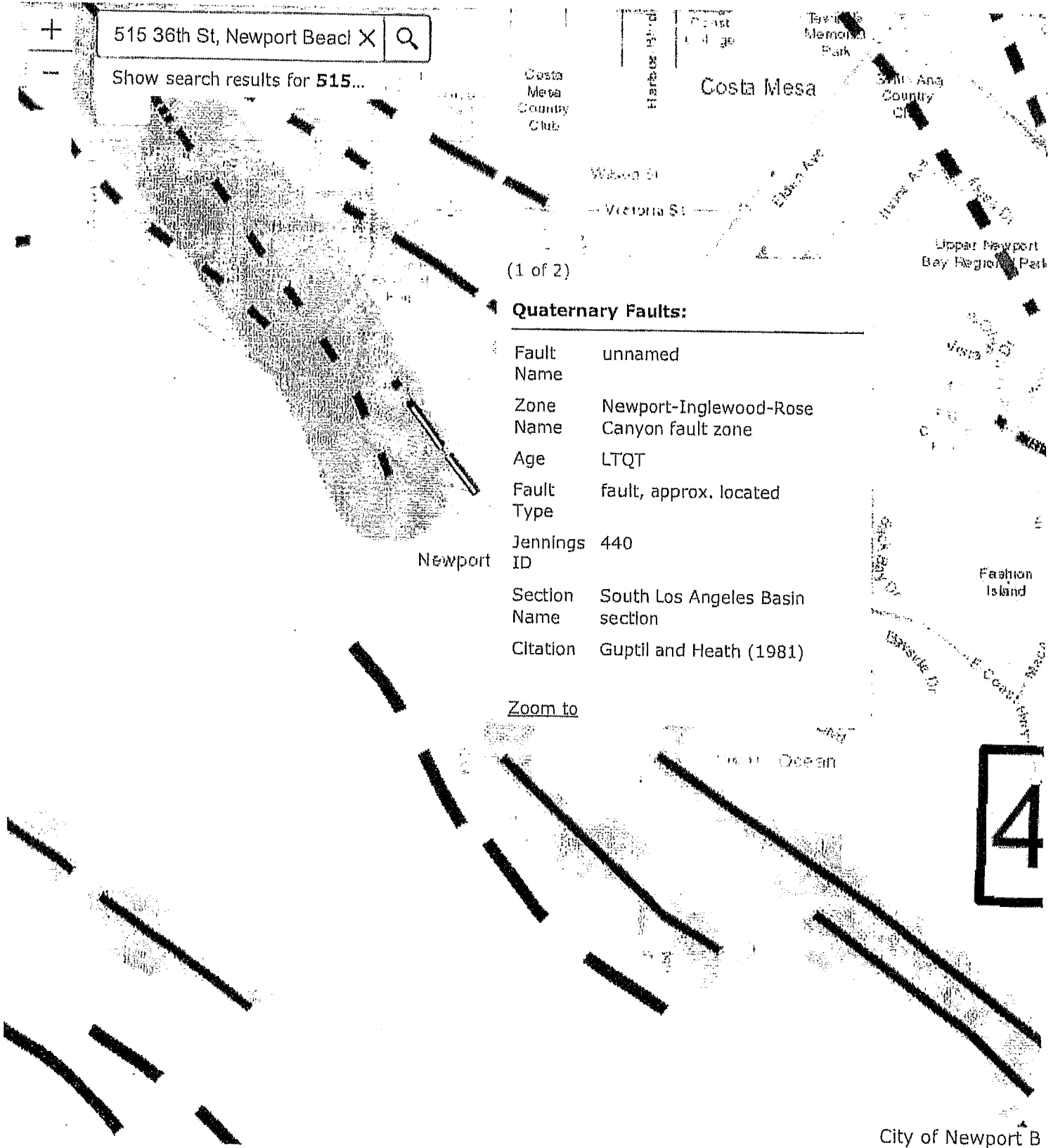
515 36th St, Newport Beach, California, 92663

Zoom to

4

1mi  
33.640 -117.929 Degrees

# Fault Activity Map of California (2010)



(1 of 2)

### Quaternary Faults:

|              |  |
|--------------|--|
| Fault Name   | unnamed                                  |
| Zone Name    | Newport-Inglewood-Rose Canyon fault zone |
| Age          | LTQT                                     |
| Fault Type   | fault, approx. located                   |
| Jennings ID  | 440                                      |
| Section Name | South Los Angeles Basin section          |
| Citation     | Guptil and Heath (1981)                  |

[Zoom to](#)

4

It is the responsibility of the property owner and the contractor to review the recommendations herein, and to inform Pacific Geotech of the starting date of construction, the pre-construction conference, and anticipated period during which testing and/or observations by Pacific Geotech will be needed.

The report is subject to review by controlling public agencies having jurisdiction.

## 10. GRADING SPECIFICATIONS

The following guidelines may be used in preparation of the grading plan and job specifications.

- 1) All site grading operations should conform to the local building and safety codes and to the rules and regulations of those governmental agencies having jurisdiction over the subject construction.
- 2) The grading contractor is responsible to notify governmental agencies, as required, and the Soils Engineer prior to initiating grading operations and any time grading is resumed after an interruption.
- 3) A diligent search for septic tanks, cesspools or underground lines should be performed during grading operations. Any abandoned water or oil wells encountered should be properly capped and treated in accordance with best accepted practices.
- 4) The on-site soils are suitable for use in compacted fills provided all trash, vegetation and other deleterious materials are removed prior to placement.
- 5) Where import materials are required for use on site, the Soils Engineer should be notified at least 48 hours in advance of importing in order to sample and test materials from proposed borrow sites. No import materials should be delivered for use on site without prior sampling and testing by the Soils Engineer.

- 6) All new fill shall consist of approved clean on-site or similar earth material, free of trash or debris, roots, vegetation or other deleterious material and shall be placed in thin horizontal lifts not exceeding 8 inches in loose thickness prior to compaction. Each lift should be watered or dried as needed, thoroughly blended to achieve near optimum moisture conditions then thoroughly compacted by mechanical methods.
- 7) No rock over 3 inches in greatest dimension shall be used in fill unless otherwise approved by the Soils Engineer.
- 8) No fill materials should be placed, spread or rolled during unfavorable weather conditions. When work is interrupted by heavy rains, fill operations should not be resumed until the field tests by the Soils Engineer indicate that the moisture content and density of the fill are as previously specified.
- 9) No jetting or water tamping of fill soils shall be permitted.
- 10) Unless otherwise specified, all other fills and backfills should be compacted to at least 90 percent of maximum laboratory density.
- 11) The compaction characteristics of all fill soils shall be determined by ASTM D-1557 standard. The field density and degree of compaction shall be determined by ASTM D-1556, or by other ASTM standard methods that are acceptable to the governing public agency. Field density tests should be taken at every two vertical feet or for every 500 cubic yards of fill placed, whichever is more restrictive.
- 12) Observation and testing of all compaction shall be under the direction of the Soils Engineer. The Soils Engineer shall advise the owner and grading contractor immediately if any unsatisfactory soils related conditions exist and shall have the authority to reject the compacted fill ground until such time as corrective measures necessary are taken to comply with the specifications.
- 13) The Soils Engineer should be notified at least 2 days in advance of the start of grading. A joint meeting between a representative of the client, the contractor, and the Soils Engineer is recommended prior to grading to discuss specific procedures and scheduling.

# VICINITY MAP

TOPO! map printed on 01/30/15 from "LA.tpo" and "Untitled.tpg"

117°57.000' W

117°56.000' W

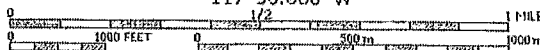
WGS84 117°55.000' W



117°57.000' W

117°56.000' W

WGS84 117°55.000' W



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**PROJECT LOCATION**

515 36th St  
Newport Beach, California

**PROJECT No.**

1660-S

**PLATE**

1

# VOLUMETRIC STRAIN CHART

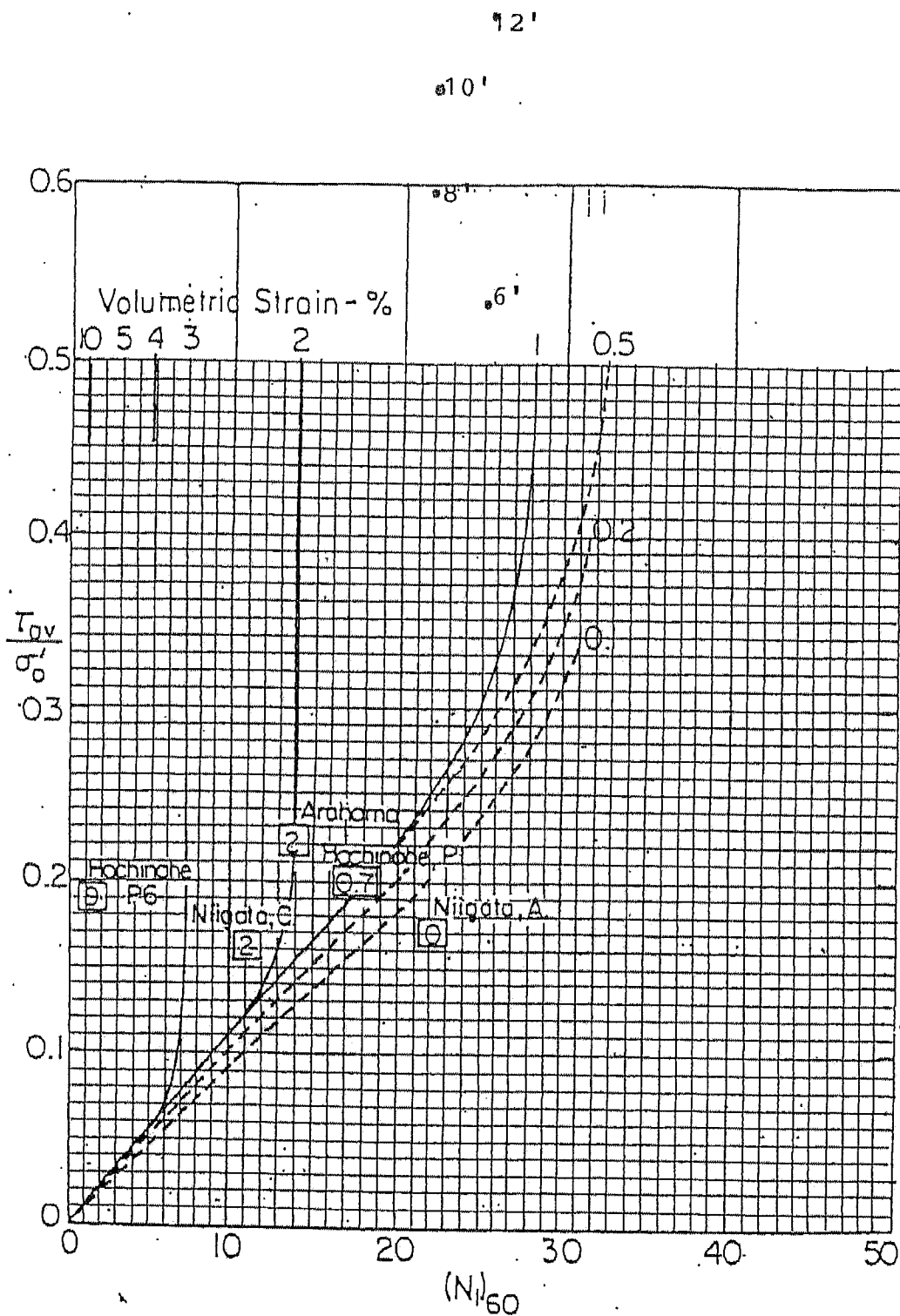


Chart for Determination of Volumetric Strain From Blow Count  
and Cyclic Stress Ratio (Tokimatsu and Seed, 1987).

PROJECT LOCATION: 515 36th St  
Newport Beach, California

PROJECT No.: 1660-S
















PLATE 2

# APPENDIX A

## LOG OF TEST BORING LABORATORY TEST



# UNIFIED SOIL CLASSIFICATION SYSTEM

| MAJOR DIVISIONS  |  | GROUP SYMBOLS   | TYPICAL NAMES  |
|--|--|---|--|
| <b>COARSE GRAINED SOILS</b><br><br>(More than 50% of material is LARGER than No. 200 sieve size) | <b>GRAVELS</b><br>(More than 50% of coarse fraction is LARGER than the No. 4 sieve size) | <b>CLEAN GRAVELS</b><br>(Little or no fines)  |  GW<br>Well-graded gravels or gravel-sand mixtures, little or no fines. |
|  |  |  GP<br>Poorly-graded gravels or gravel-sand mixtures, little or no fines.  |  |
|  |  | <b>GRAVELS WITH FINES</b><br>(Appreciable amt. of fines)  |  GM<br>Silty gravels, gravel-sand-silt mixtures.                        |
|  |  |  GC<br>Clayey gravels, gravel-sand-clay mixtures.  |  |
|  | <b>SANDS</b><br>(More than 50% of coarse fraction is SMALLER than the No. 4 sieve size)  | <b>CLEAN SANDS</b><br>(Little or no fines)  |  SW<br>Well-graded sands or gravelly sands, little or no fines.         |
|  |  |  SP<br>Poorly-graded sands or gravelly sands, little or no fines.  |  |
|  |  | <b>SANDS WITH FINES</b><br>(Appreciable amt. of fines)  |  SM<br>Silty sands, sand-silt mixtures.                                 |
|  |  |  SC<br>Clayey sands, sand-clay mixtures.   |  |
| <b>FINE GRAINED SOILS</b><br><br>(More than 50% of material is SMALLER than No. 200 sieve size)  | <b>SILTS AND CLAYS</b><br>(Liquid limit LESS than 50)                                    |  ML<br>Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity. |  |
|  |  |  CL<br>Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.                 |  |
|  |  |  OL<br>Organic silts and organic silt-clays of low plasticity.   |  |
|  | <b>SILTS AND CLAYS</b><br>(Liquid limit GREATER than 50)                                 |  MH<br>Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.                              |  |
|  |  |  CH<br>Inorganic clays of high plasticity, fat clays.  |  |
|  |  |  OH<br>Organic clays of medium to high plasticity, organic silts.  |  |
| <b>HIGHLY ORGANIC SOILS</b>  |  |  Pt<br>Peat and other highly organic soils.  |  |

**BOUNDARY CLASSIFICATIONS:** Soils possessing characteristics of two groups are designated by combinations of group symbols.

