



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION
FROM: Seimone Jurjis, Assistant City Manager/Community Development Director
SUBJECT: Report of actions taken by the Community Development Director for the week ending August 23, 2024.

**COMMUNITY DEVELOPMENT DIRECTOR
OR ZONING ADMINISTRATOR ACTIONS**
(Non-Hearing Items)

Item 1: Carden Hall Modular Classroom Staff Approval (PA2024-0125)
Site Address: 1541 Monrovia Avenue

Action: Approved

Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject: Carden Hall Modular Classroom (PA2024-0125)
▪ Staff Approval

Site Location 1541 Monrovia Avenue

Applicant Ana Salazar

Legal Description Lot 1014 of the First Addition to Newport Mesa Tract

On **August 22, 2024**, the Community Development Director approved a Staff Approval (PA2024-0125) to allow for the installation of one new 960 square foot modular classroom building at the existing Carden Hall Private School in substantial conformance with Use Permit No. UP1137A. The modular classroom building is to accommodate pre-kindergarten enrollment and to create an administrative area for the school. This approval is based on the following findings and is subject to the following conditions.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Private Institutions (PI)
- **Zoning District:** Private Institutions (PI)

PROJECT SUMMARY

The applicant proposes to install a new 960-square-foot (24-foot by 40-foot) permanent modular classroom building for pre-kindergarten enrollment on the grass field towards the south of the property. The modular classroom building will also be used to create an administrative area for the school and serve as a space for additional learning activities. No changes to the operational characteristics of the school, increase in enrollment, or any other improvements are proposed.

BACKGROUND

On February 16, 1961, the Planning Commission approved Use Permit No. UP712 for the construction of a 250-foot radio tower on the property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as a school. The building was originally designed to be used as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the Newport Beach Municipal Code (NBMC).

Ultimately, the building was designed to comply with the requirements for both a manufacturing facility as well as a school.

On May 21, 1970, the Planning Commission approved an amendment to Use Permit No. UP1137A to extend the use permit and allow use of the entire five-acre site, which would accommodate new facilities needed to support future growth. These facilities and land were proposed to be used as a private school.

On July 2, 2021, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of a new 2,160-square-foot permanent modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. The project included improvements to accessible parking and paths of travel per the ADA (Americans with Disabilities Act of 1990).

I. FINDINGS

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The property is located within the Private Institutions (PI) Zoning District which is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and comparable facilities. The proposed modular classroom is for an existing private institution consistent with the purpose and intent of the PI Zoning District and does no operational changes are proposed.
2. The current enrollment is 435 students, and the property provides 72 on-site parking spaces. No increase in student enrollment is proposed and, therefore, no increase in on-site parking spaces is required.

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible or no expansion of existing or former use including additions to existing structures provided that the addition will not result in an increase of 10,000 square feet for projects in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and is not located in an environmentally sensitive area. The proposed modular classroom is 960-square-feet which is less than 10,000 square feet and the property is not in an environmentally sensitive area.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed modular classroom does not involve a feature that was specifically addressed or was the subject of a condition of approval for UP1137A.
2. The conditions of approval set forth in UP1137A did not place a limit on the square footage of the private institution. The project is consistent with the use permit which discussed the need for facilities to accommodate future growth of the school.
3. Condition No. 1 of UP1137A requires that the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students. The modular classroom is not proposed to be installed in the parking area or motor court and will not impede the discharging and pickup of all students. The site will continue to provide adequate circulation and drop off areas where vehicles enter thorough the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The proposed modular building does not change the overall use and operational characteristics of the private institution. The project is in substantial conformance with UP1137A, as the property will continue to be used as a private institution.
2. All other school structures and operations will continue as authorized in Use Permit No. UP1137 and its subsequent amendment.

II. CONDITIONS

All previous findings and conditions of approval of Use Permit No. UP1137, amendment to Use Permit No. UP1137A, and Staff Approval No. SA2021-005 shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

Planning Division

1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. A copy of the Resolution, including conditions of approvals shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
5. A building permit shall be obtained prior to commencement of construction activities. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.

7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this staff approval or the processing of a new staff approval or conditional use permit.
8. This Staff Approval filed as PA2024-0125 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
9. *To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Carden Hall Modular Classroom including, but not limited to, the Staff Approval (PA2024-0125)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

Public Works

10. A new sewer cleanout shall be installed on the existing sewer lateral pursuant to City Standard 406.
11. The applicant shall obtain approval from the Municipal Water District (MWD).

Building Division

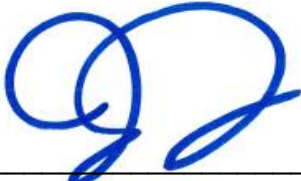
12. Prior to the issuance of building permits, the project plans shall provide State approvals of modular classroom for "E" occupancy.
13. Prior to the issuance of building permits, the project plans shall provide an accessible ramp to access each classroom.

Fire Department

14. An automatic fire alarm system shall be provided in new buildings of private schools pursuant to Section 907.2.3.8 of the California Fire Code.

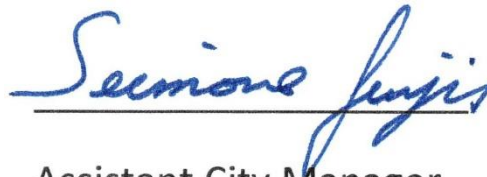
APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Jenny Tran, Associate Planner

Approved by:



Assistant City Manager

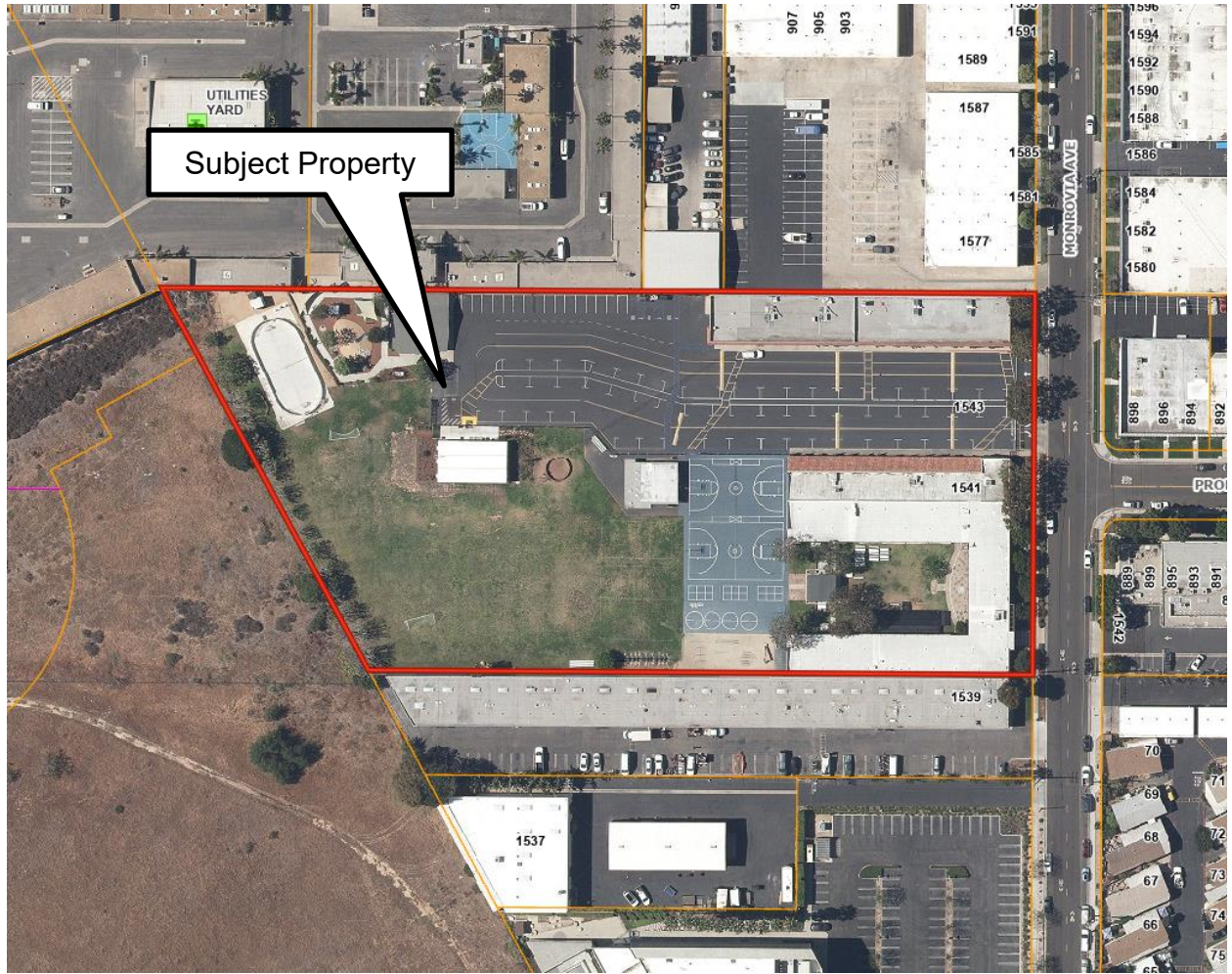
LAW/jt

- Attachments:
- CD 1 Vicinity Map
 - CD 2 Project Description
 - CD 3 Use Permit No. UP1137 and UP1137A
 - CD 4 Staff Approval No. SA2021-005
 - CD 5 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval
PA2024-0125

1541 Monrovia Avenue

Attachment No. CD 2

Project Description

Ana Salazar
PO Box 68
Mira Loma, CA 91752
760-222-4637
ana@elitepnp.com

June 28, 2024

Planning Division – Newport Beach City Hall
100 Civic Center Dr.
Newport Beach, CA 92660
949-644-3204

RE: Proposed New Modular 24'x40' Building at Rear

This letter serves as a description for the proposed work to be done at 1541 Monrovia Avenue which is currently Carden Hall School. A new modular 24'x40' building is proposed to be installed at the rear of the existing school site. This building will serve to accommodate pre-k enrollment for the 2024-2025 school year and create a proper administrative area which does not currently exist at the site. This will also serve as a space for an additional learning activities. If you have any other questions, please contact me at the information above.

Thank you,

Ana Salazar
Project Coordinator

Attachment No. CD 3

Use Permit No. UP1137 and UP1137A

FILING FEE \$ 30.

IF APPROVED, NOT EFFECTIVE UNTIL 15 DAYS AFTER DATE

USE PERMIT APPLICATION Ord. No. 635 CITY OF NEWPORT BEACH FILING FEE \$30.00

NO. 1137 DATE May 5, 1965

INSTRUCTIONS: (Read Carefully.) The applicant or his legal representative must be present at all public hearings. Fill out this application completely. It must be accompanied by five copies of a plot plan to scale, and with correct dimensions, showing in detail all boundaries, existing buildings, proposed alterations and additions. The applicant must sign conditions of Use Permit, if any, within thirty days after approval. Application shall be revoked if not used within eighteen months from date of approval.

- 1. CORELCO Applicant mail to: 154 Avenida P.O. Box 1325, Newport Beach, California Address Involved First Addition to
2. LOT 1014 BLOCK SECTION TRACT Newport Mesa ZONE M1-A
3. DATE OF HEARING May 20, 1965 TIME 8:00 P.M.

4. Application is hereby made for a Use Permit from Section 9103.9 -9105.1(f) to permit: the proposed building to be used as a school. The building will be designed as a ultimate two story office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code. The building will contain all the normal requirements for a manufacturing facility as well as those required for a school. Landscape and automatic sprinkler systems will be included in the design layout.

There are sheets attached to and made a part of this application. I hereby certify that the foregoing statements, maps, drawings, plans and specifications attached hereto are true and correct. If approved this Use Permit will not adversely affect persons residing or working in the neighborhood. I further consent to any permit issued in reliance thereon being null and void in the event they are not true and correct.