Reference: The Unified Soil Classification System,  
 Corps of Engineers, U.S. Army Technical Memorandum  
 No. 3-357, Vol. 1, March, 1953 (Revised April, 1960)

**PROJECT LOCATION:** 515 36th St  
 Newport Beach, California

**PROJECT No.:** 1660-S

**PLATE** A

# LOG OF TEST BORING

BORING No. 1

Sample Type

R: Ring Sample  
S: SPT Sample  
B: Bulk Sample

Date Drilled: 3/1/18

Drilling Equipment: Hand Auger  
Driving Weight: 140 lbs

Ground Surface Elevation:

| Depth in Feet | Sample      |          | Moisture Content<br>(% of Dry Weight) | Dry Unit Weight<br>(lbs./cu.ft.) | USCS Symbol | Description of Material        | Color                        | Consistency | Moisture |   |
|---------------|-------------|----------|---------------------------------------|----------------------------------|-------------|--------------------------------|------------------------------|-------------|----------|---|
|               | Sample Type | Blow/12" |                                       |                                  |             |                                |                              |             |          |   |
|               | R           | 18       | 4.6                                   | 99.4                             | SW          | ALLUVIUM fine to medium, clean | light brown to grayish brown | dense       | moist    |   |
|               | S           | 13       |                                       |                                  |             |                                |                              |             |          |   |
|               | R           | 19       | 5.3                                   | 97.3                             |             |                                |                              |             |          |   |
|               | S           | 16       |                                       |                                  |             |                                |                              |             |          |   |
| 5             | R           | 15       | 36.3                                  | 87.5                             |             |                                |                              |             |          |   |
|               | S           | 12       |                                       |                                  |             |                                |                              |             |          |   |
|               | R           | 16       | 38.5                                  | 89.7                             |             |                                |                              |             |          | fine to coarse, clean w/ crushed shells |
|               | S           | 11       |                                       |                                  |             |                                |                              |             |          |   |
| 10            | R           | 18       | 39.1                                  | 87.1                             |             |                                |                              |             |          |   |
|               | S           | 12       |                                       |                                  |             |                                |                              |             |          |   |
|               | R           | 20       | 42.2                                  | 89.2                             |             |                                |                              |             |          |   |
| 12            | S           | 15       |                                       |                                  |             |                                |                              |             |          |   |

End of Boring @ 12 ft

Groundwater @ 4 ft

**PROJECT LOCATION:**

515 36th St  
Newport Beach, California

**PROJECT No.:**

1660-S

**PLATE** A-1

# LOG OF TEST BORING

BORING No. 2

Sample Type

R: Ring Sample  
S: SPT Sample  
B: Bulk Sample

Date Drilled: 3/1/18

Drilling Equipment: Hand Auger

Driving Weight: 35 lbs

Ground Surface Elevation:

| Depth in Feet | Sample      |          | Moisture Content<br>(% of Dry Weight) | Dry Unit Weight<br>(lbs./cu.ft.) | USCS Symbol | Description of Material                 | Color                        | Consistency | Moisture |       |
|---------------|-------------|----------|---------------------------------------|----------------------------------|-------------|---|------------------------------|-------------|----------|-------|
|               | Sample Type | Blow/12" |                                       |                                  |             |   |                              |             |          |       |
| 2             | R           | 20       | 4.1                                   | 100.1                            | SW SAND     | fine to medium, clean                   | light brown to grayish brown | dense       | moist    |       |
|               | R           | 24       | 4.8                                   | 99.8                             |             |   |                              |             |          | ▽     |
| 5             | R           | 23       | 35.9                                  | 88.9                             |             | fine to coarse, clean w/ crushed shells |                              |             |          | water |
| 10            | R           | 20       | 37.5                                  | 87.3                             |             |   |                              |             |          |       |

End of Boring @ 10 ft

Groundwater @ 4 ft

PROJECT LOCATION:

515 36th St  
Newport Beach, California

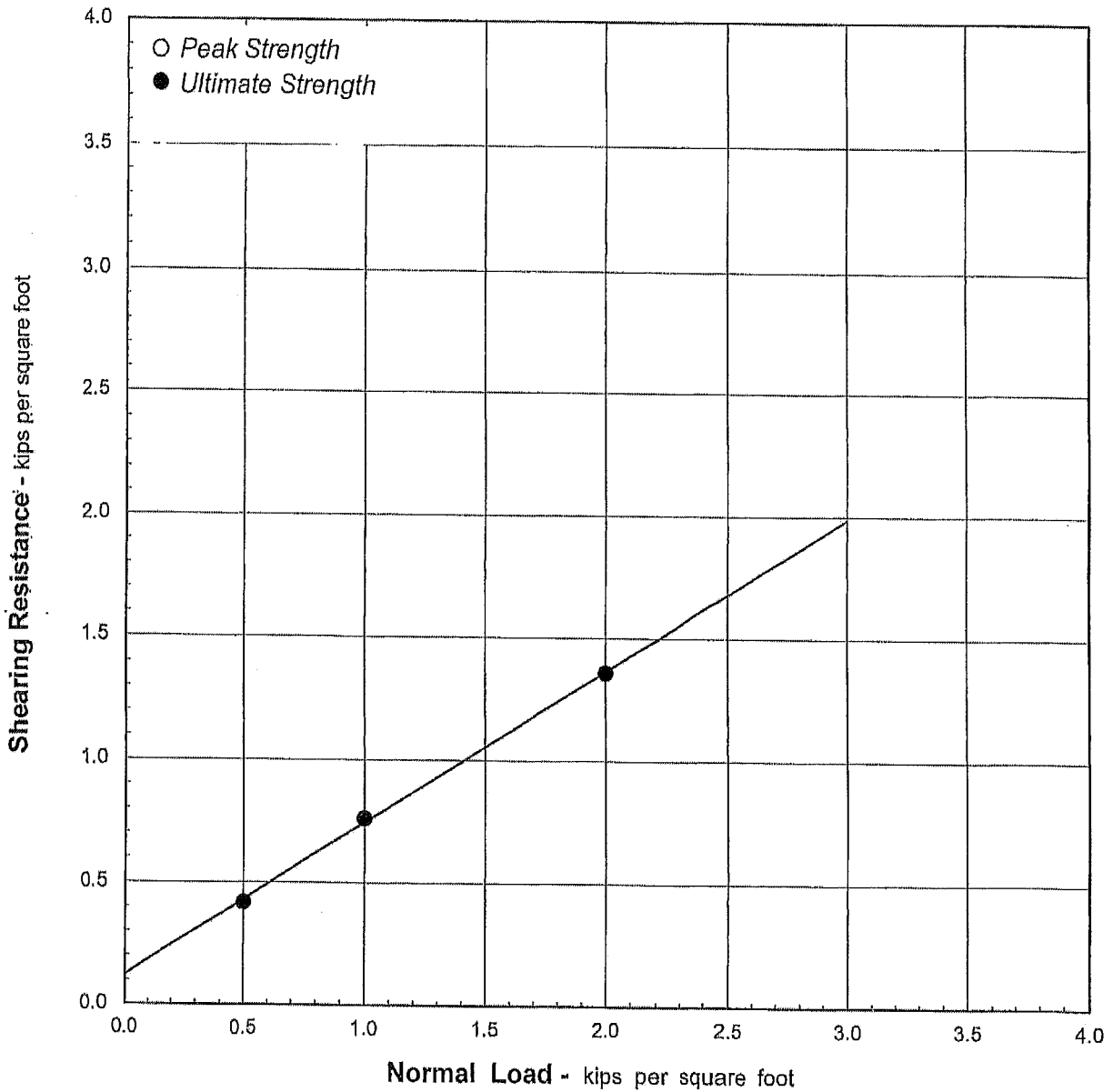
PROJECT No.:

1660-S

PLATE

A-2

# DIRECT SHEAR TEST

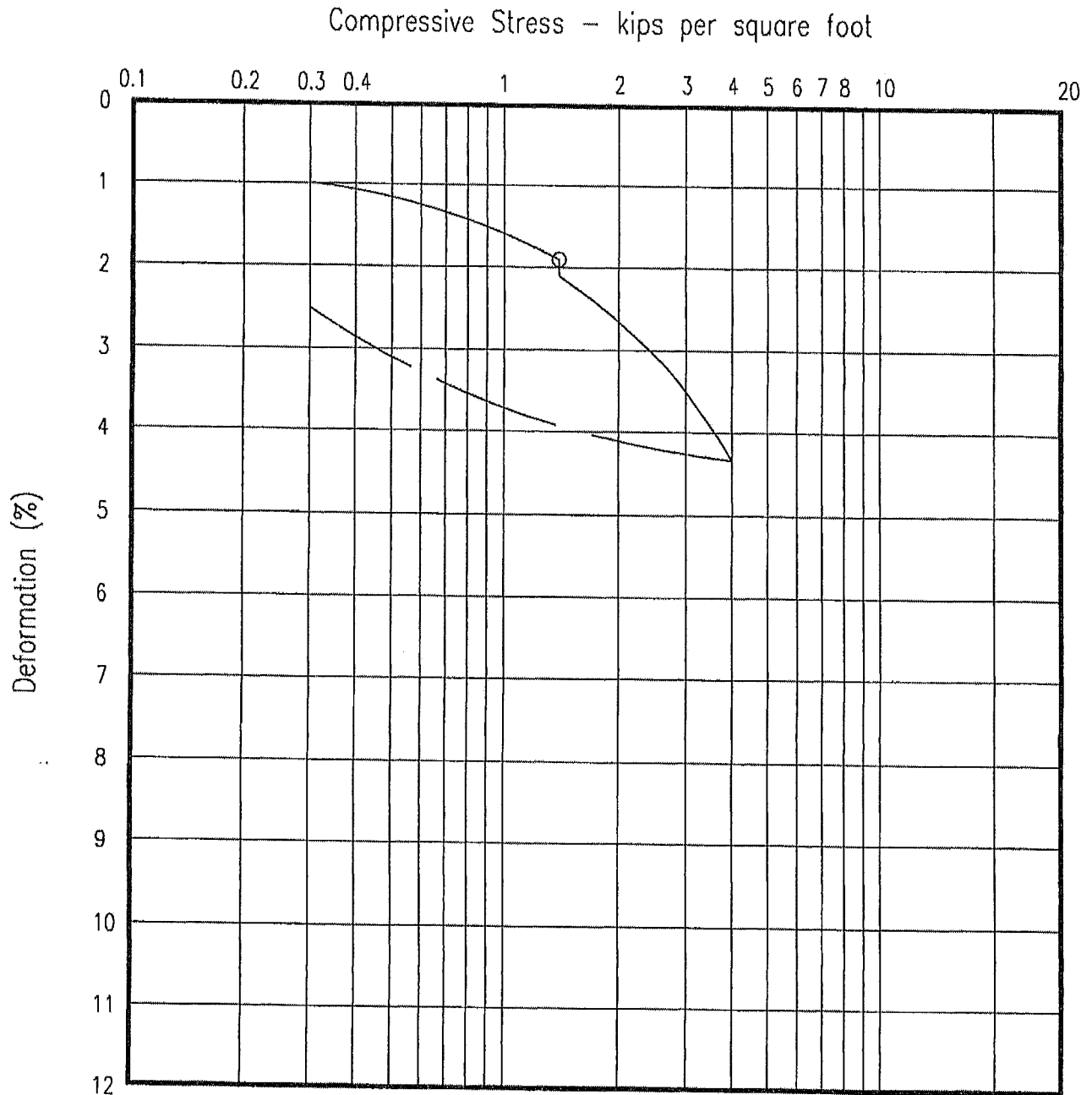


| Symbol | Boring No. | Depth (feet) | USCS Symbol | Initial Moisture Content (% of dry wt.) | Saturated Moisture Content (% of dry wt.) | Dry Unit Weight (lbs./cu.ft.) | Cohesion (lbs./sq.ft.) | Angle of Friction (degree) |
|--------|------------|--------------|-------------|---|---|-------------------------------|------------------------|----------------------------|
| ●      | 1          | 4            | SW          | 5.3                                     | 26.6                                      | 97.3                          | 120                    | 32                         |

Samples were tested under saturated and drained conditions.

# CONSOLIDATION TEST

Boring No. : 1  
Depth: 7 feet  
Soil Type: fine to coarse clean SAND



○ Water added to Test Sample

PROJECT LOCATION

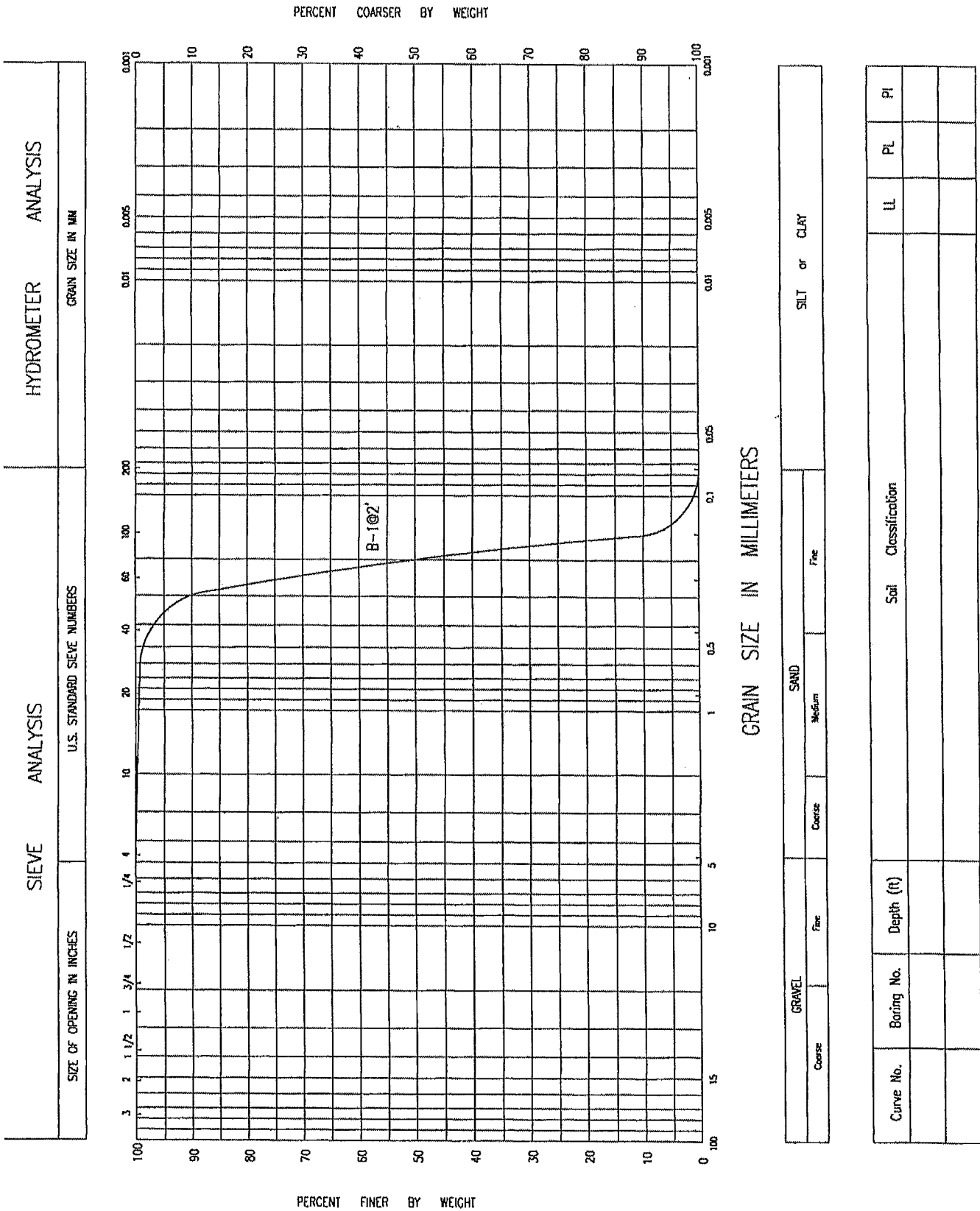
515 36th St  
Newport Beach, California

PROJECT No.

1660-S

PLATE *AB* A-4

# GRADATION CURVE



**PROJECT LOCATION:**

515 36th St  
Newport Beach, California

**PROJECT No.:**

1660-S

**PLATE**

A-5

REPORT  
GEOTECHNICAL ENGINEERING INVESTIGATION

Proposed Single Family Residence  
515 36<sup>th</sup> St  
Newport Beach, CA

for

Jack Guo  
1519 Chapman Ave, suite 319  
Fullerton, CA 92831

Project No.: 1660-S  
April 13, 2018



**PACIFIC GEOTECH, INC.**  
GEOTECHNICAL ENGINEERING CONSULTANT

15038 CLARK AVE, HACIENDA HEIGHTS, CA 91745 • TEL 626-333-8507 • FAX 626-333-5056

E-mail: info@PGIsoil.com

April 13, 2018  
Project No.: 1660-S

Jack Guo  
1519 Chapman Ave, suite 319  
Fullerton, CA 92831

SUBJECT: Geotechnical Engineering Investigation  
Proposed Single Family Residence  
515 36<sup>th</sup> St, Newport Beach, CA

Dear Mr. Guo,

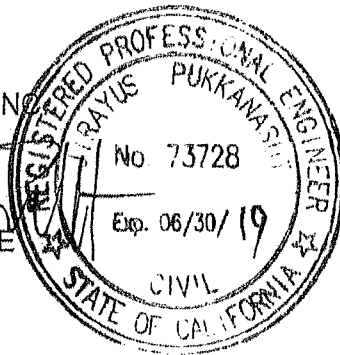
In accordance with your request and authorization, a Geotechnical Engineering Investigation has been conducted for the above-referenced project. The accompanying report presents the findings of our study, and our conclusions and recommendations pertaining to the geotechnical aspects of construction. Based on the results of our investigation, it is our opinion that the site can be developed as proposed, provided the recommendations of this report are followed and implemented during design and construction.

We appreciate the opportunity to be of service on this project. If you have questions regarding the content of this report or if we may be of additional assistance, please do not hesitate to call at any time.

Sincerely,

PACIFIC GEOTECH, INC.

Jirayus Pukkanasut, PE  
PCE No. 73728





## Table of Contents

|     |   |        |
|-----|---|--------|
| 1.  | PURPOSE AND SCOPE .....                     | - 1 -  |
| 2.  | PROJECT DESCRIPTION.....                    | - 1 -  |
| 3.  | SITE DESCRIPTION .....                      | - 1 -  |
| 4.  | SUBSURFACE EXPLORATION .....                | - 2 -  |
| 5.  | SUBSURFACE CONDITIONS .....                 | - 2 -  |
|     | 5.1    Soil Conditions .....                | - 2 -  |
|     | 5.2    Groundwater .....                    | - 2 -  |
| 6.  | LABORATORY TESTING .....                    | - 2 -  |
| 7.  | EARTHQUAKE HAZARDS .....                    | - 3 -  |
|     | 7.1    Faulting .....                       | - 3 -  |
|     | 7.2    Soil Liquefaction .....              | - 3 -  |
| 8.  | CONCLUSION AND RECOMMENDATIONS.....         | - 5 -  |
|     | 8.1    Soil Expansion .....                 | - 5 -  |
|     | 8.2    Seismic Design Parameters .....      | - 5 -  |
|     | 8.3    Foundation Design .....              | - 6 -  |
|     | 8.3.1    Conventional Spread Footings ..... | - 6 -  |
|     | 8.3.2    Lateral Design .....               | - 6 -  |
|     | 8.3.3    Footing Reinforcement .....        | - 7 -  |
|     | 8.3.4    Foundation Settlement .....        | - 7 -  |
|     | 8.4    Slabs on Grade .....                 | - 7 -  |
|     | 8.4.1    Moisture Barrier.....              | - 7 -  |
|     | 8.5    Site Grading .....                   | - 8 -  |
|     | 8.6    Drainage .....                       | - 8 -  |
|     | 8.7    Trench Backfill .....                | - 9 -  |
| 9.  | GEOTECHNICAL INSPECTION.....                | - 9 -  |
| 10. | GRADING SPECIFICATIONS .....                | - 10 - |
|     | PLATE 1:    VICINITY MAP                    |        |
|     | PLATE 2:    VOLUMETRIC STRAIN CHART         |        |
|     | APPENDIX A:                                 |        |
|     | LOG OF TEST BORING                          |        |
|     | LABORATORY TESTS                            |        |
|     | APPENDIX B:                                 |        |
|     | SEISMIC DESIGN MAPS SUMMARY                 |        |

## 1. PURPOSE AND SCOPE

This report presents the results of a geotechnical engineering investigation for a proposed single family residence at the subject site. The location of the site relative to surrounding streets and landmarks is shown on the Vicinity Map, Plate 1. The purpose of the investigation is to evaluate subsurface soil conditions and, based on the conditions encountered, to provide conclusions and recommendations pertaining to the geotechnical aspects of design and construction.

The scope of services authorized for this project includes a visual site reconnaissance, subsurface exploration, field and laboratory testing, and geotechnical engineering analyses to provide criteria for preparing design of the building foundations.

Recommendations presented in this report are based on the information provided by the client. The design information shall be reviewed with actual building details and site plan details. We should be notified of discrepancies to evaluate the impact upon the geotechnical recommendations.

This report has been prepared for use in design of the described project. It may not contain sufficient information for other purposes. Our professional services have been performed in accordance with generally accepted engineering procedures under similar circumstances. No other warranty, expressed or implied, is made as to the professional advice included in this report.

## 2. PROJECT DESCRIPTION

The proposed project is to construct a single family residence. The proposed building will be two-story in height with slabs on grade.

## 3. SITE DESCRIPTION

The subject property is located on the west side of 36<sup>th</sup> St between Short St and Finley Ave in the city of Newport Beach, California. The site is bounded on the east side by 36<sup>th</sup> St, the west side by a channel and on the other two sides by a developed lots with single family residences.

The site is essentially flat and occupied by a two-story house which will be demolished for a new construction.

#### 4. SUBSURFACE EXPLORATION

Field exploration for the subject site consists of two test borings drilled to depths of 10 and 12 feet by means of a hollow stem auger. The exploration was logged by our field engineer and undisturbed ring samples and disturbed SPT samples were obtained for laboratory testing and inspection. Logs of the test borings are enclosed in the APPENDIX.

#### 5. SUBSURFACE CONDITIONS

##### 5.1 Soil Conditions

The subsurface soils disclosed at the test borings consist generally of dense, light brown to grayish brown, fine to medium to coarse, clean sand to the depth explored of 12 feet.

##### 5.2 Groundwater

Groundwater was encountered in all test borings at a depth of 4 feet below the existing grade.

#### 6. LABORATORY TESTING

Laboratory testing was programmed following a review of the field investigation, and after considering the probable foundation system to be evaluated. Selected soil samples were tested for the following properties:

- Field Moisture and Unit Weight (ASTM D-2216)
- Shear Resistance (ASTM D-3080)
- Consolidation Characteristics (ASTM D-2435)
- Grain Size Analysis (ASTM D-1140)

The test results of moisture content and unit weight are tabulated in the Log of Boring, and shearing resistance and consolidation characteristics are plotted on Direct Shear, and Consolidation, respectively, in APPENDIX A.

## 7. EARTHQUAKE HAZARDS

### 7.1 Faulting

Based on criteria established by the California Geological Survey, faults may be categorized as active, potentially active, or inactive. Active faults are those that show evidence of surface displacement within the last 11,000 years. Potentially active faults are those that show evidence of last displacement within the last 1.6 million years. Faults showing no evidence of displacement within the last 1.6 million years may be considered inactive for most purposes, except for some critical structures.

In 1972, the Alquist-Priolo Earthquake Fault Zoning Act was enacted. The act defines active and potentially active faults essentially the same way as that used by the California Geological Survey. The site is not located within a designated Alquist-Priolo Earthquake Fault Zone. No active or potentially active faults are known to exist within the site. The probability of surface rupture at the site from faulting is considered to be very low.

According to the "2010 Fault Activity Map of California, Jennings & Bryant" provided by California Geological Survey, Department of Conservation, the site is located within approximately 0.3 miles of a known active fault, which is the unnamed fault in Newport-Inglewood-Rose Canyon fault zone. The proposed structure shall be designed in accordance with the Earthquake Regulations of the 2016 California Building Code and the seismic design parameters provided in this report.

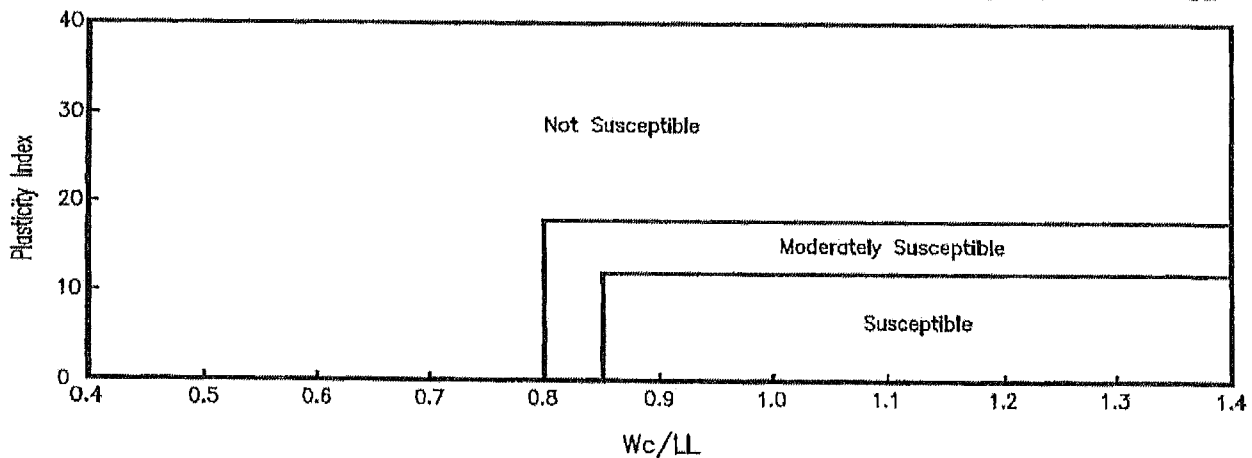
### 7.2 Soil Liquefaction

The site is located within a liquefaction zone as shown on the State of California "Seismic Hazard Zones" map.

Earthquake-induced liquefaction is a phenomenon in which loose to medium dense saturated cohesionless soils undergo extreme losses in shear strength due to earthquake shaking. The liquefaction potential is directly related to the groundwater conditions at the site, as well as to the characteristics of the underlying soil deposits. Loose to medium dense sands below groundwater level are generally considered to be susceptible to liquefaction under strong ground shaking conditions.

One exploratory boring was drilled to a depth of 12 feet by a hand auger. Drive sample SPT blow counts were measured at a two-foot interval from 0 to 12 feet, and undisturbed ring samples and disturbed SPT samples were obtained at the same depths as SPT blow counts. The log of boring and gradation curves are provided in APPENDIX A.