Signature of Owner or Applicant Home Address Phone L. 8-2201 441 Francisco Dr., Newport Beach, Calif. 548-4788

FOR DEPARTMENTAL USE ONLY PLANNING COMMISSION ACTION In accord with Section 9103.9 - 9105.1(f) a Use Permit is hereby GRANTED the above applicant subject to requirements of all governmental agencies having jurisdiction and subject to the following: 1. That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students. 2. That students not be allowed to cross the street on foot. 3. That the school activity and playground area be fenced. 4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department. 5. Approved as a private school for a period of 4 years, in accordance with plot plan submitted.

The undersigned hereby agrees to all the above conditions. Signature of Grantee

FINDINGS OF PLANNING COMMISSION: Upon a review of the evidence on file and testimony presented at the meeting the Commission found and determined that, under the circumstances of the particular case, the granting of this use permit would not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood and, therefore, recommended approval subject to the above conditions.

APPROVED - By City Planning Commission on the 20 day of May 19 65. DENIED- APPROVED - By the City Council on the day of 19 Ray Y. Copekin, Secretary Newport Beach City Planning Commission Margery Schrouder, City Clerk Newport Beach, California

EXTENDED 4 YRS. ON 4-29-69 BY HD. COM. City of Newport Beach Use Permit # 1137

AMENDMENT TO

USE PERMIT APPLICATION
CITY OF NEWPORT BEACH

No. 1137

Fee \$150.00

Planning Department
3300 Newport Boulevard
Phone (714) 673-2110

Applicant CORELCO Phone (714) 548-2201

Mailing Address P. O. Box 1325, Newport Beach, California, 92663

Property Owner CORELCO Phone (714) 548-2201

Mailing Address P. O. Box 1325, Newport Beach, California, 92663

Address of Property Involved 1541 Monrovia, Newport Beach, California

Purpose of Application (describe fully) To extend Use Permit #1137 to include the development of overall land usage of the total 5 acres, which provides for the new facilities needed immediately, and future growth. These facilities and land to be used as a private school. Landscaping, to be provided, will be compatible with existing landscaping.

Zone M-1 Present Use School

Legal Description of Property Involved (if too long, attach sheet)

First Add To Newport Mesa TR Lot 1014 All Ex N 58 Ft E 240 Ft

Louis L. Ericson Signature of Applicant or Agent Date 4-30-70

D. J. Grunwald Signature of Owner Date 4/30/70

XX

DO NOT COMPLETE APPLICATION BELOW THIS LINE

Date Filed 4-30-70 Fee Pd. \$150.00 Receipt No. 27366

Hearing Date 5-21-70 Publication Date 5-7-1970

Posting Date 5-11-1970 Mail Date _____

P.C. Action APPROVED SUBJECT TO ATTACHED CONDITIONS.

Date 5-21-1970 Appeal _____

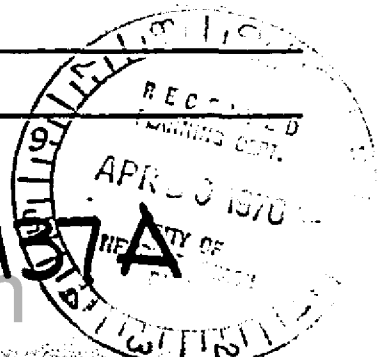
C.C. Hearing _____ C.C. Action _____

Date _____

*Extended 3 yrs by mod. Comm on 5/15/73
" 5 yrs " " " 4/22/80*

City of Newport Beach

Use Permit # 1137A



CITY OF NEWPORT BEACH

May 14, 1970

TO: Planning Commission
FROM: Planning Department
SUBJECT: Amendment to Use Permit No. 1137
Request to permit expansion of an existing private school.
LOCATION: Portion of Lot 1014 of the First Addition to Newport Mesa Tract, located at 1541 Monrovia Avenue on the west side of Monrovia Avenue between 15th Street and 16th Street.
ZONE: M-1-A
APPLICANT: Corelco, Newport Beach
OWNER: Same as applicant.

Application

This application requests permission to expand the existing Carden Hall School in three phases, utilizing a total of five acres. A use permit is required in accordance with Section 20.08.080 of the Municipal Code.

Subject Property and Surrounding Land Use

The subject property is located in an M-1-A District that is almost completely developed with light manufacturing uses in modern buildings. However, the Seacliffe Trailer Park is situated diagonally across Monrovia Avenue from the main building of Carden Hall School and there are some single family dwellings southerly of the school facing on Monrovia Avenue.

The site of the proposed expansion presently has an old abandoned dwelling on it. The property is fenced and is immediately south of the Bartell Corporation.

All street improvements, including curb, gutter and sidewalk, are existing.

Analysis

Use Permit No. 1137 permitting a private school in an M-1-A District was approved by the Planning Commission on May 20, 1965, subject to the following conditions:

TO: Planning Commission - 2.

1. That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students.
2. That students not be allowed to cross the street on foot.
3. That the school activity and playground area be fenced.
4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department.
5. Approved as a private school for a period of four years, in accordance with plot plan submitted.

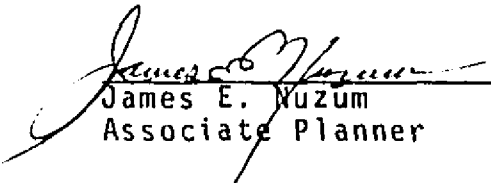
On April 29, 1969 the use permit was extended for four years by the Modifications Committee.

The expansion of the school would take place in three phases. Phase #1 calls for one building 40 feet by 134 feet. Phase #2 calls for an addition to building No. 1 of 40 feet by 80 feet. Phase #3 includes a gymnasium and a swimming pool.

At present there is parking provided for 50 cars; under the proposed expansion there would be 79 parking spaces provided. The applicants wish to defer construction of some of the parking spaces until the completion of Phase #3. The City has no specific requirements for parking in conjunction with a school.

Recommendation

The school has proven to be a good neighbor at its present location and staff feels that the proposed expansion is in order and recommends approval of this application subject to the condition as originally outlined.


James E. Nuzum
Associate Planner

JEN:hh

Attachments: Vicinity Map
Plot Plan

Attachment No. CD 4

Staff Approval No. SA2021-005



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

**COMMUNITY DEVELOPMENT DIRECTOR ACTION
LETTER**

Subject: Carden Hall Modular Classroom (PA2021-118)
• Staff Approval No. SA2021-005

Site Location 1541 Monrovia Avenue

Applicant Gorgano Builders

Legal Description Lot 1014, First Addition of Newport Mesa Tract Map

On **July 2, 2021**, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of one new 2,160-square-foot modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to Americans with Disabilities Act of 1990 (ADA) parking and paths of travel are included in the scope of work as well. This approval is based on the following findings and subject to the following conditions.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Private Institutions (PI)
- **Zoning District:** Private Institutions (PI)

PROJECT SUMMARY

The applicant proposes to install one new 2,160-square-foot modular classroom building to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to the existing parking lot include one new ADA parking stall, and paths of travel.

BACKGROUND

On February 16, 1961, the Planning Commission approved Use Permit No. UP0712 to allow the construction of a 250-foot radio tower on the subject property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as school. The building was designed as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code (NBMC). The building contained all requirements for a manufacturing facility as well as those required for a school. This use permit was subsequently amended

by the Planning Commission on May 21, 1970, to extend the development of overall land usage of the total 5 acres, which provided for the new facilities and future growth of the school.

I. FINDINGS

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The project is located in the Private Institutions (PI) Zoning District. The Private Institutions Zoning District is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and other comparable facilities. The proposed modular classroom is for a private institutional use that serves the students and faculty attending the school. The proposed modular classroom, ADA parking improvements, paths of travel, and increase of student enrollment are consistent with the purpose and intent of the Private Institutions zone.

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. There were no specific facts, findings, mitigation measures or conditions that would preclude the proposed improvements to the use.

3. The Class 1 exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use including additions to existing structures provided that the addition will not result in more than 2,500 square feet or 10,000 square feet in areas where all public services and facilities are available.. In this case, the proposed 2,160-square-foot modular classroom, ADA parking, paths of travel improvements, and an increase in enrollment of up to 57 students are consistent with this exemption.
4. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed improvements which include a modular classroom, ADA parking, paths of travel improvements, and increase of student enrollment to the existing private school do not involve a feature that was specifically addressed or was the subject of a condition of approval for Use Permit No. UP0712, Use Permit No. UP1137, and subsequent amendment (Use Permit No. UP1137A).
2. The proposed modular classroom and increase of student enrollment is in accordance with the amendment of Use Permit No. UP1137, which discusses the need of facilities for the future growth of the school. The conditions of approval and project description do not place a limit on enrollment.
3. All necessary parking is provided on-site so there will be no spillover onto public streets. The approved Use Permits do not specify a parking rate or required number of spaces for the school use as specified by the Zoning Code. The Zoning Code identifies a related parking rate of one space per seven students for a day care general use, which provides similar operational characteristics for school-age children that do not drive and are dropped off. The proposed student enrollment of 435 students will accommodate 62 parking spaces on-site. There are currently 72 parking spaces provided on-site.
4. Condition No. 1 of UP1137 and UP1137A requires the parking area and motor court to be used for discharging and pickup of all students. The site will continue to provide

adequate circulation and drop off areas where vehicles enter through the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

5. The addition of one new ADA parking stall and proposed paths of travel provided on-site are consistent with Use Permit No. UP1137 and its subsequent amendment.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The Private School proposes an increase in student enrollment, modular classroom, ADA parking, and path of travel improvements, which will not substantially modify the existing school layout or current operational characteristics.
2. All other school structures and operations will continue as authorized Use Permit No. UP1137 and its subsequent amendment. The school provides K-8 educational programming within the main building. The parking layout and drop-off will continue as authorized under current operations. The proposed modular classroom will provide a dedicated classroom space for a Kindergarten program with more direct access to required play areas.

II. CONDITIONS

All previous findings and conditions of Use Permit No. 0712, Use Permit No. UP1137, and amendment to Use Permit No. UP1137A shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

PLANNING DIVISION

1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
5. A building permit shall be obtained prior to commencement of the construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.
7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
8. This Staff Approval No. SA2021-005 (PA2021-118) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Carden Hall Modular Classroom** including, but not limited to, **Staff Approval No. SA2021-005 (PA2021-118)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

PUBLIC WORKS DEPARTMENT

10. County Sanitation District fees shall be paid prior to the issuance of any building permits.

BUILDING DIVISION

11. Prior to the issuance of building permits, the project plans shall provide state approvals of modular classroom for “E” occupancy.
12. Prior to the issuance of building permits, state approved C.P. seismic piers shall be listed and labeled by BSK Associates on the project plans.
13. Prior to the issuance of building permits, if plans are not state approved, a one (1) hour fire rated corridor shall be required for “E” occupancy greater than ten (10) occupants in non-sprinkler building.
14. Prior to the issuance of building permits, if plans are not state approved, the project plans shall show Office 104 exit access. Exit access shall not pass through a room that can be locked to prevent egress.
15. Prior to the issuance of building permits, if plans are not state approved, the project plans shall provide a minimum 48-inch-wide corridor shall be required for side approach to doors equipped with both latch and closer.
16. Prior to the issuance of building permits, if plans are not state approved, the project plans shall show that restroom door is equipped with both latch and closer.
17. Prior to the issuance of building permits, if plans are not state approved, the project plans shall provide a 5-foot diameter turn around at the end of the corridor in front of Office 104.
18. Prior to the issuance of building permits, the project plans shall provide an accessible ramp to access each classroom.
19. The applicant shall employ the following best available control measures (“BACMs”) to reduce construction-related air quality impacts:

Dust Control
 - Water all active construction areas at least twice daily.
 - Cover all haul trucks or maintain at least two feet of freeboard.
 - Pave or apply water four times daily to all unpaved parking or staging areas.
 - Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
 - Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
 - Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

Off-Site Impacts

- Encourage carpooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.