Figure. 1 Graphical Representation of Liquefaction Susceptible Criteria



Reference: Bray J. D. and Sancio R. B., 2006 "Assessment of the Liquefaction Susceptibility of Fine-grained Soils" Journal of Geotechnical and Geoenvironmental Engineering, ASCE, September 2006

Screening criteria were performed for the samples between 1 and 12 feet, utilizing plasticity index (PI) and saturated moisture content ( $w_{sat}$ ) in accordance with the procedure referenced in the Bray and Sancio paper. The soils having  $PI > 18$  and  $w_{sat} < 0.8LL$  were classified "non-liquefiable". The result of the screening assessment is summarized on Table 1. The graphical representation of liquefaction susceptible criteria is shown on Figure 1.

Per the Special Publication 117A, "Guidelines for Evaluating and Mitigating Seismic Hazards in California" and the 2016 California Building Code, PGA of 0.7g corresponding to the  $PGA_M$  with 2% probability of exceedance in 50 years and an earthquake magnitude of 7.1 were obtained from the USGS Interactive Deaggregation Web Site. Liquefaction analysis was performed for the soil layers from 1 to 12 feet utilizing the historically high groundwater table at the site of 4 feet published by the State of California, Department of Conservation, Division of Mines and Geology, Open-File Report 98-10, Seismic Hazard Evaluation of the Newport Beach Quad., and its result is provided on Table 1.

**TABLE 1. SUMMARY OF SOIL LIQUEFACTION EVALUATION**

(based on Boring-1)  
 Design Earthquake Magnitude 7.10  
 Maximum Ground Acceleration 0.70 g  
 Historic High Groundwater 4.0 feet bgs  
 Current Groundwater 4.0 feet bgs

| Sample Depth (ft) | Soil Type | Layer (ft) | Thickness (ft) | Fines Content (<0.074mm) % | Liquid Limit % | Plastic Limit % | Plasticity Index % | Sat. Moisture Content % | Wet Unit Weight pcf | Total Overburden Pressure psf | Effective Overburden Pressure psf | Measured N-value $N_m$ | Eq (9) Overburden Factor $C_N$ | N-Value Correction Factors $*C_E C_D C_R C_S$ | Table (2) Eq (10) Normalized N-value | Eq (6) Fines Content Factor $\alpha$ | Eq (7) Fines Content Factor $\beta$ | Corrected N-value Eq (5) $(N_1)_{60CS}$ | Depth Reduction Coefficient Eq (2) $r_d$ | Cyclic Resistance Ratio Eq (4) $CRR_{7.5}$ | Cyclic Stress Ratio Eq (1) $CSR$ | Magnitude Scaling Factor Eq(2) $MSF$ | Factor of Safety Eq (24) | Volumetric Strain % | Settlement (inch) |  |  |
|-------------------|-----------|------------|----------------|----------------------------|----------------|-----------------|--------------------|-------------------------|---------------------|-------------------------------|-----------------------------------|------------------------|--------------------------------|---|--------------------------------------|--------------------------------------|-------------------------------------|---|--|--|----------------------------------|--------------------------------------|--------------------------|---------------------|-------------------|--|--|
| 0-1               |           |            | 1              |                            |                |                 |                    |                         | 105                 | 105                           | 105                               |                        |                                |   |                                      |                                      |                                     |   |  |  |                                  |                                      |                          |                     |                   |  |  |
| 2                 | sand      | 1-3        | 2              | 0.0                        | NP             | NP              | NP                 | 25.0                    | 124.3               | 334                           | 459                               | 13                     | 2.52                           | 1.20  | 39.2                                 | 0                                    | 1.0                                 | 39.2                                    | 1.00                                     | N/A  | 0.330                            | 1.145                                | non-liqu                 | N/A                 | -                 |  |  |
| 4                 | sand      | 3-5        | 2              | 0.0                        | NP             | NP              | NP                 | 26.4                    | 123.0               | 582                           | 582                               | 16                     | 1.91                           | 1.20  | 36.6                                 | 0                                    | 1.0                                 | 36.6                                    | 1.00                                     | N/A  | 0.455                            | 1.145                                | non-liqu                 | N/A                 | -                 |  |  |
| 6                 | sand      | 5-7        | 2              | 0.0                        | NP             | NP              | NP                 | 33.6                    | 116.9               | 821                           | 697                               | 12                     | 1.74                           | 1.20  | 25.1                                 | 0                                    | 1.0                                 | 25.1                                    | 1.00                                     | 0.284                                      | 0.537                            | 1.145                                | 0.61                     | 1.3                 | 0.31              |  |  |
| 8                 | sand      | 7-9        | 2              | 0.0                        | NP             | NP              | NP                 | 31.8                    | 118.3               | 1057                          | 807                               | 11                     | 1.62                           | 1.20  | 21.4                                 | 0                                    | 1.0                                 | 21.4                                    | 1.00                                     | 0.232                                      | 0.596                            | 1.145                                | 0.45                     | 1.5                 | 0.36              |  |  |
| 10                | sand      | 9-11       | 2              | 0.0                        | NP             | NP              | NP                 | 33.9                    | 116.6               | 1313                          | 939                               | 12                     | 1.50                           | 1.20  | 21.6                                 | 0                                    | 1.0                                 | 21.6                                    | 1.00                                     | 0.235                                      | 0.636                            | 1.145                                | 0.42                     | 1.5                 | 0.36              |  |  |
| 12                | sand      | 11-12      | 1              | 0.0                        | NP             | NP              | NP                 | 32.2                    | 117.9               | 1548                          | 1048                              | 15                     | 1.42                           | 1.20  | 25.6                                 | 0                                    | 1.0                                 | 25.6                                    | 1.00                                     | 0.292                                      | 0.672                            | 1.145                                | 0.50                     | 1.2                 | 0.14              |  |  |
|                   |           |            |                |                            |                |                 |                    |                         |                     |                               |                                   |                        |                                |   |                                      |                                      |                                     |   |  |  |                                  |                                      | Total                    | 1.18                |                   |  |  |

\*  $C_E=1.0, C_D=1, C_R=1, C_S=1.2$  "non-lique": if  $PI \geq 18$  or  $W_{sat} < 0.8LL$ , or  $(N1)_{60CS} >= 30$

**REFERENCE:**

"Proceeding of the NCEER Workshop on Evaluation of Liquefaction Resistance of Soils", Technical Report NCEER-97-0022, December 31, 1997

Potential seismic-induced settlement was computed for the soil layers from the existing grade and 12 feet having a safety factor less than 1.3 in accordance with City of Newport Beach, Building Code Policy and simplified method proposed by Kohji Tokimatsu and Seed, H.B. 1987, "Evaluation of Settlement in Sands due to Earthquake Shaking", Journal of the Geotechnical Engineering Division, ASCE, Vol. 113, No. 8, August, 1987. Volumetric strain chart is presented on Plate 2. Based on the result of the analysis, seismic-induced settlement for the soil layers from the existing grade and 12 feet will be on the order of 1.18 inch.

## **8. CONCLUSION AND RECOMMENDATIONS**

Based on our evaluation of the site conditions and findings of this investigation, it is concluded that the development of the subject property is feasible from the geotechnical engineering viewpoint provided the following conclusions and recommendations are incorporated into design criteria and project specifications and are implemented during construction.

The proposed building may be supported on a mat foundation due to liquefaction potential.

### **8.1 Soil Expansion**

The subsurface soils consist generally of clean sand. These soils will have no expansion potential. No special design is required to mitigate expansion potential.

### **8.2 Seismic Design Parameters**

The project site is classified as Site Class F. However, in accordance with the exception to Section 20.3.1, ASCE/SEI 7-10, as the proposed structure has fundamental periods of vibration less than 0.5 second, the site-response analysis is not required to determine spectral acceleration for liquefaction soils and a Site Class is permitted to be determined in accordance with Section 20.3 and the corresponding values of  $F_a$  and  $F_v$  from Table 11.4-1 and 11.4-2.

Based on 2016 California Building Code and site soil properties, the site is classified as Site Class D and the following seismic design parameters are applicable:

| SEISMIC COEFFICIENTS (2016 California Building Code)  |                             |                             |
|---|-----------------------------|-----------------------------|
| Risk Category<br>(Table 1604.5, CBC 2016)   | II                          |                             |
| Importance Factors<br>(Table 1.5-2 ASCE 7-10)   | 1.0                         |                             |
|   | Short Period (0.2s)         | One-Second Period           |
| Earth Materials and Site Class<br>(Table 20.3-1 ASCE 7-10)  | Alluvium - S <sub>b</sub>   |                             |
| Mapped Maximum Considered Earthquake<br>(MCE) Spectral Response Acceleration<br>(Figures 1613.3.1(1) through 1613.3.1(8)) | S <sub>s</sub> = 1.701 (g)  | S <sub>1</sub> = 0.629 (g)  |
| Site Coefficients<br>(Table 1613.3.3(1) and 1613.3.3(2))  | F <sub>a</sub> = 1.0        | F <sub>v</sub> = 1.5        |
| Adjusted MCE Spectral Response Acceleration<br>(Equations 16-37 and 16-38)  | S <sub>MS</sub> = 1.701 (g) | S <sub>M1</sub> = 0.943 (g) |
| Design Acceleration<br>(Equations 16-39 and 16-40)  | S <sub>DS</sub> = 1.134 (g) | S <sub>D1</sub> = 0.629 (g) |
| Seismic Design Category<br>(Table 1613.3.5(1) and 1613.3.5(2))  | D                           |                             |

### 8.3 Foundation Design

#### 8.3.1 Conventional Spread Footings

An allowable bearing value of 1,000 pounds per square foot is recommended for a mat foundation of at least 12 inch thick, placed at a depth of at least 12 inches below the lowest adjacent final grade, bearing in the existing natural soils.

For an elastic method of design, a modulus of subgrade reaction of 50 pounds per cubic inch may be used.

The bearing values are for dead plus live loads and may be increased by one-third for momentary wind or seismic loads.

#### 8.3.2 Lateral Design

Resistance to lateral loading may be provided by passive earth pressure within the soil and by friction acting at the base of foundations and slabs on grade. Passive earth pressure may be computed as an equivalent fluid having a density of 200 pounds per cubic foot to a maximum of 1,000 pounds per square foot.



Friction between the base of the footings and/or floor slabs and the underlying soil may be assumed to be 0.40 times the dead load. When combining passive pressure and friction for lateral resistance, the passive component should be reduced by one-third.

### **8.3.3 Footing Reinforcement**

Continuous footings should be reinforced with at least four No. 4 bars; two near the top and two near the bottom of the footings. Reinforcement of isolated footings shall be utilized as deemed necessary by the Structural Engineer for the project.

### **8.3.4 Foundation Settlement**

The total static settlement of the foundations is estimated not to exceed three quarters of an inch. Differential settlement between adjacent footings is expected not to exceed half of an inch.

## **8.4 Slabs on Grade**

Mat foundation will serve as slab on grade.

### **8.4.1 Moisture Barrier**

The floor slab shall be underlain by a 4-inch thick layer of granular material. A minimum 10-mil synthetic sheet should be placed below the floor slab to serve as a vapor retarder where required to protect moisture sensitive floor coverings and to minimize moisture passing through the floor slab. The vapor retarder shall be in accordance with ASTM E 1745-97. The sheets of the vapor retarder material should be evaluated for holes and/or punctures prior to placement and the edges overlapped and taped. If materials underlying the vapor retarder contain sharp, angular particles, a layer of clean sand approximately 2 inches thick should be provided to protect it from puncture.

An additional 2-inch thick layer of clean sand may be needed between the slab and the vapor retarder to promote proper curing per ASTM E 1745-97. The clean sand layers above and below the vapor retarder may be used as a substitute for the granular material below the slab.

### **8.5 Site Grading**

A preconstruction conference shall be held at the site prior to the beginning of grading operations with the owner, contractor, civil engineer, and soil engineer in attendance. Special soil handling requirements can be discussed at that time. Earthwork shall be observed, and compacted fill tested by a representative of Pacific Geotech who shall also inspect and approve all excavations. Any questionable material encountered during grading should be brought immediately to the attention of Pacific Geotech.

Grading shall commence with the removal of all existing vegetation and existing improvements from the area to be graded. Wood, roots, asphalt, concrete and other debris shall be exported from the site and shall not be mixed with the fill soils. All existing underground improvements planned for removal shall be completely excavated and the resulting depressions shall be properly backfilled in accordance with the procedures described herein.

During the rainy season between November 1 and April 15, excavated areas shall be protected from rainwater. Temporary provisions should be made to adequately direct surface runoff to the street.

### **8.6 Drainage**

Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building. If physical obstructions or lot lines prohibit 10 feet of horizontal distance, 2-percent swales shall be provided to divert water away from the foundations.

It is important that drainage patterns established at the time of fine-grading are maintained throughout the life of the structures. Property owners should be aware that improperly designed and maintained irrigation systems for landscaping may cause distress to the foundation system and cracking of concrete slabs.

Where slabs or pavement are not feasible adjacent to the buildings, the ground surface should be provided with a minimum gradient of 2 percent away from the structures.

### **8.7 Trench Backfill**

Utility trenches shall be compacted to a minimum of 90 percent of the maximum dry density as determined by ASTM D-1557 standard density. Density testing, along with probing, should be performed by a Pacific Geotech representative, to verify proper compaction.

If utility contractors indicate that it is undesirable to use compaction equipment in proximity to a buried conduit, we recommend using a light weight mechanical equipment or covering the conduit with clean granular material prior to initiating mechanical compaction procedures.

Where utility trenches are proposed parallel to building footings (interior and/or exterior trenches), the bottom of the trench should not extend below a 1 horizontal to 1 vertical plane projection downward from the outside bottom edge of the adjacent footing. Where this condition occurs, the adjacent footing should be deepened.

## **9. GEOTECHNICAL INSPECTION**

This report presents recommendations based on the assumption that the subsurface conditions do not deviate appreciably from those found during our current site exploration. The possibility of different localized soil conditions cannot be discounted. It is the responsibility of the owner or his representative to bring any deviations or unexpected conditions observed during construction to the attention of Pacific Geotech. This way any required supplemental recommendations can be made with a minimum of delay to the project. Construction should be observed and/or tested at the following stages by Pacific Geotech.

- All footing excavations before placement of steel
- Trench backfills
- When any unusual conditions are encountered

If any of these inspections to verify site geotechnical conditions are not performed by Pacific Geotech, liability for the safety and stability of the project is limited only to the actual portions of the project approved by Pacific Geotech.



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**OWNER-BUILDER ACKNOWLEDGEMENT AND INFORMATION VERIFICATION**  
**(HSC 19825)**

**NOTICE TO PROPERTY OWNER**

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at 515 46th ST. Newport Beach, CA 92663

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

**We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated.** An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

**OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION**

*DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.*

A 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

W 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

W 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

W 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

W 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

W 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

W 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

W 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

6/1 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

6/1 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: \_\_\_\_\_

6/1 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

6/1 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form.

Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage.

**Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the City of Newport Beach, Building Division, for issuing the permit.**

**Note: A copy of the property owner's driver's license or form notarization is required to be presented when the permit is issued to verify the property owner's signature.**

Print name of property owner: Jianhua Jin

Property Owner's Signature: [Signature] Date: 5/28/2020

Note: The following Authorization Form is required to be completed by the property owner only when designating an agent of the property owner to apply for a construction permit for the Owner-Builder.

### AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Excluding the Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Construction Project (or Description of Work):

New Construction

Project Location or Address: 515. 26th ST. Newport Beach, CA. 92663

Name of Authorized Agent: Roger Jen Tel No (562) 338-9555

Address of Authorized Agent: \_\_\_\_\_

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy. Note: A copy of the owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Property Owner's Signature: [Signature] Date: 5/28/2020

Note: A copy of the owner's driver's license or form notarization is required to be presented when the permit is issued to verify the property owner's signature.



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - MFP

\*X2022~1748\*

COMB Permit : X2022-1748

Project No : 2975-2018

INSPECTOR

Issued Date :

Inspection Area : 1

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY OR PERMIT WILL BE INVALID

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 515 36TH ST NB
Description: NEW DUPLEX & GARAGE 4082/422 SF Change of Contractor\*
Legal Desc.: CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536

Owner: TJ MERCURY INC
Address: 18535 FIELDBROOK ST
ROWLAND HEIGHTS, CA 91768

Phone:

Applicant: HUDGINS SCOTT
Address: 1107 S COAST HWY
LAGUNA BEACH CA 92651
Phone: 949-322-7922

Code Edit : 2016
Type of Construction: V-B-SPR
Occupancy Group: R3/U
Added /New sq.ft. Bldg: 4082
Added /New sq. ft. Garage: 422
No of Stories: 3
No of Units : 2
Bldg Height: 0
Bldg Sprinklers: Y
Flood Zone: AE8

Contractor: TOP STAR USA CONSTRUCTION INC
Address: 4127 WALNUT GROVE APT A
ROSEMEAD, CA 91770
Phone: 626-200-7598
Date:
Architect:
Address:
If applicable:
State Lic:
Engineer: AFZAL BEHZAD
Address: 4000 BARRANCA PKWY #250
IRVINE CA 92604
Phone: 949-836-8298
State Lic: C-079628
Lic Exp Date: 03/31/2023
Worker's Compensation Insurance
Carrier: STATE COMP
Policy No: 9279884
Expire: 07/11/2022
Designer:
Address:
Phone:
Special Conditions: CHANGE OF CONTRACTOR TO:
X2018-3856
Scan plan
Discard plan
Use Zone: R-2
Parking Spaces: 0
Fire Hazard Zone: N

CANCELLED
EXPIRED

Table with columns for Construction Valuation, Excise Tax, Additional Fee, Grading Bonds Fee, Grading PC Consultant, Grading Permit Fee, Grading PC Fee, WQ Insp Fee, Electrical %, Mechanical %, Plumbing %, Planning Department, Fire Department, Public Works Department, and Fee Due at Permit Issuance.

PROCESSED BY: B5
ZONING APPROVAL:
GRADING APPROVAL:

PUBLIC WORKS APPROVAL:
PLAN CHECK BY:
APPROVAL TO ISSUE:

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason:  
 By my signature below, I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No. \_\_\_\_\_ Date 6/22/22 Contractor Signature [Signature]

**WORKERS' COMPENSATION DECLARATION**

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_

Name of Agent \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature] Date 6/22/22

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code). Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name \_\_\_\_\_ Date 6/22/22

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403                                |
|--|------|----|--|
| PERMIT EXPIRED                               |      |    | <input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO  |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA   |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD  |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input checked="" type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: <u>[Signature]</u> |

FOR OFFICE USE ONLY



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>6/11/2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site): | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

#### PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS   | SHEAR WALLS   | FRAMES                            | DIAPHRAGMS (Floor/Roof)             | INDICATE LOCATION(S) OBSERVED  | DATE OBSERVED |
|---|---|-----------------------------------|-------------------------------------|--|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                               | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete   | SHEAR WALLS, HOLDOWNS, NAILING, SOLE PLATE NAILING, SILL PLATE, SHEAR TRANSFER | 6/11/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                                | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck |  |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input checked="" type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input type="checkbox"/> Wood       |  |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                                 | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:     |  |               |

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

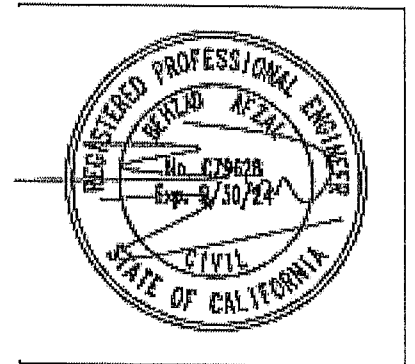
I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

6/11/2024

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.





**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**Structural Observation Report**

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>4/22/2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site): | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)                  | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|---|--|-----------------------------------|--|-------------------------------|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete        | ROOF sheathing/diaphragm only | 4/22/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck      |                               |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input checked="" type="checkbox"/> Wood |                               |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:          |                               |               |

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

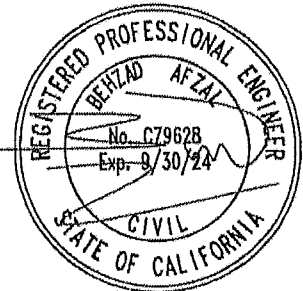
REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

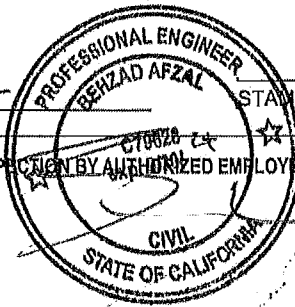
I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



*[Signature]*  
 SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

4/22/24  
 DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>6/11/2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site): | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS   | FRAMES                            | DIAPHRAGMS (Floor/Roof)             | INDICATE LOCATION(S) OBSERVED  | DATE OBSERVED |
|---|---|-----------------------------------|-------------------------------------|--|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                               | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete   | SHEAR WALLS, HOLDOWNS, NAILING, SOLE PLATE NAILING, SILL PLATE, SHEAR TRANSFER | 6/11/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                                | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck |  |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input checked="" type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input type="checkbox"/> Wood       |  |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                                 | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:     |  |               |

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

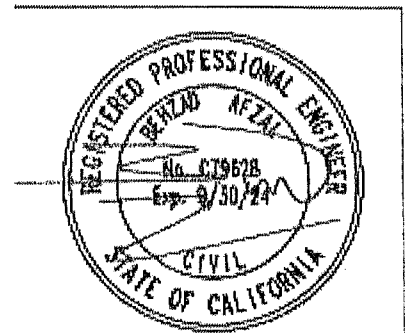
I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

6/11/2024

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

## Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>6/11/2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site): | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS   | FRAMES                            | DIAPHRAGMS (Floor/Roof)             | INDICATE LOCATION(S) OBSERVED  | DATE OBSERVED |
|---|---|-----------------------------------|-------------------------------------|--|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                               | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete   | SHEAR WALLS, HOLDOWNS, NAILING, SOLE PLATE NAILING, SILL PLATE, SHEAR TRANSFER | 6/11/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                                | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck |  |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input checked="" type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input type="checkbox"/> Wood       |  |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                                 | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:     |  |               |

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

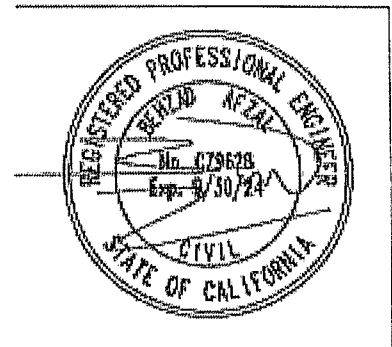
I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

6/11/2024

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

**Structural Observation Report**

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>4/22/2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site): | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)                  | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|---|--|-----------------------------------|--|-------------------------------|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete        | ROOF sheathing/diaphragm only | 4/22/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck      |                               |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input checked="" type="checkbox"/> Wood |                               |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:          |                               |               |

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

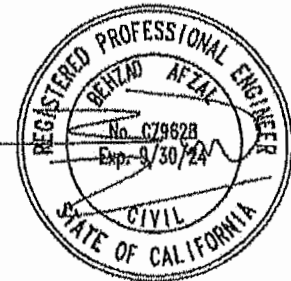
REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

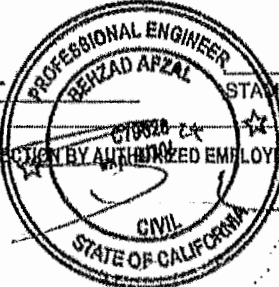
I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



*[Handwritten Signature]*

4/22/24



SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STAMP OF STRUCTURAL OBSERVER

**STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.**



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeach.ca.gov](http://www.newportbeach.ca.gov) | (949) 644-3200

### Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>10-30-2023                        | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site); | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)                  | INDICATE LOCATION(S) OBSERVED      | DATE OBSERVED |
|---|--|-----------------------------------|--|------------------------------------|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete        | 1st floor sheathing/diaphragm only | 10/30/23      |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck      |                                    |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input checked="" type="checkbox"/> Wood |                                    |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:          |                                    |               |

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD \_\_\_\_\_ DATE \_\_\_\_\_

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>1-1/-2024                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site); | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)                  | INDICATE LOCATION(S) OBSERVED      | DATE OBSERVED |
|---|--|-----------------------------------|--|------------------------------------|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete        | 2nd floor sheathing/diaphragm only | 1/18/24       |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck      |                                    |               |
| <input type="checkbox"/> Calssons, Piles, Grade Beams         | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input checked="" type="checkbox"/> Wood |                                    |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:          |                                    |               |

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

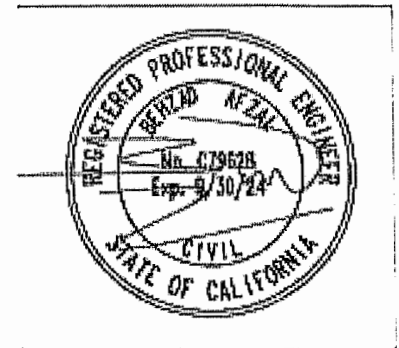
REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

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3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD \_\_\_\_\_ DATE \_\_\_\_\_

**STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.**



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

|  |   |                                 |                                |
|--|---|---------------------------------|--------------------------------|
| Project Address:<br>515 36th STREET                    | Report Date:<br>5-11-2023                         | CNB Inspector Name:             | CNB Permit #:                  |
| Building Owner Name:                                   | Owner's Mailing Address (if different from site); | Owner's Telephone #:            | CNB Plan Check #:              |
| Full Name of Structural Observer (SO):<br>BEHZAD AFZAL | SO E-mail Address:<br>baengg@hotmail.com          | SO Telephone #:<br>949-836-8298 | SO License / Reg. #:<br>C79628 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS  | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)             | INDICATE LOCATION(S) OBSERVED   | DATE OBSERVED |
|--|--|-----------------------------------|-------------------------------------|---|---------------|
| <input type="checkbox"/> Conventional Footings & Slab                    | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete   | MAT SLAB SIZE , REBARS. ANCHOR BOLTS, HOLD-DOWNS, COLUMN BASES, SLAB. |               |
| <input checked="" type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck |   |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams                    | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input type="checkbox"/> Wood       |   |               |
| <input type="checkbox"/> Other:  | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:     |   |               |

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

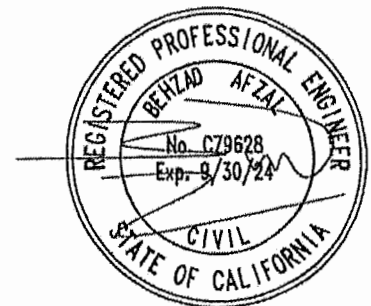
REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

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- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



STAMP OF STRUCTURAL OBSERVER

\_\_\_\_\_  
SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

\_\_\_\_\_  
DATE

**STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.**



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

**Structural Observation Report**

|   |   |                                   |                                 |
|---|---|-----------------------------------|---------------------------------|
| Project Address:<br>515 36TH STREET                           | Report Date:<br>03/06/23                          | CNB Inspector Name:               | CNB Permit #:                   |
| Building Owner Name:<br>777 SEAVIEW ISLAND LLC                | Owner's Mailing Address (if different from site): | Owner's Telephone #:              | CNB Plan Check #:               |
| Full Name of Structural Observer (SO):<br>PLAMEN PETROV, P.E. | SO E-mail Address:<br>CONSULTING@PMA-BG.COM       | SO Telephone #:<br>(714) 717-7542 | SO License / Reg. #:<br>C 66947 |

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

| FOUNDATIONS   | SHEAR WALLS  | FRAMES                            | DIAPHRAGMS (Floor/Roof)             | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|---|--|-----------------------------------|-------------------------------------|-------------------------------|---------------|
| <input type="checkbox"/> Conventional Footings & Slab         | <input type="checkbox"/> Concrete                    | <input type="checkbox"/> Steel    | <input type="checkbox"/> Concrete   |                               |               |
| <input type="checkbox"/> Mat Foundation, Prestressed Concrete | <input type="checkbox"/> Masonry                     | <input type="checkbox"/> Concrete | <input type="checkbox"/> Steel Deck |                               |               |
| <input type="checkbox"/> Caissons, Piles, Grade Beams         | <input type="checkbox"/> Wood or Manuf. Shear Panels | <input type="checkbox"/> Masonry  | <input type="checkbox"/> Wood       |                               |               |
| <input type="checkbox"/> Other:                               | <input type="checkbox"/> Other:                      | <input type="checkbox"/> Other:   | <input type="checkbox"/> Other:     |                               |               |

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT** FOR THE SEAWALL PROJECT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

*[Handwritten Signature]*

03/06/23

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.