20. A list of “good housekeeping” practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

FIRE DEPARTMENT

21. An automatic fire alarm system shall be provided in new buildings of private schools. (2019 California Fire Code 907.2.3.8).
22. Fire extinguishers shall be provided and placed according to Chapter 9 of the 2019 California Fire Code. Prior to the issuance of building permits, identify locations of fire extinguishers on plans.
23. Materials for interior wall and ceiling finish shall meet the requirements of Table 803.3 in the 2019 California Fire Code.
24. All interior materials shall meet the requirements of Chapter 8 of the 2019 California Fire Code.
25. Prior to the issuance of building permits, the project plans shall identify Fire Department access, all fire lanes, and hydrant locations.

26. Plans shall identify a safe dispersal area. Safe dispersal area shall be based on 3 square feet per occupant. Safe dispersal areas shall not be less than 50 feet from school buildings. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.3)
27. All buildings housing Group E occupancies shall front directly to a public street or an exit discharge not less than 20 Feet in width. Plans shall identify exit discharge area. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.1).

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Seimone Jurjis, Community Development Director,

Prepared by:



Afshin Atapour
Planning Technician

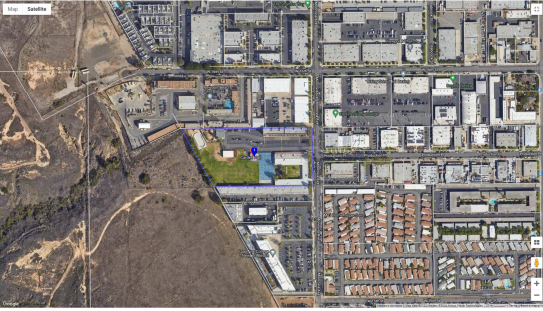
MKN/aa

Attachments: ~~CD 1 Vicinity Map
CD 2 UP0712, UP1137, and UP1137A
CD 3 Project Plans~~

Attachment No. CD 5

Project Plans

VICINITY MAP



1541 N Monrovia St. Newport Beach, CA

CLIENT:
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NEWPORT BEACH, CA

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PROJECT:

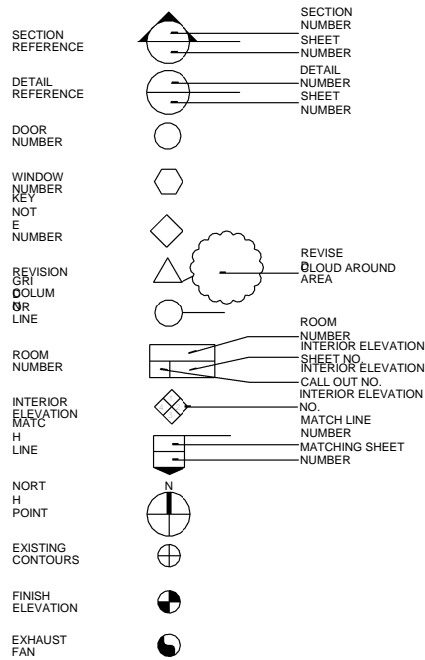
GENERAL NOTES

ABBREVIATIONS

- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL OF THE FOLLOWING CONDITIONS:
1. THE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE AND REQUIREMENTS OF THE GOVERNING AGENCY WITH JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGN TEAM.
...
34. THE PATH OF EXIT TRAVEL TO AN WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO CBC 2022 CODE

Table with 4 columns: Material Name, Pattern, Material Name, Pattern. Includes items like (NEW) FILL EARTH, CONCRETE/POUR IN PLACE, STONES/MARBLE, BRICK, METAL/STEEL, WOOD/CONTINUOUS OR DIMENSION, GYPSUM, CERAMIC TILE, INSULATION, GRAVEL FILL, REGULAR BLOCK, STONE, LIGHT WEIGHT BLOCK, STEEL STUD, BLOCKING OR CONTINUOUS, RIGID INSULATION, FINISHED WOOD.

SYMBOLS



- FIRE SPRINKLER T.I. & AUTOMATIC EXTINGUISHING SYSTEM: DEFERRED SUBMITTAL
• SIGNS ARE UNDER SEPARATE PERMIT.
• NON-FIXED AND MOVABLE FIXTURES, CASES, RACKS NOT OVER 5'-9" IN HEIGHT IS EXEMPT FROM PERMIT REQUIREMENTS OF THE CODE BUT SHALL NOT BE DEEMED TO GRANT AUTHORIZATION FOR ANY WORK TO BE DONE IN ANY MANNER IN VIOLATION OF THE PROVISIONS OF THE CODE OR ANY OTHER LAWS OR ORDINANCES.
...
• THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO MAINTAIN BUILDING SAFEGUARDS, EXITS, AND FIRE PROTECTION DEVICES. PROTECT ADJACENT PROPERTIES, WORKERS, PEDESTRIANS, AND OTHER PERSONS DURING EXCAVATION AND CONSTRUCTION OPERATIONS. (CBC 3302, 3306 & 3307)

ZONING: A TR FIRST ADD TO NEWPORT MESA TR BLK LOT 1014
PARCEL # (APN): 424-401-05
LEGAL DESC:
SUITE SQFT: -
YEAR: BUILT: -
PROPOSED USE TYPE: NEW MODULAR ADDITION
BUILDING OCCUPANCY: -
OCCUPANCY: -
PER TABLE 508.4 NO SEPARATION NEEDED
CONSTRUCTION TYPE: VB
SPRINKLERS: NO
STORIES: 1

- SCOPE OF WORK:
• NEW MODULAR 24'X40' BUILDING (PLANS PRE-APPROVED)
• NEW PLUMBING, ELECTRICAL, AND MECHANICAL
• STRUCTURAL WORK FOR MODULAR FOUNDATION

SHEET INDEX table with columns: Sheet #, Sheet Name. Lists sheets A0 through S1 including Cover Sheet, Site Plan, Floor Plan, Elevations & Sections, Green Building, Symbols and Legend, Single Line Diagram, Electrical Power Plan, Plumbing Legend, Plumbing Calculations, Plumbing Calculations and Schedules, Structural Notes, and Modular Foundation Plan.

REVISIONS:

Table with 3 columns: No., Description, Date.

PROJECT ADDRESS:

1541 N Monrovia St. Newport Beach, CA

CLIENT NAME:

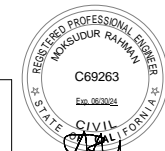
CARDEN HALL SCHOOL

COVER SHEET

- 1. THIS PROJECT SHALL COMPLY WITH TITLE 24
2. ALL WORK SHALL CONFORM TO THE
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ENERGY STANDARDS CODE (CESC)

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Project number 24-2334

Date 7/8/2024 12:51:08 PM

Drawn by ES

Checked by ES

A0

Scale

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

7/8/2024 12:51:08 PM

EXIT PLAN

1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS

- TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
- EACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT".
 - EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - "EXIT STAIR DOWN"
 - "EXIT RAMP DOWN"
 - "EXIT STAIR UP"
 - "EXIT RAMP UP"
 - EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE."
 - EACH EXIT DOOR THROUGH A HORIZONTAL EXIT THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."

RAISED CHARACTER AND BRAILLE EXIT SIGNS SHALL COMPLY WITH CHAPTER 11A, SECTION 1143A OR CHAPTER 11B, SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5.

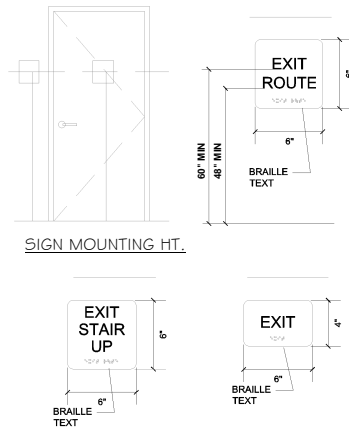
1013.5 INTERNALLY ILLUMINATED EXIT SIGNS
ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

1013.6.3 POWER SOURCE
EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27, GROUP I-2, CONDITION 2. EXIT SIGN ILLUMINATION SHALL NOT BE PROVIDED BY UNIT EQUIPMENT BATTERIES ONLY.

1013.1 WHERE REQUIRED
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET (30 480 MM) OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

OCCUPANCY LEGEND

- PRIMARY EXIT
- EXIT NUMBER
- ROOM NUMBER
- ILLUMINATED EXIT SIGN
- DIRECTIONAL ILLUMINATED EXIT SIGN
- PANIC HARDWARE VON DUPRIN-35A-NL-OP OR EQUAL
- TACTILE 'EXIT' SIGN
- TACTILE EXIT ROUTE SIGN
- TACTILE 'EXIT STAIRS DOWN' SIGN
- TACTILE 'NOT AN EXIT' SIGN



ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS SHALL COMPLY WITH SECTION 11B-308.1.

- WHERE A FORWARD REACH IS UNOBSTRUCTED, CONTROLS, SWITCHES & ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF FINISH FLOOR. (CBC 11B-308.1.1)
- ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF FINISH FLOOR. (CBC 11B-308.1.2)

EXIT NOTES:

- "EXIT" SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH 5-FOOT-CANDLES. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND WILL BE CONNECTED TO THE BUILDING POWER AND AN EMERGENCY POWER SOURCE PROVIDING 90 MINS. OF ILLUMINATION IN CASE OF PRIMARY POWER LOSS.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. THE MEANS OF EGRESS ILLUMINATION AND EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SOURCE PROVIDING 90 MINS. OF ILLUMINATION IN CASE OF PRIMARY POWER LOSS. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. (CBC 1008, 1013.6.3) SUPPLY LIGHT FIXTURES THAT ARE CONNECTED TO THE EMERGENCY POWER SUPPLY OR BATTERY PACK AT THE FOLLOWING LOCATIONS:
 - AISLES, HALLWAYS, CORRIDORS AND EXIT ACCESS STAIRWAYS & RAMPS.
 - INTERIOR EXIT ACCESS STAIRWAYS & RAMPS, INTERIOR AND EXTERIOR EXIT STAIRWAYS & RAMPS, EXIT PASSAGEWAYS, VESTIBULES AND AREAS ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE AND EXTERIOR LANDINGS FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE.
 - ELECTRICAL EQUIPMENT ROOMS, FIRE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS & PUBLIC RESTROOMS WITH AREA GREATER THAN 300 SQ. FT

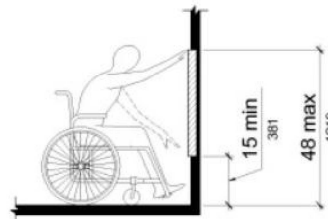


FIGURE 11B-308.2.1

UNOBSTRUCTED FORWARD REACH

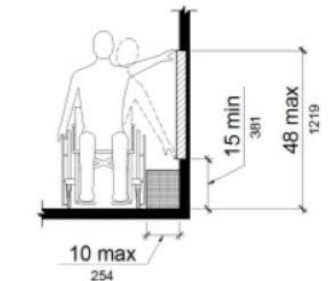
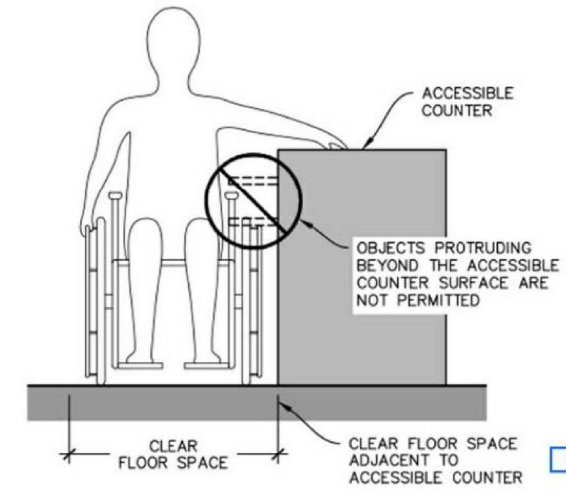