# City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone (949)644-3288  
Inspection Requests Phone (949)644-3255  
Combination Type - MFP ELEC MECH PLUM GRAD



## INSPECTOR

COMB Permit : X2018-3856

Project No : 2975-2018

Issued Date : 06/12/2020

Inspection Area : 1

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 06/13/2023 OR PERMIT WILL BE INVALID

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 515 36TH ST NB  
Description: NEW DUPLEX & GARAGE 4082/422 SF  
Legal Desc.: CANAL SECTION LOT 8 BLK 536(AND NELY1/2 LOT 7 BLK 536

FEMA ELEVATION CERTIFICATE

REQUIRED FOR FINAL

Owner: TJ MERCURY INC  
Address: 18535 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91768  
Phone:  
Applicant: HUDGINS SCOTT  
Address: 1107 S COAST HWY  
LAGUNA BEACH CA 92651  
Phone: 949-322-7922

Contractor: OWNER/BLDR  
Address: AUTH AGENT:  
ROGER JEN  
Phone:

Architect:  
Address:  
If applicable:  
Phone: State Lic

Date:  
 CANCEL  
 EXPIRED

Engineer: AAEZAL BEHZAD  
Address: 4000 BARRANCA PKWY #250  
IRVINE CA 92604  
Phone: 949-836-8298 State Lic: C-079628

Code Edit : 2016  
Type of Construction: V-B-SPR  
Occupancy Group: R3/U  
Added /New sq.ft. Bldg: 4082  
Added /New sq. ft. Garage: 422  
No of Stories: 3  
No of Units : 2  
Bldg Height: 0  
Bldg Sprinklers: Y  
Flood Zone: 02%

Con State Lic: O/B  
Lic Expire:  
Bas Lic:  
Lic Exp Date:  
Worker's Compensation Insurance  
Carrier:  
Policy No:  
Expire:  
Building Setbacks: Rear: 30  
Front: 5  
Left: 4  
Right: 4  
Use Zone: R-2  
Parking Spaces: 0

Designer:  
Address:  
Phone:  
Special Conditions: O/B & LLC ATTACHED

Construction Valuation: \$770,000.00

Building Permit Fee: \$5,677.00  
Plan Check Fee: \$4,244.00  
Overtime Plan Ck: \$0.00  
Investigation Fee: \$0.00  
Record Management : \$138.00  
Energy Compliance: \$294.00  
CA Seismic Safety : \$100.10  
Disabled Access : \$0.00  
Hazardous Mat \$0.00  
Building Green Fee : \$31.00

Excise Tax: \$945.84  
Additional Fee: \$2,335.00  
Grading Bonds Fee: \$0.00  
Grading PC Consultant : \$1,548.16  
Grading Permit Fee: \$904.00  
Grading PC Fee: \$339.84  
WQ Insp. Fee : \$108.00  
Electrical %: \$794.78  
Mechanical %: \$624.47  
Plumbing %: \$510.93

Planning Department (no work started)  
Plan check Fee: \$432.00  
Fair Share : \$1,865.00  
SJH Trans : \$0.00  
In-lieu Housing Fee : \$0.00  
Public Works Department - Insp. Init : \$0.00  
Park Dedication : \$0.00  
P/W Plan Check : \$382.50  
San Dist : \$2,715.00  
NMUSD Fee: \$3,567.76

Fire Department  
Fire Inspection: \$0.00  
Fire Plan Rev \$0.00  
Demolition Fee  
Building Dept Adm \$0.00  
General Service \$0.00  
Refund Deposit \$0.00  
Grading Bond: \$0.00

TOTAL FEE : \$27,557.38

Plan Check Fee : \$5,440.00

Fee Due at Permit Issuance :

\$22,117.38

PROCESSED BY:

ZONING APPROVAL:

GRADING APPROVAL:

SOM  
MKW  
SRG

PUBLIC WORKS APPROVAL:

PLAN CHECK BY:

APPROVAL TO ISSUE:

DIC  
MRH  
SOM

NO CONSTRUCTION NOISE  
ON SATURDAYS

Scan plan  
Discard plan

Note

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date 6/12/2020

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date 6/12/2020

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name Roger Jen Date 6/12/2020

| ACTION                                       | DATE | BY | DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403  | FOR OFFICE USE ONLY |
|--|------|----|--|---------------------|
| PERMIT EXPIRED                               |      |    | <input checked="" type="checkbox"/> SUBMITTED ASBESTOS NOTIFICATION TO                             |                     |
| PERMIT CANCELLED                             |      |    | <input type="checkbox"/> EPA   |                     |
| PERMIT EXTENDED                              |      |    | <input type="checkbox"/> AQMD  |                     |
| PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED |      |    | <input checked="" type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION |                     |
|  |      |    | SIGNATURE _____  |                     |

## **Attachment No. 2**

Three-Year Construction Limit Activities



## PERMIT ACTIVITY REPORT (X2022-1748) FOR CITY OF NEWPORT BEACH

| Created Date      | Activity Type                    | Activity Name             | Activity Number | Activity Comments   | Created By     |
|-------------------|----------------------------------|---------------------------|-----------------|---|----------------|
| <b>03/13/2023</b> |                                  |                           |                 |   |                |
|                   | Generic Activity                 | APPLICATION SUBMITTE      | ACT-000358-2023 | 3-YEAR DEADLINE EXTENSION REQUEST SUBMITTED ON 03/02/2023 DUE TO APPLICANT NOT BEING NOTIFIED. SEE PERMIT X2018-2867.   | Tonee Thai     |
|                   | Generic Activity                 | EXTENSION APPROVED        | ACT-000361-2023 | 3-YEAR CONSTRUCTION TIME LIMIT 365 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 06/11/2024 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER. SEE PERMIT X2022-1748. | Tonee Thai     |
| <b>03/16/2023</b> |                                  |                           |                 |   |                |
|                   | Generic Activity                 | 3-YEAR DEADLINE EXTENSION | ACT-000423-2023 | MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER   | Debi Schank    |
| <b>04/11/2024</b> |                                  |                           |                 |   |                |
|                   | EXPIRED - PERMIT REPLACED        |                           |                 | See xr2023-0561   | Chad Shelton   |
| <b>07/31/2023</b> |                                  |                           |                 |   |                |
|                   | LOCKSTEP PERMIT WORK IN PROGRESS |                           |                 | Lockstep XR2023-0561  | Jason Rudenick |



## PERMIT ACTIVITY REPORT (X2022-1748) FOR CITY OF NEWPORT BEACH

| Created Date      | Activity Type                    | Activity Name             | Activity Number | Activity Comments   | Created By     |
|-------------------|----------------------------------|---------------------------|-----------------|---|----------------|
| <b>03/13/2023</b> |                                  |                           |                 |   |                |
|                   | Generic Activity                 | APPLICATION SUBMITTE      | ACT-000358-2023 | 3-YEAR DEADLINE EXTENSION REQUEST SUBMITTED ON 03/02/2023 DUE TO APPLICANT NOT BEING NOTIFIED. SEE PERMIT X2018-2867.   | Tonee Thai     |
|                   | Generic Activity                 | EXTENSION APPROVED        | ACT-000361-2023 | 3-YEAR CONSTRUCTION TIME LIMIT 365 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 06/11/2024 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER. SEE PERMIT X2022-1748. | Tonee Thai     |
| <b>03/16/2023</b> |                                  |                           |                 |   |                |
|                   | Generic Activity                 | 3-YEAR DEADLINE EXTENSION | ACT-000423-2023 | MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER   | Debi Schank    |
| <b>04/11/2024</b> |                                  |                           |                 |   |                |
|                   | EXPIRED - PERMIT REPLACED        |                           |                 | See xr2023-0561   | Chad Shelton   |
| <b>07/31/2023</b> |                                  |                           |                 |   |                |
|                   | LOCKSTEP PERMIT WORK IN PROGRESS |                           |                 | Lockstep XR2023-0561  | Jason Rudenick |



## PERMIT ACTIVITY REPORT (XR2023-0561) FOR CITY OF NEWPORT BEACH

| Created Date      | Activity Type    | Activity Name | Activity Number | Activity Comments   | Created By   |
|-------------------|------------------|---------------|-----------------|---|--------------|
| <b>10/25/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-004191-2024 | turned in hearing officer app to SL   | Chad Shelton |
| <b>04/11/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-001533-2024 | emailed extension form to gc and attempted to call to explain further. no answer.   | Chad Shelton |
|                   | Generic Activity |               | ACT-001525-2024 | Posted three year letter at jobsite   | Chad Shelton |
| <b>04/22/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-001677-2024 | continued email chain with contractor for what is required on 3 year app to accept it. Awaiting a response. Let GC know to call me to discuss this afternoon.   | Chad Shelton |
| <b>04/23/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-001706-2024 | spoke again with gc over phone. reminded him again of requirements for turning in 3 year application.   | Chad Shelton |
| <b>05/01/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-001822-2024 | more email correspondence with gc/owner. Still missing owner authorization letter authorizing Bill Chow to act on his behalf for the extension. Also, missing actual documentation for material delays as claimed. I will email back today and try to get this information. | Chad Shelton |
| <b>05/15/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-002015-2024 | contractor had previously already been granted a 1 year extension. emailed him correct hearing officer app. waiting on response.  | Chad Shelton |
|                   | Generic Activity |               | ACT-002030-2024 | spoke with GC bill over phone. confirmed he had received the email of the hearing officer app and will try to turn in to me tomorrow.   | Chad Shelton |
| <b>05/16/2024</b> |                  |               |                 |   |              |
|                   | Generic Activity |               | ACT-002053-2024 | turned in hearing officer app to SL desk.   | Chad Shelton |
| <b>05/17/2024</b> |                  |               |                 |   |              |

# PERMIT ACTIVITY REPORT (XR2023-0561)

| Created Date | Activity Type    | Activity Name     | Activity Number | Activity Comments                                | Created By |
|--------------|------------------|-------------------|-----------------|--|------------|
|              | Generic Activity | HEARING SCHEDULED | ACT-002070-2024 | HEARING SCHEDULED FOR<br>06/27/2024 AT 9:15 A.M. | Tonee Thai |

06/27/2024

|  |                  |                     |                 |   |            |
|--|------------------|---------------------|-----------------|---|------------|
|  | Generic Activity | HEARING: 06/27/2024 | ACT-002514-2024 | 07/15/2024: RECEIVED<br>ORDER - HEARING OFFICE<br>GRANTED EXTENSION TO<br>12/06/2024. | Tonee Thai |
|--|------------------|---------------------|-----------------|---|------------|

## **Attachment No. 3**

1<sup>st</sup> Public Hearing and Building Official Extension



1 **BEFORE THE ADMINISTRATIVE HEARING OFFICER**  
2 **FOR THE**  
3 **CITY OF NEWPORT BEACH, CALIFORNIA**  
4

5 IN RE:  
6  
7 515 36<sup>TH</sup> STREET,  
8  
9 SUBJECT PROPERTY,  
10 APPLICATION FOR PERMIT  
11 EXTENSION UNDER NEWPORT  
12 BEACH MUNIIPAL CODE SECTION  
13 15.02.095.

FINDINGS OF FACT AND STATEMENT OF  
DECISION OF THE ADMINISTRATIVE  
HEARING OFFICER

Hearing Officer: Jamaar M. Boyd-Weatherby  
Date: June 27, 2024  
Time: 9:15 a.m.

13 **INTRODUCTION**

14 1. This matter involves an extension of time to complete construction for work under a  
15 building permit issued for 515 36th Street (“Subject Property”) in the City of Newport Beach  
16 under Section 105.3.4 of the Newport Beach Administrative Code (a locally amended version of  
17 the California Building Code) as codified at Newport Beach Municipal Code (“NBMC”) Section  
18 15.02.095. Jamaar M. Boyd-Weatherby (“Hearing Officer”), sitting as the Hearing Officer under  
19 NBAC Section 105.3.4 heard this matter on June 27, 2024 at 9:15 a.m. (the “Hearing”). The  
20 Hearing Officer is a licensed attorney in the State of California and serves as Hearing Officer  
21 under contract with the City of Newport Beach (“City”). Pursuant to NBAC Section 105.3.4, the  
22 Hearing Officer shall hear and decide whether this application for extension should be granted,  
23 conditionally granted, or denied.

24 2. City is a charter city and municipal corporation existing under the laws of the State of  
25 California. The City was represented at the Hearing by Tonee Thai, Chief Building Official  
26 (“City Representative”). Also in attendance from the City was Building Inspector Chris Sanchez.

27 ///

1 3. Bill Chow, the contractor for the Property (“Owner’s Representative”), appeared in  
2 support of the application for an extension of time. Collectively, the Owner’s Representative and  
3 Owner, 777 Seaview Island LLC, are referred to as the “Applicant.”

4 4. There were no members of the public present at the hearing.

5 5. The Hearing Officer considered the testimony of all witnesses at the hearing and all  
6 documents made part of the administrative record. The mere fact that a witness’s testimony or  
7 document may not be specifically referred to below does not and shall not be construed to mean  
8 that said testimony or document was not considered.

9 6. Pursuant to the Administrative Hearing Rules and Procedures of the City of Newport  
10 Beach, the hearing was digitally recorded.

11 7. The documents presented to the Hearing Officer during the hearing are the  
12 administrative record of the hearing.

13 **ISSUES**

14 8. Pursuant to Section 105.3.4 of the NBAC, the issue to be determined by the Hearing  
15 Officer is whether to grant, or conditionally grant, up to a one hundred and eighty (180) calendar  
16 day extension, based on a finding that either (i) special circumstances warrant an extension of  
17 time or (ii) the failure to meet the time limit was caused by circumstances beyond the property  
18 owner’s, applicant’s or their contractor’s control.

19 **FINDINGS OF FACT AND CONCLUSIONS OF LAW**

20 9. This matter is before the Hearing Officer consistent with Section 105.3.4 of the  
21 NBAC.

22 10. The City of Newport Beach adopted the 2019 California Building Code by reference  
23 under Ordinance No. 2019-17 as the Newport Beach Administrative Code, codified at Newport  
24 Beach Municipal Code Section 15.02.010, which reads in part, “The City Council adopts and  
25 incorporates by reference, as though set forth in full in this section, Chapter 1, Division II of the  
26 2019 Edition of the California Building Code as published by the International Code Council.”  
27  
28

1 11. The City of Newport Beach adopted certain additions, amendments, and deletions to  
2 the 2019 California Building Code, pursuant to its authority under California Health and Safety  
3 Code Section 17958.5.

4 12. One such addition is the addition of Sections 105.3.3, 105.3.4, and 105.3.5 to the  
5 Newport Beach Administrative Code, codified at Newport Beach Municipal Code Section  
6 15.02.095. Section 105.3.3 reads:

7  
8 “For any one-unit or two-unit dwelling for which a tentative and final tract map is not  
9 required, the maximum allowable time to complete construction for any work that  
10 requires a building permit including, but not limited to, any construction, reconstruction,  
11 rehabilitation, renovation, addition(s), modification(s), improvement(s), or alteration(s),  
12 shall be limited to three (3) years, unless an extension is granted in accordance with  
13 Section 105.3.4.

14  
15 For building permits issued on or after June 1, 2019, the time limit to complete  
16 construction shall begin on the date of issuance of the first or original building permit.  
17 For building permits issued prior to June 1, 2019, the time limit to complete construction  
18 shall be three (3) years from June 1, 2019.

19  
20 Final inspection and approval of the construction work by the City shall mark the date of  
21 construction completion for purposes of Section 15.02.095. Time limits set forth herein  
22 shall not be extended by issuance of a subsequent building permit(s) for the same  
23 project.”

24  
25 13. Permit No. X2018-3856 was issued by the City of Newport Beach on June 12, 2020  
26 (“Permit”). The Permit was set to expire on June 12, 2023.

27  
28 14. Permits may be extended up to one year beyond the initial three-year deadline by  
application to the City Building Official. (NBAC 105.3.4(1)).

15. The one year extension was granted by the Building Official on March 13, 2023. As a  
result of the Building Official’s actions, the Permit was set to expire on June 11, 2024.

16. Section 105.3.4 provides that if a project is not completed within the timeframe  
authorized by the Building Official, the property owner or their authorized agent may seek  
further extension from the City’s Hearing Officer. The property owner or applicant may seek two  
extensions from the Hearing Officer which shall not exceed 180 days each. To grant the

1 extension, the Hearing Officer must find that either (i) special circumstances warrant an  
2 extension of time or (ii) the failure to meet the time limit was caused by circumstances beyond  
3 the property owner's, applicant's, or their contractor's control. Any approval of an extension  
4 should include conditions to ensure timely completion of the project in a manner that limits  
5 impacts on surrounding property owners. Applicant filed a request for an extension with the City  
6 Hearing Officer seeking an extension for the full 180 days possible under the code.

7 17. The Applicant filed a request for an extension for an additional 180 days and a  
8 hearing was held on June 28, 2024.

9 18. The City Representatives presented uncontroverted evidence that there has been  
10 progress towards the completion of the project. However, the City Representatives cautioned  
11 against changing the design team at this point in the project. Further, the City encouraged the  
12 submittal of modifications of the design. There was no objection from the City Representatives  
13 to the Hearing Officer granting an extension.

14 19. Applicant, through testimony of the Owner's Representative, provided  
15 uncontroverted evidence that there had been considerable progress made on the completion of  
16 the project. The Applicant indicated a desire to modify the plans in order to move away from  
17 aluminum windows. The current window design is causing significant delay. He expressed a  
18 desire to potentially change the design team because he does not have a working relationship  
19 with the firm that originally submitted the plans. He noted that the owner is also concerned  
20 about the cost of working with the previous design team to update the plans.

21 20. The Applicant indicated that there may be a need for an additional continuance. He  
22 sought a year in order to finalize the project. However, the Applicant confirmed that the project  
23 will be able to be completed if the windows are able to be adjusted.

24 21. Credibility determinations were made in favor of the Applicant and the City. The  
25 Applicant presented credible evidence that the delays were due to circumstances partially beyond  
26 their control resulting from find a source for the aluminum windows.  
27  
28

1 **DECISION AND ORDER**

2 22. The Applicant has presented sufficient evidence to establish that “the failure to meet  
3 the time limit was caused primarily by circumstances beyond the property owner’s, applicant’s,  
4 or their contractor’s control.” The Applicant could not have foreseen the significant delays  
5 caused by material shortages. The owner, applicant, and/or contractor were not the cause of those  
6 delays, nor could they have been avoided with reasonable diligence.

7 23. The Hearing Officer hereby grants an extension to 5:00 pm on Friday, December 6,  
8 2024, in order to ensure the timely completion of the project.

9 24. Any person aggrieved by an administrative decision of a Hearing Officer may obtain  
10 review of the administrative decision by filing a petition for review with the Orange County  
11 Superior Court in accordance with the timelines and provisions as set forth in California  
12 Government Code Section 53069.4. There may be other time limits which also affect the ability  
13 to seek judicial review.

14  
15  
16  
17 Dated: July 7, 2024

18 \_\_\_\_\_  
19 Jamaar M. Boyd-Weatherby  
20 Hearing Examiner



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
 www.newportbeachca.gov | (949) 644-3200

RECEIVED BY  
 COMMUNITY  
 DEVELOPMENT

MAR 02 2023

CITY OF  
 NEWPORT BEACH

Sec 24307

**Three Year Construction Time Limit Extension**  
**Building Official Application**

|   |   |   |                           |
|---|---|---|---------------------------|
| Project Address: 515 36 <sup>th</sup> St. NPB, CA 92663   |   | Receipt No.: 13865-000                              |                           |
| Permit No.: X2022-1748  | Original Permit Issued Date: 06/12/2020 | Extension Fee: \$208                                | Date Fee Paid: 3/12/23    |
| <b>PETITIONER/PROPERTY OWNER INFORMATION</b>  |   |   |                           |
| Name (Must be payor of fees): JIANHUA JIN   |   | Company Name: 777 Seaview Island LLC                |                           |
| Street Address: 17870 Castleton St Ste 255  |   | City: City of Industry                              | State: CA Zip Code: 91748 |
| Email: samf@platinumcoastus.com   |   | Phone: 626-810-2307                                 |                           |
| <b>PROJECT INFORMATION</b>  |   |   |                           |
| Length of extension requested: 1 yr   |   |   |                           |
| New end date if request is approved: 06-11-2024   |   |   |                           |
| Previous Extension(s) Granted? (Y/N): NA  |   | If Yes, How Many?:                                  |                           |
| Description of Work Under Permit: New Duplex & Garage   |   | ORIGINAL - X2018-3856; RETAINING WALL - XR2022-3004 |                           |
| Reason for Extension Request: (Attach Supporting Documents as Needed)   |   | Change of Ownership                                 |                           |
| <b>I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.</b>   |   |   |                           |
| Petitioner's Signature: [Signature]   |   | Relationship to Property Owner: OWNER               | Date: 2/28/2023           |
| <b>FOR STAFF USE ONLY</b>   |   |   |                           |
| Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied   |   |   |                           |
| Conditions of Approval or Comments: PERMITS SHALL EXPIRE ON 06-11-2024 UNLESS ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER. MAX 365 DAYS EXTENSION GRANTED BY BUILDING OFFICIAL |   |   |                           |
| Building Inspector Reviewed:  | Name: Jason Rudant                      | Signature: [Signature]                              | Date: 3/12/23             |
| Building Official Approval:   | Name: TONGE HAT                         | Signature: [Signature]                              | Date: 03/13/2023          |



March 1, 2023

**City of Newport Beach, Building Division**  
**Building Department**  
100 Civic Center Drive  
Newport Beach, CA 92660  
TEL: (949) 644-3275

Re: **REQUEST FOR PERMIT EXTENSION**  
**WORK CONSTRUCTION PROJECT AT:**  
**515 36<sup>th</sup> St. Newport Beach, CA 92663**  
**Permit No. X2022-1748**

Dear Building Division,

Platinum Coast Management Corporation (hereinafter as "Platinum") is the managing member for 777 Seaview Island LLC (hereinafter as "Seaview"). Seaview is the current building permit holder & owner under the "Construction Project", located at the address of: **515 36<sup>th</sup> St. Newport Beach, CA 92663**. The Permit No. is X2022-1748 and involves the construction of a new duplex and garage for the property.

**Platinum, on behalf of Seaview, is respectfully requesting a one (1) year extension to the aforementioned permit for the Construction Project.** The reason for this request is a change in ownership for the Construction Project. The owner of the Project was originally **TJ Mercury, Inc.**, but ownership has been transferred to Seaview. Currently, Seaview is in the process of continuing the work improvements and renovations for the property, but requires more time for completion.

Current Progress on the Construction Project:

Currently, Seaview has been making good progress on the project. Seaview is currently at the "foundation stage" of the project. At the current stage, Seaview has just passed the underground sewer inspection and has begun preliminary work on the foundation.

Estimated Time of Completion:

PLATINUM COAST MANAGEMENT CORPORATION

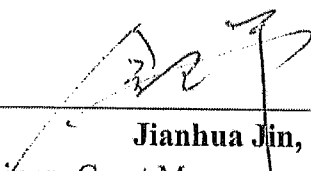
PHONE 626.658.0566 ADDRESS: 17870 Castleton St. Suite 255, City of Industry, CA 91748

5/ 135

Seaview estimates that the Construction Project will be fully completed by one (1) year after the permit extension is granted.

As such, Seaview is respectfully requesting a permit extension of one (1) year to the aforementioned permit for the Construction Project, to facilitate the completion of work progress.

Yours Sincerely,



---

**Jianhua Jin, Owner**  
Platinum Coast Management Corp.





## City of Newport Beach

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### Community Development

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748  
**Subject: Notice of Expired Permit**

Address: 515 36TH ST NEWPORT BEACH, CA

Our records indicate that your permit **X2022-1748** issued on **06/22/2022** including any related permits, is expired based on limitations set forth in Newport Beach Municipal Code Section 15.02.100. A notice of pending permit expiration was previously mailed to your address.

Since work is in progress, you are currently in violation of Section 105.5 of the Newport Beach Administrative Code. A new permit will be required prior to resuming work to complete the project. Please obtain a new permit within 14 days as set forth from the above date. Otherwise code enforcement action by the Community Development Department Building Division may be necessary. This may include administrative citations until this matter is resolved.

Please contact the Building Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. if you have questions or to inform us of your intentions.

Regards,

**Jason Rudenick**

Jason Rudenick, Building Inspector  
JRUDENICK@newportbeachca.gov  
Phone: 949-644-3262

RECORDING REQUESTED BY  
WHEN RECORDED MAIL TO  
AND MAIL TAX STATEMENTS TO:

American Exotic Car Club LLC, a California Limited Liability Company  
700 N Haven Ave  
Ontario, CA 91764

Above space is for recorder's use  
Esrow # 7635-JC

Title Order # O-SA-6192651

**GRANT DEED**

Documentary Transfer Tax is: \$ 3,157.00\*

- computed on full value of interest or property conveyed, or
- full value less value of liens or encumbrances remaining at the time of sale
- City of Newport Beach  County of Orange

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Jack Guo and Hong Li, husband and wife as Joint Tenants

hereby GRANTS to TJ Mercury Inc., a Delaware Corporation

The land hereinafter referred to is situated in the City of Newport Beach, County of Orange, State of California, and is described as follows:

See attached Exhibit "A" for Legal Description

APN: 423-081-07  
Commonly known as: 515 36th St, Newport Beach, CA 92663

Dated: 6-14-2020

Grantor:

[Signature]  
Jack Guo

[Signature]  
Hong Li

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

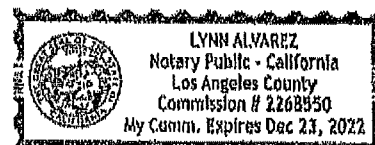
STATE OF CALIFORNIA  
COUNTY OF Los Angeles SS.

On May 14, 2020 before me, Lynn Alvarez, Notary Public, personally appeared Jack Guo and Hong Li who proved to me on the basis of satisfactory evidence to the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]





**Secretary of State  
Statement of Information**  
(California Stock, Agricultural  
Cooperative and Foreign Corporations)

SI-550

145

**FILED**  
Secretary of State  
State of California

JUN 25 2018

**IMPORTANT** — Read instructions before completing this form.

**Fees (Filing plus Disclosure) — \$25.00;**

**Copy Fees** — First page \$1.00; each attachment page \$0.50;  
Certification Fee — \$5.00 plus copy fees

See Secretary of State's  
records for exact entity name.