FIGURE 11B-308.3.1

UNOBSTRUCTED SIDE REACH

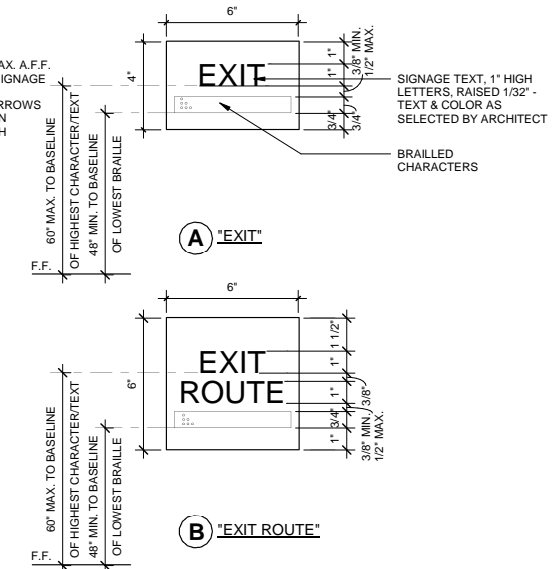


SALES AND SERVICE COUNTERS CLEAR SPACE REQUIREMENTS

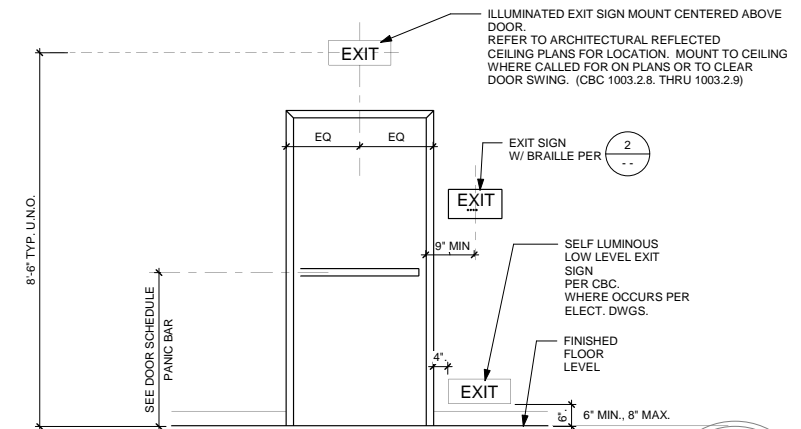
At accessible sales and service counters, the code specifically states that the clear floor space shall be adjacent to the counter (11B-904.4.1). The common definition of "adjacent" is "having one side in common." Access Board resources have confirmed this is the correct interpretation of the code.

NOTE:

- MOUNT SIGN AT 5'-0" MAX. A.F.F. AT BOTTOM OF FIRST SIGNAGE TEXT, TYP.
- PROVIDE DIRECTION ARROWS AS REQUIRED PER PLAN
- SIGNS TO COMPLY WITH CBC SEC. 1003.2.8.6.1



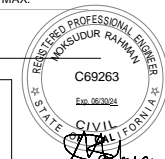
2020- EXIT SIGN
3" = 1'-0"



REAR EXIT DOOR
1/2" = 1'-0"

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PROJECT:

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

REVISIONS:

No.	Description	Date

PROJECT ADDRESS:

1541 N Monrovia St.
Newport Beach, CA

CLIENT NAME:

CARDEN HALL SCHOOL

CODE /
ACCESSIBILITY
PLAN

Project number 24-2334

Date 7/8/2024 12:51:10 PM

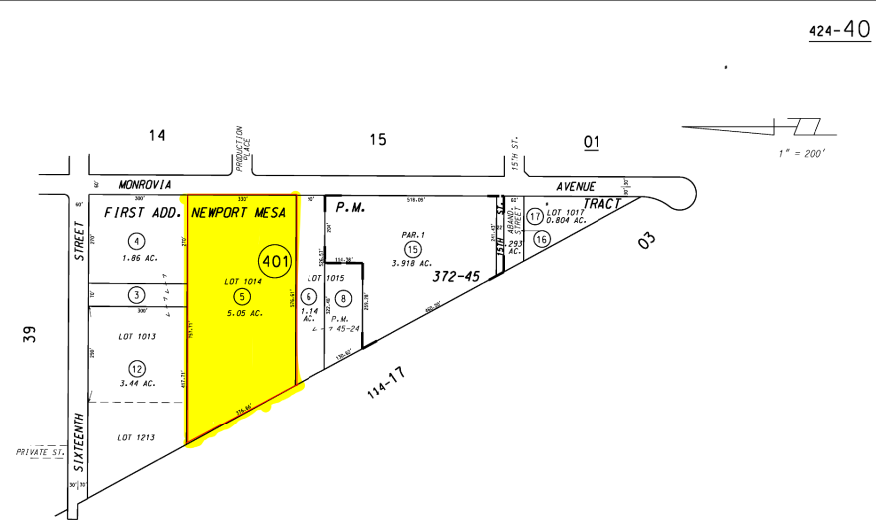
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Checked by ES

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Scale As indicated

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424-40

1" = 200'



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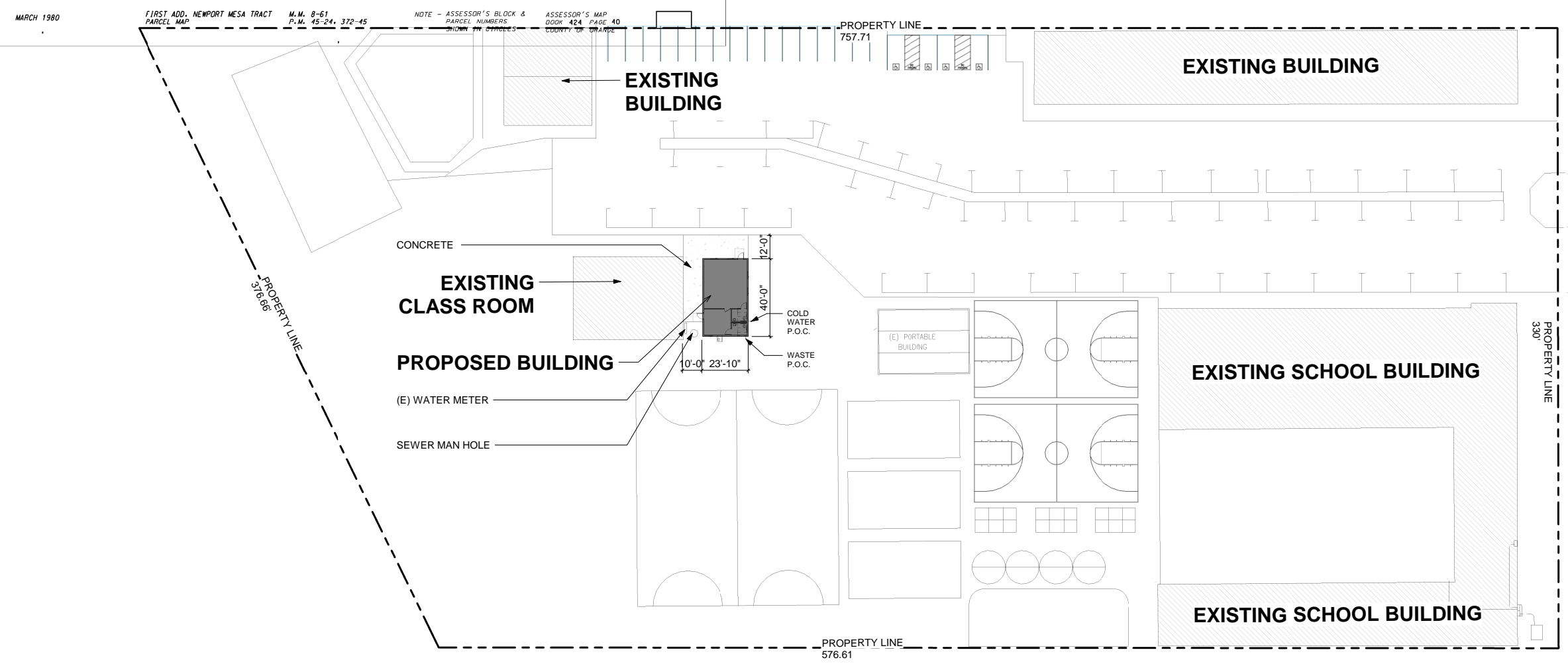
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PROJECT:

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL



1 SITE PLAN
1" = 30'-0"

REVISIONS:

No.	Description	Date

PROJECT ADDRESS:

1541 N Monrovia St.
Newport Beach, CA

CLIENT NAME:

CARDEN HALL SCHOOL

SITE PLAN

Project number 24-2334

Date 7/8/2024 12:51:11 PM

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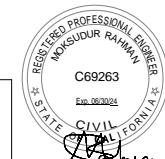
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A1

Scale 1" = 30'-0"

PLANS REVIEWED BY:

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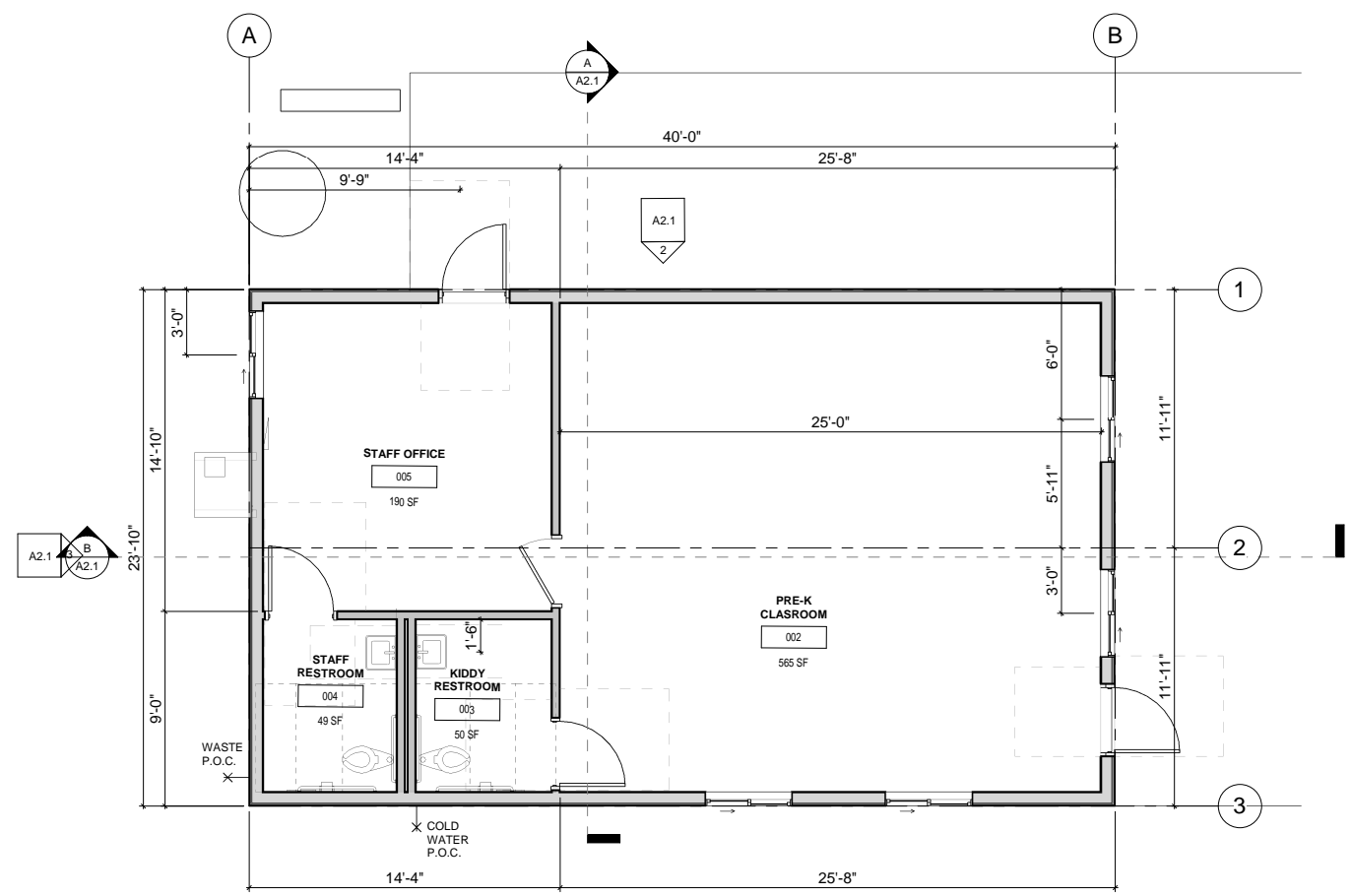
- FLOOR PLAN
- (E) WALL TO REMAIN
 - INFILL OF EXISTING WALL
 - NEW WALL TYPE
 - (E) 1-HOUR RATED SUITE DEMISING PARTITION**
PROVIDE 1-HOUR FIRE PROTECTION FOR ALL PENETRATIONS ((E) FULL HEIGHT 6" METAL STUD WALL W/R19 INSULATION (1) LAYER OF 5/8" TYPE "X" GYP BD. ON BOTH SIDES
 - (N) PARTITION WALL METAL STUD @ 16" O.C.
 - ADA DOOR CLEARANCE
 - DOOR TAG SEE DOOR SCHEDULE **A2**
 - NEW STORAGE / CASEWORK:
SEE FINISH INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE **A4**
 - FIRE EXTINGUISHER CABINET
 - NEW ELECTRICAL / AUDIO-VIDEO COMPONENT:
SEE CONSULTANT PLANS FOR MORE INFORMATION.
 - NEW PLUMBING FIXTURE:
SEE CONSULTANT PLANS FOR MORE INFORMATION.