**1. Corporation Name** (Enter the exact name of the corporation as it is recorded with the California Secretary of State. Note: If you registered in California using an assumed name, see instructions.)  
TJ MERCURY

*This Space For Office Use Only*

**2. 7-Digit Secretary of State File Number**

C3933770

**3. Business Addresses**

|   |   |             |                   |
|---|---|-------------|-------------------|
| a. Street Address of Principal Executive Office - Do not list a P.O. Box<br>17700 CASTLETON ST. #266            | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |
| b. Mailing Address of Corporation, if different than Item 3a  | City (no abbreviations)                     | State       | Zip Code          |
| c. Street Address of Principal California Office, if any and if different than Item 3a - Do not list a P.O. Box | City (no abbreviations)                     | State<br>CA | Zip Code          |

**4. Officers**

The Corporation is required to list all three of the officers set forth below. An additional title for the Chief Executive Officer and Chief Financial Officer may be added; however, the preprinted titles on this form must not be altered.

|   |            |             |   |             |                   |
|---|------------|-------------|---|-------------|-------------------|
| <b>a. Chief Executive Officer/</b><br>JIANHUA | First Name | Middle Name | Last Name<br>JIN                            | Suffix      |                   |
| Address<br>17700 CASTLETON ST., SUITE 266     |            |             | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |
| <b>b. Secretary</b><br>JIANHUA                | First Name | Middle Name | Last Name<br>JIN                            | Suffix      |                   |
| Address<br>17700 CASTLETON ST., SUITE 266     |            |             | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |
| <b>c. Chief Financial Officer/</b><br>JIANHUA | First Name | Middle Name | Last Name<br>JIN                            | Suffix      |                   |
| Address<br>17700 CASTLETON ST., SUITE 266     |            |             | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |

**5. Director(s)**

California Stock and Agricultural Cooperative Corporations ONLY; Item 5a: At least one name and address must be listed. If the Corporation has additional directors, enter the name(s) and addresses on Form SI-550A (see instructions).

|  |             |   |             |                   |
|--|-------------|---|-------------|-------------------|
| <b>a. First Name</b><br>JIANHUA  | Middle Name | Last Name<br>JIN                            | Suffix      |                   |
| Address<br>17700 CASTLETON ST., SUITE 266  |             | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |
| <b>b. Number of Vacancies on the Board of Directors, if any</b> <input type="text"/> |             |   |             |                   |

**6. Service of Process** (Must provide either Individual OR Corporation.)

**INDIVIDUAL** — Complete Items 6a and 6b only. Must include agent's full name and California street address.

|   |             |   |             |                   |
|---|-------------|---|-------------|-------------------|
| <b>a. California Agent's First Name (if agent is not a corporation)</b><br>JIANHUA                              | Middle Name | Last Name<br>JIN                            | Suffix      |                   |
| <b>b. Street Address (if agent is not a corporation) - Do not enter a P.O. Box</b><br>17700 CASTLETON ST., #266 |             | City (no abbreviations)<br>CITY OF INDUSTRY | State<br>CA | Zip Code<br>91748 |

**CORPORATION** — Complete Item 6c only. Only include the name of the registered agent Corporation.

|  |
|--|
| <b>c. California Registered Corporate Agent's Name (if agent is a corporation) — Do not complete Item 6a or 6b</b> |
|--|

**7. Type of Business**

Describe the type of business or services of the Corporation  
INVESTMENT

**8. The information contained herein, including in any attachments, is true and correct.**

06/15/2018

JIANHUA JIN

CEO

Date

Type or Print Name of Person Completing the Form

Title

Signature

SI-550 (REV 01/2017)

2017 California Secretary of State  
www.sos.ca.gov/business/be

**EXHIBIT "A"**

Real property in the City of Newport Beach, County of Orange, State of California, described as follows:

LOT 8 AND THE NORTHEASTERLY ONE-HALF OF LOT 7 IN BLOCK 536 OF CANAL SECTION OF NEWPORT BEACH, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THIS LEGAL DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN CERTIFICATE OF COMPLIANCE RECORDED SEPTEMBER 27, 2018, AS INSTRUMENT NO. 2018-353359, OF OFFICIAL RECORDS.

APN: 423-081-07

**Tuman, Bill**

---

**From:** c bill <billc@platinumcoastus.com>  
**Sent:** Friday, December 4, 2020 11:02 AM  
**To:** Tuman, Bill  
**Subject:** 515 36th Street

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hello Bill

515 36<sup>TH</sup> ST.

It was nice speaking with you yesterday. As per our conversation, please extend the expiration date for six (6) months. I appreciated your assistance in this matter greatly. I'm looking forward to working with you in the very near future.

The two Permits we have for the property is:

X2020-1370

X2020-3856

18

Respectfully,

Bill Chow  
Project Manager  
(626)833-2188



June 22, 2022

City of Newport Beach, Building Division  
Building Department  
100 Civic Center Drive  
Newport Beach, CA 92660  
TEL: (949) 644-3275

Re: **LETTER OF AUTHORIZATION**  
**WORK CONSTRUCTION PROJECT AT:**  
**515 36<sup>th</sup> St. Newport Beach, CA 92663**

Dear Building Division,

Platinum Coast Management Corporation (hereinafter as "Platinum") is the managing member for 777 Seaview Island LLC (hereinafter as "Seaview"). Seaview is the current building permit holder under the Construction Project, located at the address of: 515 36<sup>th</sup> St. Newport Beach, CA 92663.

Platinum, on behalf of Seaview, hereby agrees and authorizes the transfer of the building permit for the above-referenced construction project from the current building permit holder, **Seaview Island, LLC** to the new general contractor for the construction project, **Top Star USA Construction, Inc. (Lic. #1067089)**.

**BUSINESS INFORMATION**

Top Star USA Construction, Inc. (Lic. #1067089)

4127 Walnut Grove, Apt A

Rosemead, CA 91770

Business Phone Number: (626) 200-7598

License Issue Date: 07/20/2020

License Expiration Date: 07/31/2022

Classification: "B" General Building License

As CEO of Top Star USA Construction, Zhao Xian Song shall be the new and current holder of the general contractor license for the construction project.

Please take all necessary actions to effectuate this change.

Yours Sincerely,

  
MENG ZHANG, CEO  
Platinum Coast Management Corp.

PLATINUM COAST MANAGEMENT CORPORATION

PHONE 626.658.0566 ADDRESS: 17870 Castleton St. Suite 255, City of Industry, CA 91748 142

# PLATINUM COAST MANAGEMENT CORP.

17870 CASTLETON ST. SUITE 255  
CITY OF INDUSTRY, CA 91748

(TEL):626-810-8099  
(Email): lzhaio@platinumcoastus.com

February 28, 2023

City of Newport Beach, Building Department  
Newport Beach City Council Chambers  
100 Civic Center Drive  
Newport Beach, CA 92660  
TEL: (949) 644-3275

Re: **LETTER OF AUTHORIZATION - CHANGE OF GENERAL CONTRACTOR**  
**Project Address: 515 36th St. Newport Beach, CA 92663**  
**Permit No. X2022-1748**

Dear Building Division,

Platinum Coast Management Corp. (hereinafter as "Platinum") is the manager of 777 Seaview Island, LLC, the owner of the Construction Project, located at the address of: 515 36th St. Newport Beach, CA 92663.


Platinum hereby agrees and authorizes the appointment of its new general subcontractor for the '515 Newport' project. The previous designated general contractor reflected in the permit was Top Star Construction. The new general contractor moving forward shall be **Leokey Construction, Inc. (Lic. #1066388)**. Leokey shall assume all responsibilities as to the scope of work for the project moving forward.

#### **BUSINESS INFORMATION**

Leokey Construction (Lic No. 1066388)  
19745 Colima Road, Ste 128  
Rowland Heights, CA 91748  
Business Phone Number: (626) 833-2188  
**License Issue Date: 06/19/2020**  
**License Expiration Date: 06/30/2024**  
**Classification: "B" General Building**

Bill Chow shall be the designated new & current general contractor contact for the '515 Construction' project. He can be reached at the number above. Please take all necessary actions to effectuate this change.

Yours Sincerely,

  
MENG ZHANG, CEO  
Platinum Coast Management Corp.

PLATINUM COAST MANAGEMENT CORP.

ADDRESS: 17870 CASTLETON ST. SUITE 352, CITY OF INDUSTRY, CA 91748

143



88.00

\* \$ R 0 0 1 3 4 3 1 9 4 9 \$ \*

2021000771247 11:12 am 12/28/21

65 PP2A G02 3

0.00 0.00 0.00 0.00 6.00 0.00 0.000.0075.00 0.00

RECORDING REQUESTED BY:

*Fidelity*

WHEN RECORDED MAIL TO:

777 Seaview Island LLC  
17870 CASTLETON ST #255  
CITY OF INDUSTRY, CA. 91748

**GRANT DEED**

APN NO. 423-081-07

THE UNDERSIGNED GRANTOR(s) DECLARE(s)  
Documentary transfer tax is \$ 0  
City Tax is \$0.00

- computed on full value of property conveyed or
- computed on the full value less liens of encumbrances remaining at the time of sale.
- Unincorporated area: (X) City of NEWPORT BEACH

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged:

TJ MERCURY INC., A DELAWARE CORPORATION

hereby GRANT(s) to

777 SEAVIEW ISLAND LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

The following real property in the City of NEWPORT BEACH, County of ORANGE, State of California, described as: LEGALE DESCRIPTION IS ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A"

commonly known as: 515 36th Street Newport Beach, CA 92663 See Exhibit A

"The grantors and the grantees in this conveyance are comprised of the same parties who continue to hold the same proportional interest in the property, R&T 11923(d)."

TJ Mercury Inc.

*[Signature]* \*a Delaware Corporation

JIANHUA JIN, PRESIDENT

Date: 12/22/2021

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES

} ss.

On *Dec 22, 2021* before me, *Crista Zuleta*, Notary Public, personally appeared *Jianhua Jin*

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/hers/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the





20211228077124742308107

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748



# COUNTY OF ORANGE



**HUGH NGUYEN**  
**CLERK-RECORDER**  
601 N. Ross Street  
Santa Ana, CA 92701  
(714) 834-2500

## COURTESY NOTICE

**TODD SPITZER**  
**DISTRICT ATTORNEY**  
300 N. Flower Street  
Santa Ana, CA 92703  
(714) 834-3600

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748

January 5, 2022

### **SUBJECT: PROPERTY RECORDING CONFIRMATION**

Dear Orange County Homeowner,

The Clerk-Recorder and the District Attorney of Orange County are working together to protect Orange County homeowners from potential fraudulent and illegal activities involving official property records.

This courtesy notice regarding a recent property recording transaction is being sent to you to ensure the legitimacy and accuracy of all records filed with the Clerk-Recorder.

**The Clerk-Recorder's records indicate that a document affecting the title to your real property was recently recorded. A copy of the first page of the document is enclosed for your reference.**

### **IF THE TRANSACTION IS CORRECT, NO ACTION IS REQUIRED ON YOUR PART.**

If you are unaware of this transaction, or suspect fraudulent or illegal activity, you may contact the Orange County District Attorney's Real Estate Fraud Unit by sending an email to [REFraud@da.ocgov.com](mailto:REFraud@da.ocgov.com) or by calling the Real Estate Fraud Hotline at (714) 664-3931. You may also fill out a Real Estate Fraud Complaint Form, which can be accessed at: [www.orangecountyda.org/howdoi/reportfraud.asp](http://www.orangecountyda.org/howdoi/reportfraud.asp). Click on the "Real Estate Fraud Report Form." Once you fill out the form, you will be able to submit it electronically by clicking "submit by email" at the bottom of the form. You will also have the option to print the form and mail it.

If you have any questions about real property records, please contact the Clerk-Recorder Department at (714) 834-2500. For more information regarding real property fraud, visit: [www.ocrecorder.com/services/documents/fraud](http://www.ocrecorder.com/services/documents/fraud).



# CONDADO DE ORANGE



**HUGH NGUYEN**  
**CLERK-RECORDER**  
601 N. Ross Street  
Santa Ana, CA 92701  
(714) 834-2500

## AVISO DE CORTESIA

**TODD SPITZER**  
**DISTRICT ATTORNEY**  
300 N. Flower Street  
Santa Ana, CA 92703  
(714) 834-3600

TJ MERCURY INC  
18555 FIELDBROOK ST  
ROWLAND HEIGHTS, CA 91748

January 5, 2022

### TEMA: CONFIRMACION DE REGISTRO DE PROPIEDAD DE BIENES RAICES

Querido Propietario de Bienes Raíces Dentro del Condado de Orange,

El Registro Civil del Condado (Clerk-Recorder) y el Fiscal del Condado de Orange (District Attorney) están trabajando juntos para proteger los propietarios de bienes raíces dentro del Condado de Orange de actividades potencialmente fraudulentas e ilegales involucrado los registros de propiedad de bienes raíces.

Este aviso de cortesía, con respecto a una transacción reciente de registro de propiedad de bienes raíces, se le está enviando para asegurar la legitimidad y la precisión de todos los registros archivados en la Oficina del Registro Civil del Condado de Orange.

Los registros de la Oficina del Registro Civil indican que un documento afectando la titularidad de sus bienes raíces fue recientemente registrado. Una copia de la primera página del documento está incluida para su referencia.

**SI ESTA TRANSACCION ESTA CORRECTA NINGUNA ACCION DE SU PARTE ESTA REQUERIDA.**

Si no está consciente de esta transacción, o sospecha actividades fraudulentas o ilegales, puede contactar la Unidad de Fraude de Bienes Raíces de la Fiscalía del Condado de Orange con un correo electrónico a [REFraud@da.ocgov.com](mailto:REFraud@da.ocgov.com) o llamando la Línea de Fraude de Bienes Raíces al (714) 664-3931. También puede completar el Formulario de Queja de Fraude de Bienes Raíces, que puede encontrar en la página web: [www.orangecountyda.org/howdoi/reportfraud.asp](http://www.orangecountyda.org/howdoi/reportfraud.asp). Presiona "Real Estate Fraud Report Form." Al terminar de completar el formulario, puede entregarlo electrónicamente presionando "submit by email" que aparece al final del formulario. También tiene la opción de imprimir el formulario y enviarlo por correo.

Si tiene alguna pregunta acerca de los registros de bienes raíces, favor de contactar al Registro del Condado al (714) 834-2500. Para más información acerca del fraude de bienes raíces, visite:

[www.ocrecorder.com/services/documents/fraud](http://www.ocrecorder.com/services/documents/fraud).