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1 FLOOR PLAN (MANF. HOME PLANS)
1/4" = 1'-0"

PROJECT:

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

REVISIONS:

No.	Description	Date

PROJECT ADDRESS:
1541 N Monrovia St.
Newport Beach, CA

CLIENT NAME:
CARDEN HALL SCHOOL

FLOOR PLAN

Project number	24-2334
Date	7/8/2024 12:51:12 PM
Drawn by	ES
Checked by	ES

A2

Scale: As indicated

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NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

REVISIONS:

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PROJECT ADDRESS:

1541 N Monrovia St.
Newport Beach, CA

CLIENT NAME:

CARDEN HALL SCHOOL

**ELEVATIONS &
SECTIONS**

Project number 24-2334

Date 7/8/2024 12:51:14 PM

Drawn by Author

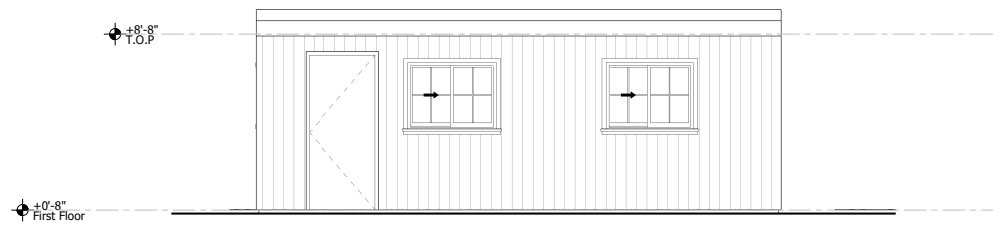
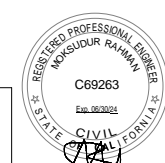
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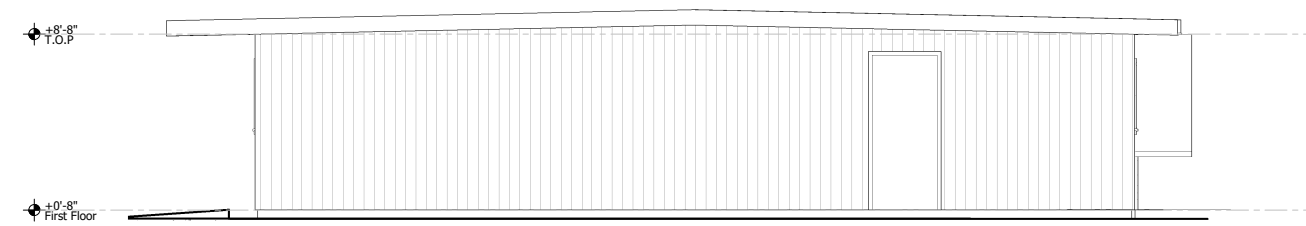
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PLANS REVIEWED BY:

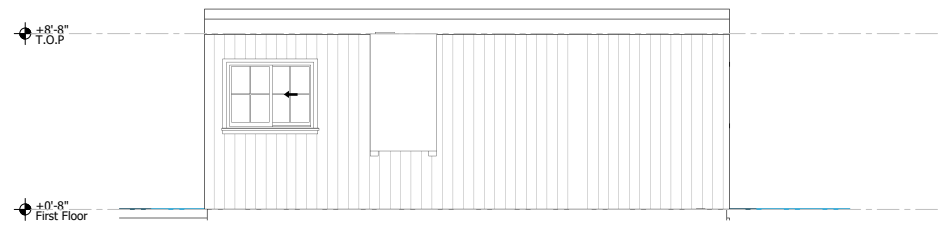
RAHMAN ENGINEERING
13611 12TH ST, SUITE-B,
CHINO, CA 91710
Tel: (213)-400-8078
MOHAMED.RAHMAN@GMAIL.COM



④ EAST ELEVATION
1/4" = 1'-0"



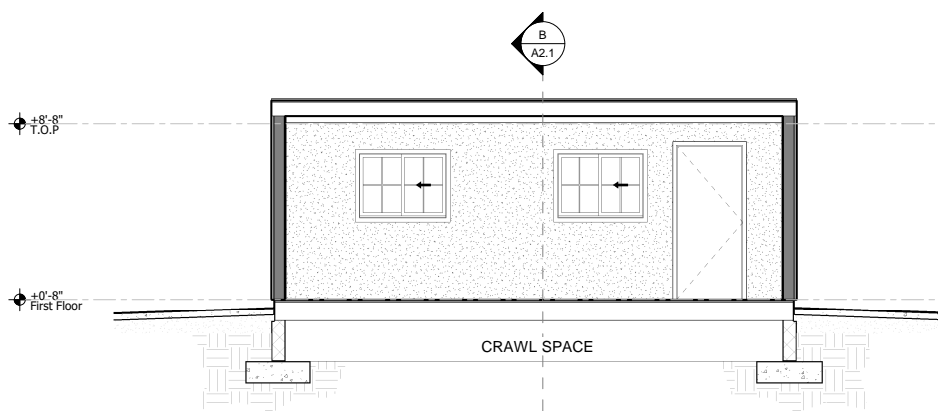
② NORTH ELEVATION
1/4" = 1'-0"



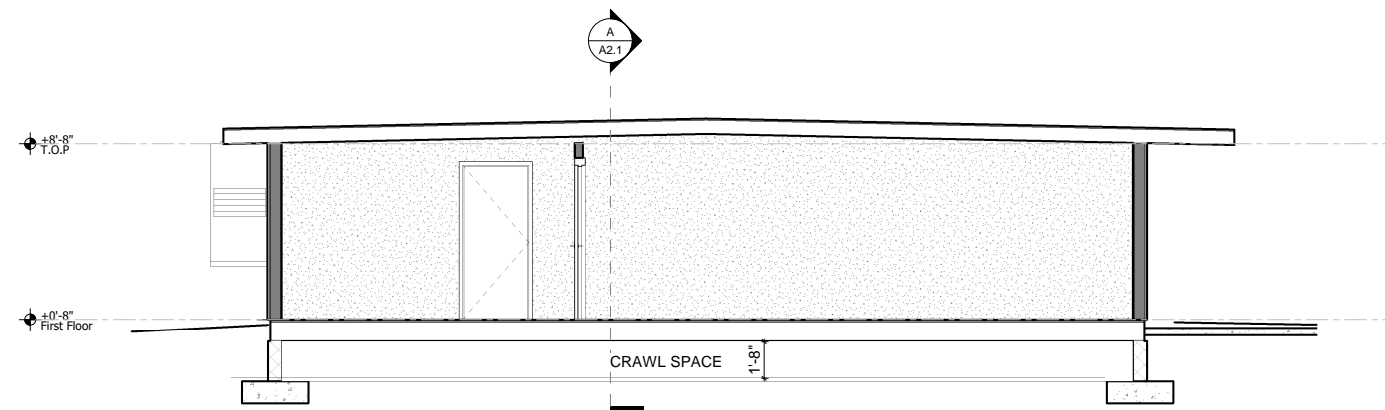
③ WEST ELEVATION
1/4" = 1'-0"



① SOUTH ELEVATION
1/4" = 1'-0"



① Section "A"
1/4" = 1'-0"



② Section "B"
1/4" = 1'-0"

SINGLE LINE DIAGRAM GENERAL NOTES:

1. INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT.
2. CONTRACTOR TO OBTAIN THE AVAILABLE FAULT CURRENT LETTER FROM THE UTILITY COMPANY.
3. ALL CONDUCTORS SHALL BE COPPER AND RATED 75°C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2.
4. ALL NEW CIRCUIT BREAKERS, FUSIBLE SWITCHES IN MAIN SWITCHBOARD OR PANEL BOARDS SHALL BE FULLY RATED.
5. FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
6. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT PER 110.26 (E) (1). CONTRACTOR TO MAINTAIN ALL CLEARANCES AS REQUIRED BY 110.269A) -(E) FOR ALL INSTALLATIONS OF THIS PROJECT.
7. MAIN SERVICE SHALL NOT BE ENERGIZED PRIOR TO THE BUILDING INSPECTOR'S RECEIPT OF A THIRD PARTY "NRTL" TESTING LABORATORY PERFORMANCE TEST CERTIFICATION FOR THE SERVICE GROUND FAULT PROTECTION 2020 NEC 230.95

GENERAL NOTES:

1. INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
3. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
4. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.
5. PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BOARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS.
6. NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
7. PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16

CONSTRUCTION NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
2. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
3. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.
4. PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BOARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS.
5. NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
6. PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16
7. SERVICE EQUIPMENT IN OTHER THAN DWELLING UNITS SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKINGS SHALL INCLUDE THE DATE THE FAULT CURRENT CALCULATION WAS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED. CEC 110.24(A).

LISTING NOTE:

1. ALL ELECTRICAL EQUIPMENT SHALL BE UL CERTIFIED. CONTRACTOR TO VERIFY THE EQUIPMENT LISTING WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.

KEYED NOTES

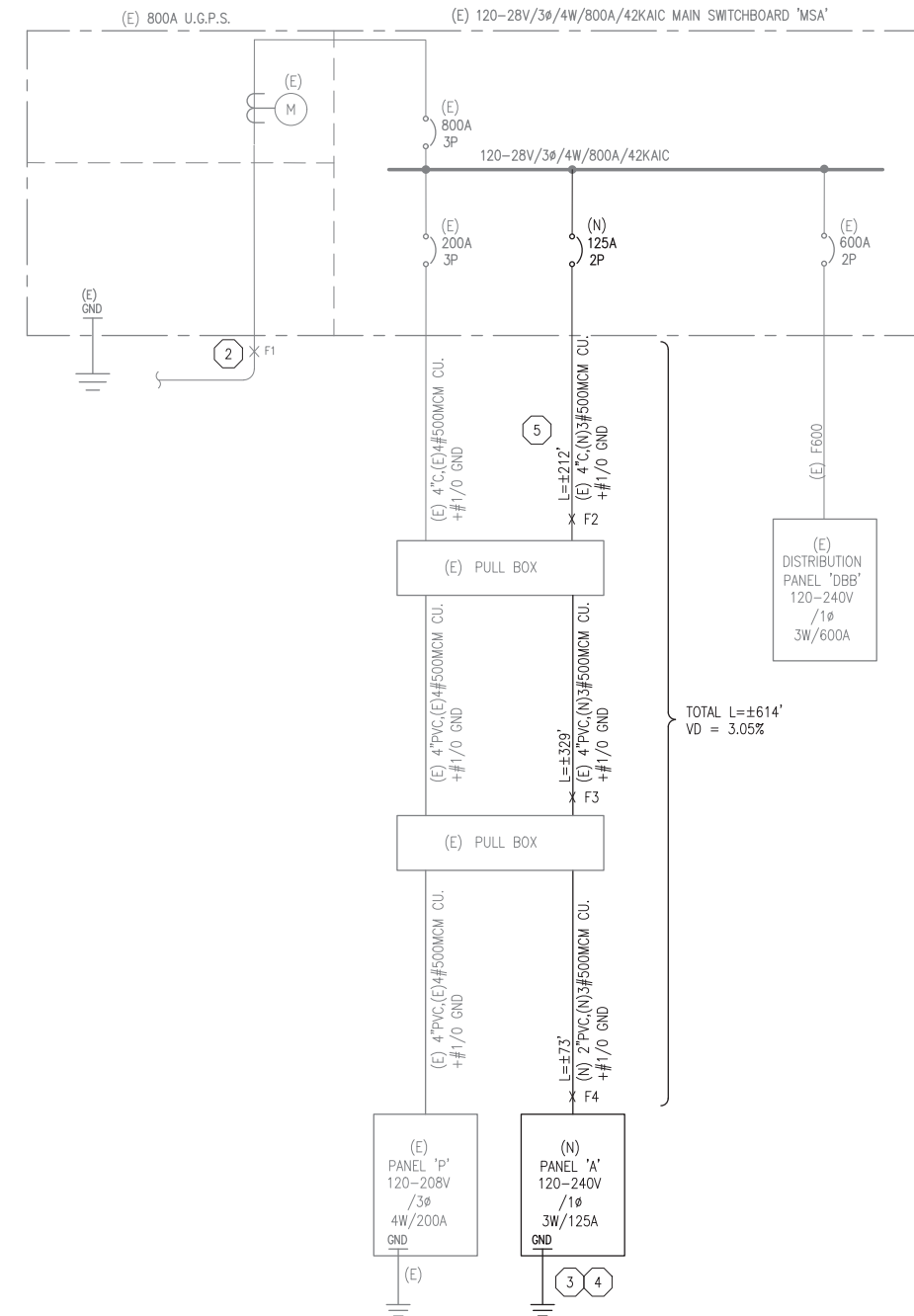
1. EXISTING NEMA3R 120-208V/800A/3Ø/4W MAIN-METER PANEL. CONTRACTOR TO VERIFY.
2. CONTRACTOR TO VERIFY THE AVAILABLE SHORT CIRCUIT CURRENT WITH THE UTILITY COMPANY
3. PRIOR TO ENERGIZING THE SYSTEM, CONTRACTOR SHALL PROVIDE GROUND TEST TO MEASURE THE RESISTANCE BETWEEN THE GROUND SYSTEM AND EARTH.
4. SEE GROUNDING DETAIL

FAULT CURRENT CALCULATIONS

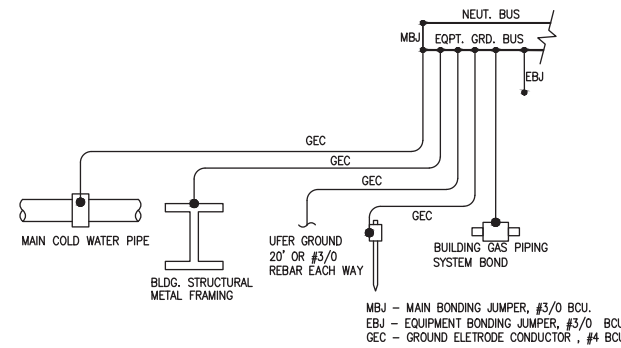
FAULT LOCATION	F1	F2	F3	F4
AFC FROM SOURCE	42000	42000	8677	4289
CONDUCTOR SIZE		500MCM	500MCM	500MCM
CONDUCTOR TYPE		COPPER	COPPER	COPPER
LENGTH		212'	329'	73'
# OF SETS		1	1	1
CONDUIT TYPE		RMC	PVC	PVC
VOLTAGE		208V	208V	208V
CALCULATED FAULT CURRENT	42000	8677	4289	3856

SERVICE LOAD CALCULATIONS

No.	LOAD DESCRIPTION	KVA
1	EXISTING PANEL 'DBB'	115.20
2	EXISTING PANEL "P"	57.64
3	NEW PANEL "A"	25.40
TOTAL KVA =		198.24
TOTAL LOAD @ 208V THREE PHASE=		550.28



1 ELECTRICAL PARTIAL SINGLE LINE DIAGRAM
N.T.S.

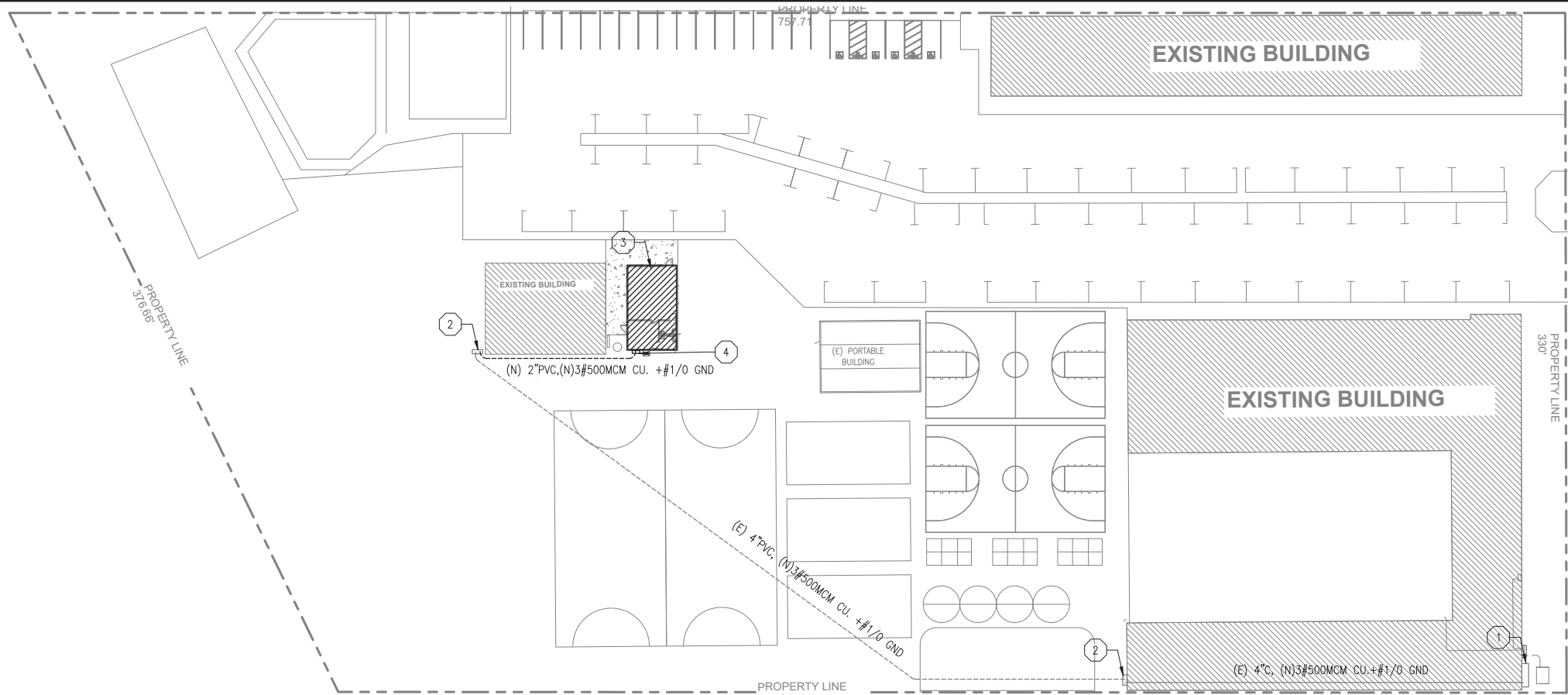


2 ELECTRICAL GROUNDING DETAIL
N.T.S.

MAIN SERVICE GROUNDING DETAIL NOTES:

1. ALL GROUNDING ELECTRODE CONDUCTORS AND MAIN BONDING JUMPERS SHALL BE BARE COPPER, SIZED IN ACCORDANCE WITH NEC TABLE 250-66 UNLESS NOTED OTHERWISE.
2. BOTH ENDS OF GROUND BUSES IN MOTOR CONTROL CENTERS, SWITCHBOARDS, SWITCHGEAR, ETC. SHALL BE SEPARATELY CONNECTED TO THE MAIN GROUND BUS TO FORM TWO(2) SEPARATE PATHS TO GROUND.
3. ADDITIONAL GROUND RODS SHALL BE INSTALLED A MINIMUM OF SIX(6) FEET APART AND CONNECTED BY GROUNDING ELECTRODE CONDUCTORS UNTIL THE GROUND RESISTANCE DOES NOT EXCEED TWENTY FIVE(25) OHMS. REFER TO ELECTRICAL SPECIFICATIONS SECTION 16450 FOR ADDITIONAL GROUNDING REQUIREMENTS.

NO.	REVISION	DATE
5/24/2024		
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OWNER/CLIENT: GARDEN HALL SCHOOL 1541 MONROVIA ST., NEWPORT BEACH, CA 92663		
PROJECT ADDRESS 1541 N. MONROVIA ST., NEWPORT BEACH, CA 92663		
PROJECT TITLE NEW 24X40 MODULAR BUILDING		
SHEET TITLE ELECTRICAL SINGLE LINE DIAGRAM		
PROJECT NO.: 2407862		
DATE: 5/24/2024		
SCALE: AS SHOWN		
DRAWING NO. <h1 style="font-size: 2em;">E110</h1>		
of		



1 ELECTRICAL POWER SITE PLAN
1/4"=1'-0"

KEYED NOTES

- 1 EXISTING NEMA3R 120-208V/800A/3φ/4W MAIN-METER PANEL. CONTRACTOR TO VERIFY. SEE SINGLE LINE DIAGRAM ON E-110
- 2 EXISTING PULL BOX. CONTRACTOR TO VERIFY.
- 3 NEW MODULAR BUILDING. ALL LIGHTING AND ELECTRICAL WORK INSIDE THE BUILDING IS BY THE BUILDING MANUFACTURER.
- 4 NEW PANEL 'A' TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.
- 5 NEMA3R FUSED DISCONNECT SWITCH FOR OUTDOOR CONDENSER UNIT. SEE MECHANICAL PLANS
- 6 RECEPTACLE FOR LAUNDRY

ELECTRICAL POWER NOTES:

1. ELECTRICAL CONTRACTOR SHALL FOLLOW ALL SAFETY, NEC AND LOCAL CODES.
2. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
3. PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR SWITCHBOARDS, PANEL BOARDS AND OTHER ELECTRICAL EQUIPMENT.
4. ALL EQUIPMENT SHALL BE U.L. LISTED.
5. CONTRACTOR TO PROVIDE ALL HARDWARE, BRACKETS, LAMPS, TUBES, ETC. FOR A COMPLETE INSTALLATION.
6. ALL CONDUITS/ RACEWAYS TO BE E.M.T., MC-CABLE OR METAL FLEX.
7. ALL CONDUCTORS SHALL BE COPPER AND RATED 90°C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2.

CONSTRUCTION NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
2. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
3. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.

LISTING NOTE:

1. ALL NEW ELECTRICAL EQUIPMENT SHALL BE UL CERTIFIED. CONTRACTOR TO VERIFY THE EQUIPMENT LISTING WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.

2 MODULAR BUILDING ELECTRICAL PLAN [FOR REFERENCE]
NTS

A ELECTRICAL GROUND DETAIL

SYMBOL	DESCRIPTION	QTY	REMARKS
1	120V/208V/200A/3φ/4W MAIN-METER PANEL	1	CONTRACTOR TO VERIFY.
2	EXISTING PULL BOX	1	CONTRACTOR TO VERIFY.
3	NEW MODULAR BUILDING	1	ALL LIGHTING AND ELECTRICAL WORK INSIDE THE BUILDING IS BY THE BUILDING MANUFACTURER.
4	NEW PANEL 'A'	1	TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.
5	NEMA3R FUSED DISCONNECT SWITCH	1	FOR OUTDOOR CONDENSER UNIT. SEE MECHANICAL PLANS.
6	RECEPTACLE FOR LAUNDRY	1	

SYMBOL	DESCRIPTION	QTY	REMARKS
1	120V/208V/200A/3φ/4W MAIN-METER PANEL	1	CONTRACTOR TO VERIFY.
2	EXISTING PULL BOX	1	CONTRACTOR TO VERIFY.
3	NEW MODULAR BUILDING	1	ALL LIGHTING AND ELECTRICAL WORK INSIDE THE BUILDING IS BY THE BUILDING MANUFACTURER.
4	NEW PANEL 'A'	1	TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.
5	NEMA3R FUSED DISCONNECT SWITCH	1	FOR OUTDOOR CONDENSER UNIT. SEE MECHANICAL PLANS.
6	RECEPTACLE FOR LAUNDRY	1	

SYMBOL	DESCRIPTION	QTY	REMARKS
1	120V/208V/200A/3φ/4W MAIN-METER PANEL	1	CONTRACTOR TO VERIFY.
2	EXISTING PULL BOX	1	CONTRACTOR TO VERIFY.
3	NEW MODULAR BUILDING	1	ALL LIGHTING AND ELECTRICAL WORK INSIDE THE BUILDING IS BY THE BUILDING MANUFACTURER.
4	NEW PANEL 'A'	1	TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.
5	NEMA3R FUSED DISCONNECT SWITCH	1	FOR OUTDOOR CONDENSER UNIT. SEE MECHANICAL PLANS.
6	RECEPTACLE FOR LAUNDRY	1	

NO.	REVISION	DATE

REGISTERED PROFESSIONAL ENGINEER
ELECTRICAL
STATE OF CALIFORNIA
NO. E-20088
5/24/2024

blueberry, inc.
ENGINEERING SERVICES
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Tel: (949) 945-9614
www.blueberryeng.com

OWNER/CLIENT:
CARDEN HALL SCHOOL
1541 MONROVIA ST.,
NEWPORT BEACH, CA 92663

PROJECT ADDRESS
1541 N. MONROVIA ST.,
NEWPORT BEACH, CA 92663

PROJECT TITLE
NEW 24X40 MODULAR BUILDING

SHEET TITLE
ELECTRICAL
POWER PLAN

PROJECT NO.: 2407862
DATE: 5/24/2024
SCALE: AS SHOWN
DRAWING NO. E120

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DRAINAGE WASTE & VENT SYSTEM SIZING SYSTEM											
DFUs CONNECTED (DFU VALUES FROM TABLE 702.1, 2022 CPC)											
CODE REFERENCES						SANITARY WASTE FIXTURE SUMMARY					
TABLE 703.2, 2022 CPC DRAINAGE PIPING						TABLE 703.2, 2022 CPC VENT PIPING					
WASTE PIPE SIZE	MAX. DFU VERTICAL	MAX. DFU HORIZONTAL	MAX. VERTICAL LENGTH	TAG	EQUIPMENT	DFUs	QTY.	TOTAL	MIN. TRAP AND TRAP ARM	REMARKS	
1-1/4"	1	1	45	FD	(E) FLOOR DRAIN	2	5	10	2"		
1-1/2"	2	1	65	SK	(E) LAVATORY	1	23	23	2"		
2"	16	8	85	MS	(N) LAVATORY	1	2	2	2"		
3"	48	35	212	SR	(E) WATER CLOSET	4	25	100	3"		
4"	256	216	300	LV	(N) WATER CLOSET	4	2	8	3"		
5"	600	428	390	UR	(E) URINAL	2	11	22	2"		
6"	1380	720	510	WC	(E) DRINKING FOUNTAIN	1	1	1	2"		
8"	3600	2640	750								
10"	5600	4600	-								
12"	8400	8200	-								

NOTES:
1. CONTRACTOR TO VERIFY AND KEEP 10' CLEARANCE BETWEEN THE VTR AND ANY AIR INTAKE TO THE BUILDING.
2. MATERIALS: BELOW GRADE & ABOVE GRADE SCH.40 ABS PIPE AND FITTING

WATER SYSTEM SIZING											
JOB ADDRESS: 1541 MONROVIA ST., NEWPORT BEACH, CA 92663											
WATER INFO.:	MAX PRESSURE:	95 PSI	MIN PRESSURE:	80 PSI	@	FT A.S.L.					
GIVEN BY:	-	DATE:		MAIN METER SIZE:	2 INCH						
209.5 F.U.	93.0 GPM	DEVELOPED LENGTH: 500.00 FT									
				25% OF DEVELOPED LENGTH: 125.00 FT							
EQUALENT DEVELOPED LENGTH(DEVELOPED LENGTH +25%)				625.00 FT							
WATER CLOSETS AND URINALS											
TAG	W/TANK	W/FLUSH VALVE	MAKE			MODEL					
WC	X		AMERICAN STANDARD			1.0 GPF ADA COMPLIANT					
SYSTEM COMPONENTS											
PIPING MATERIALS: SEE PIPE SPECIFICATIONS TABLE											
PRESSURE REDUCED B.F.	2.00 INCH	MAKE	WILKINS	MODEL	975XL2						
HYDRAULIC CALCULATIONS											
A	MINIMUM PRESSURE AT CITY MAIN					80	PSI				
B	SET PRESSURE AT PRESSURE REDUCE VALVE					80	PSI				
C	PRESSURE LOSS THROUGH					2.00 INCH METER	1	PSI			
D											
E	PRESSURE LOSS THRU					2.00 INCH		B.FLOW PRE.	13	PSI	
F	OTHER PRESSURE LOSSES						0	PSI			
G	PRESSURE LOSS DUE TO ELEVATION					20.0 FTx.43	8.60	PSI			
H	RESIDUAL PRESSURE						25.00	PSI			
I	TOTAL PRESSURE LOSSES						47.60	PSI			
J	PRESSURE AVAILABLE FOR FRICTION LOSS IN THE SYSTEM						32.40	PSI			
K	PRESSURE/100FT		J/(EQUALENT LENGTH x100)		5.18	PSI/100FT					

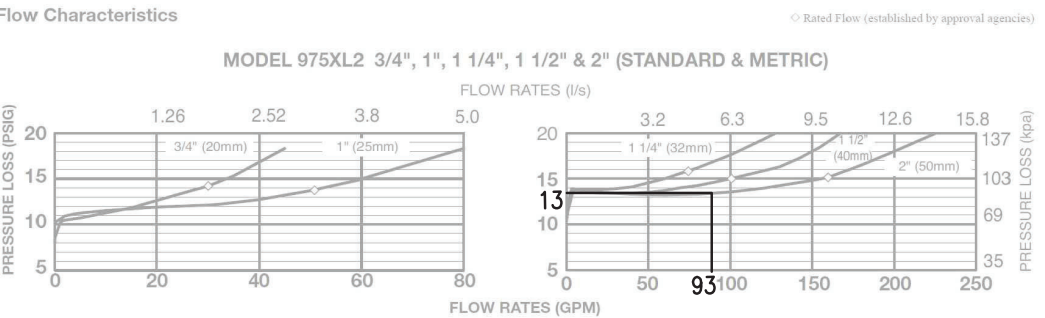
FIXTURE UNIT TYPE				PIPE SIZE SCHEDULE						
FIXTURE UNIT TYPE	F.U.	QTY.	TOTAL	PIPE MATERIAL:SEE PIPE SPECIFICATIONS TABLE						
KITCHEN SINK W/DW	1.5	0	0.0	PRESS. LOSS = 5.18 PSI/100'						
LAUNDRY SINK	1.5	0	0.0	ALLOWABLE F.U.						
HAND SINK	2.0	0	0.0	FLUSH TANK		F. VLV.				
MOP SINK	3.0	0	0.0	PIPE SIZE		HOT		COLD		
CLOTHES WASHER	4.0	0	0.0			5FT/S		8FT/S		
EXISTING LAVATORIES	1.0	23	23.0	1/2"		3		0		
NEW LAVATORIES	1.0	2	2.0	3/4"		7		0		
BATHTUB 3/4" FILL	10.0	0	0.0	1"		16		18		
SHOWERS	2.0	0	0.0	1-1/4"		28		36		
NEW TANK WC	2.5	2	5.0	1-1/2"		46		69		
(E) WC W/FLUSHMETER	5.0	25	125.0	2"		119		254		
(E) URINAL W/F.METER	4.0	11	44.0	2-1/2"						
FIRST HOSE BIBB	2.5	1	2.5	3"						
ADDITIONAL HOSE BIBBS	1.0	4	4.0	3-1/2"						
DRINKING FOUNTAIN	1.0	4	4.0	4"						
TOTAL FIXTURE UNITS				209.5	FU	=	93.0	GPM		
					FU	=	0.0	GPM		
TOTAL FLOW				209.5	FU	=	93.0	GPM		

NOTES:
1. WATER PRESSURE TO ALL FIXTURES AND EQUIPMENT SHALL BE IN COMPLIANCE AS PER SECTION 608.1 CPC 2022.
2. THESE WATER CALCULATIONS ARE BASED ON THE SPECIFIED FIXTURES IN THIS PROJECT AS NOTED ABOVE WITH THE PRESSURE LOSS AS PROVIDED BY THE MANUFACTURER.

PIPE SPECIFICATION		
APPLICATION	UNDER GROUND	ABOVE GROUND
WATER	TYPE 'K' SOFT COPPER BELOW FLOOR OR GRADE. ASTM B 88 & NSF 61 STANDARDS	TYPE 'L' HARD DRAWN COPPER TUBING WITH WROUGHT SOLDER JOINT FITTINGS ABOVE FLOOR OR GRADE. ASTM B 88 & NSF 61 STANDARDS
CONDENSATE DRAINS	SCHEDULE 40 DWV PVC PIPE	SCHEDULE 40 DWV PVC PIPE
SANITARY SEWER	ABS DWV SCHEDULE 40 PIPE	ABS DWV SCHEDULE 40 PIPE

PIPE SPECIFICATIONS NOTE:
ALL PIPE AND FITTINGS TO BE PRODUCED BY A SINGLE MANUFACTURER AND TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. TESTING WITH COMPRESSED AIR OR GAS MAY RESULT IN INJURY OR DEATH. SOLVENT CEMENT SHALL CONFORM TO ASTM D 2235. THE SYSTEM TO BE MANUFACTURED BY CHARLOTTE PIPE AND FOUNDRY CO. AND IS INTENDED FOR NON-PRESSURE DRAINAGE APPLICATIONS WHERE THE TEMPERATURE WILL NOT EXCEED 160°F.

WATER SUPPLY AND DISTRIBUTION																
TABLE 610.4 FIXTURE UNIT TABLE FOR DETERMINING WATER PIPE AND METER SIZES																
METER AND STREET SERVICE (INCHES)	BUILDING SUPPLY AND BRANCHES (INCHES)	40	60	80	100	150	200	250	300	400	500	600	700	800	900	1000
3/4"	1/2"	6	5	4	3	2	1	1	1	0	0	0	0	0	0	0
3/4"	3/4"	16	16	14	12	9	6	5	4	4	4	3	2	2	2	1
1"	1"	28	25	23	21	17	15	13	12	10	8	6	6	6	6	6
1"	1 1/4"	36	31	27	25	20	17	15	13	12	10	8	6	6	6	6
1 1/2"	1 1/4"	36	33	31	28	24	23	21	19	17	16	13	12	12	11	11
1 1/2"	1 1/2"	54	47	42	38	32	28	25	23	19	17	14	12	12	11	11
1 1/2"	1 1/2"	78	68	57	48	38	32	28	25	21	18	15	12	12	11	11
1 1/2"	1 1/2"	85	84	79	65	56	48	43	38	32	28	26	23	21	20	20
1 1/2"	1 1/2"	150	124	105	91	70	57	49	45	36	31	26	23	21	20	20
1 1/2"	1 1/2"	151	129	129	110	80	64	53	46	38	32	27	23	21	20	20
1 1/2"	1 1/2"	85	85	85	85	85	85	85	85	80	66	61	57	52	49	46
1 1/2"	1 1/2"	220	205	190	176	155	138	127	120	104	85	70	61	57	54	51
1 1/2"	1 1/2"	370	327	292	265	217	185	164	147	124	96	70	61	57	54	51
2"	2"	445	418	390	370	330	300	280	265	240	220	198	175	158	143	133
PRESSURE RANGE - 30 to 45 psi																
PRESSURE RANGE - 46 to 60 psi																
PRESSURE RANGE - Over 60 psi																



NO.	REVISION	DATE

OWNER/CLIENT:
CARDEN HALL SCHOOL
1541 MONROVIA ST.,
NEWPORT BEACH,
CA 92663

PROJECT ADDRESS
1541 N. MONROVIA ST.,
NEWPORT BEACH,
CA 62663

PROJECT TITLE
NEW 24X40 MODULAR BUILDING

SHEET TITLE
PLUMBING CALCULATIONS

PROJECT NO.:
2407862

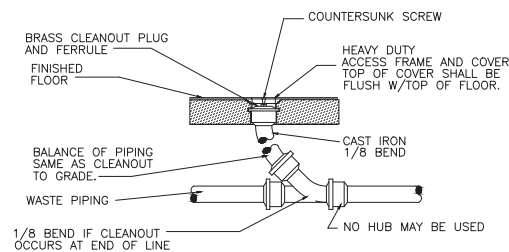
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5/24/2024

SCALE:
AS SHOWN

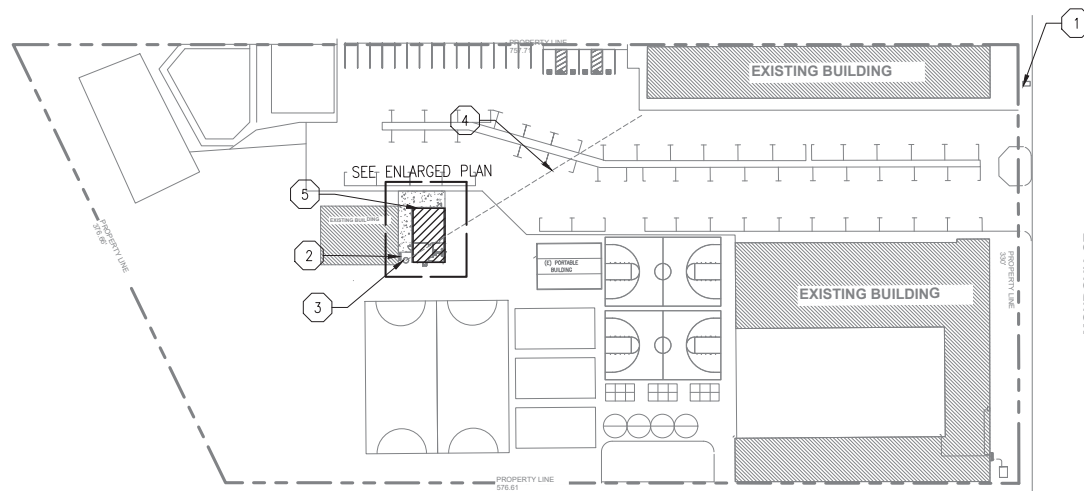
DRAWING NO.

P110

of



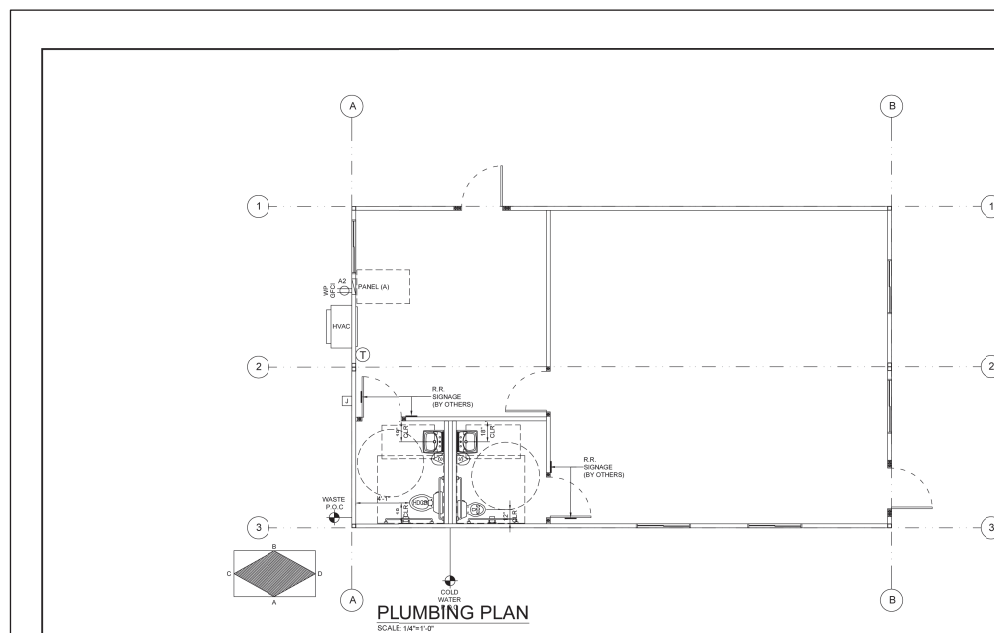
4 FLOOR CLEAN-OUT DETAIL
N.T.S.



1 PLUMBING SYSTEM SITE PLAN
1/64"=1'-0"

KEYED NOTES:

- 1 EXISTING 2" WATER METER & 2" PIPE TO THE BUILDING. CONTRACTOR TO VERIFY.
- 2 EXISTING 2" PRESSURE REDUCED BACK FLOW VALVE MODEL # ZURN 975XL2. CONTRACTOR TO VERIFY.
- 3 EXISTING SEWER PUMP PIT. CONTRACTOR TO VERIFY.
- 4 EXISTING 6" SEWER LINE. CONTRACTOR TO VERIFY.
- 5 NEW PRE-FABRICATED BUILDING. SEE 3/P120
- 6 ALL PLUMBING FIXTURES INSIDE THE BUILDING ARE BY THE BUILDING MANUFACTURER.
- 7 SEE INSTALLATION DETAIL 4/P120
- 8 EXISTING 2" WATER LINE. CONTRACTOR TO VERIFY.
- 9 FOR CONTINUATION, SEE 3/P120



PLUMBING PLAN
SCALE: 1/8"=1'-0"

NOTE:
ALL PLUMBING VENTS EXCEEDING BUILDING HEIGHT TO BE CUT OFF AT PEAK HEIGHT, SHIPPED CLOSED AND INSTALLED ON SITE BY OTHERS.

WASTE & VENT SCHEMATIC

ALL PIPE TO BE ABS SCHEDULE 40 AND W/LSLOPE 1/4" PER FOOT
EXCLUSIONS:
1. PLUMBING MANIFOLD ASSEMBLY, PARTS, PICES AND INSTALLATION.
2. PLUMBING LINE CHLORINATION AND /OR STERILIZATION.
3. BACK FLOW PREVENTERS INSTALLED ON SITE BY OTHERS.
--- WASTE LINE
--- VENT LINE
--- MANIFOLD (BY OTHERS)

COLD & HOT WATER SCHEMATIC

MAXIMUM PRESSURE RANGE @ POINT OF CONNECTION 30 TO 45 PSI
GREATEST DEVELOPED LENGTH 60' SUPPLY COPPER (TYPE 13)
--- COLD WATER PIPE
--- HOT WATER PIPE

SYMBOL	DESCRIPTION	QTY
[Symbol]	FLOOR MOUNTED CLOSET/BATH ROOM FOR THE HANDICAPPED #4 STANDARD TANK BRAND: PROLOGA #9940 (1.28 GPM) OR EQUAL	1
[Symbol]	FLOOR MOUNTED CHILD RESISTANT WATER CLOSET #2 STD TANK (1.60 GPM) TO TOP OF SEAT	1
[Symbol]	WALL MOUNTED CHILD RESISTANT LAVATORY #4 WALL SUPPORT CONCEALED ARMED 2" BRASS 1/8" CRANE	2
[Symbol]	EMAX SP302 ELECTRIC WATER HEATER (120V)	2
[Symbol]	ONE SET 1.5" Ø GRAB BARS, INCLUDES: (1) 36" LONG & (1) 48" LONG	2 SETS
[Symbol]	ADA ROLL ROLL TOILET PAPER HOLDER DISPENSER BRAND: NO BRAND SPECIFIED	2
[Symbol]	1/4" X 3/8" MIRROR, POLISHED EDGE, UNFRAMED NO BRAND SPECIFIED	2
[Symbol]	LIQUID SOAP DISPENSER NO BRAND SPECIFIED	2
[Symbol]	1 STRAINER AND ACCESS DOOR @ COLD WATER INLET MOUNTED 14" FROM INSIDE EXTERIOR WALL W/ 3" X 1/4" ACCESS DOOR	1
[Symbol]	1 STRAINER, NO BRAND SPECIFIED, ACCESS DOOR, NO BRAND SPECIFIED	1

ACCESSIBILITY DIMENSIONS	119-004.9 SUGGESTED DIMS			
	ADULT	AGES 8 THROUGH 12	AGES 5 THROUGH 8	AGES 3 AND 4
TOILET CENTERING FROM WALL	17"-18"	17"-18"	12"-15"	12"
TOILET SEAT HEIGHT (DIM TO TOP OF SEAT)	17"-19"	15"-17"	12"-15"	11"-12"
GRAB BAR HEIGHT (TO TOP)	33"-36"	28"-27"	20"-20"	18"-20"
TOILET PAPER IN FRONT OF TOILET	7"-9"	7"-9"	7"-9"	7"-9"
WAPIN DISPOSAL IN FRONT OF TOILET	12" MAX	12" MAX	N/A	N/A
MIRROR HEIGHT (TO BOTTOM OF GLASS)	40" MAX	40" MAX	30" MAX	30" MAX
DISPENSER HEIGHT	19" MIN	17"-19"	14"-17"	14"
LAVATORY/SINK TOP HEIGHT	34" MAX	31" MAX	31" MAX	34" MAX
LAVATORY/SINK KNEE CLEARANCE	27" MIN	24" MIN	24" MIN	SIDE APPROACH
URINAL LIP HEIGHT	17" MAX	17" MAX	17" MAX	17" MAX
URINAL FLUSH HANDLE HEIGHT	44" MAX	44" MAX	37" MAX	32" MAX
DRINKING FOUNTAIN BIBBLER HT. (DIM)	30" MAX	30" MAX	30" MAX	30" MAX
DRINKING FOUNTAIN KNEE CLEARANCE	27" MIN	SIDE APPROACH	SIDE APPROACH	SIDE APPROACH
RAMP/STAIR HANDRAIL HEIGHT (TO TOP)	34"-38"	34"-38"	34"-38"	34"-38"

STANDARD DIMENSIONS	ALTERNATE HEIGHT (DIMS)			
	ADULT	AGES 8 THROUGH 12	AGES 5 THROUGH 8	AGES 3 AND 4
TOILET CENTERING FROM WALL/PARTITION	15" MIN	15" MIN	15" MIN	15" MIN
TOILET SEAT HEIGHT FROM TO TOP OF SEAT	15"	15"	15"	15"
TOILET CLEARANCE/FRONT	24"	24"	24"	24"
URINAL LIP HEIGHT	24"	24"	18"	18"
URINAL CENTER FROM WALL/PARTITION	12"	12"	12"	12"

PLUMBING ACCESSORIES
 A) SOUP DISPENSER, 100% COPPER
 B) MAX PROJECTION
 C) PAPER TOWEL DISPENSER, SURFACE MOUNTED
 D) SURFACE MOUNTED 4" MAX PROJECTION CANNY ENDURANCE 1/2" DIA. CLEAR BRASS OF FIXTURE
 E) TOILET PAPER HOLDER, SINGLE ROLL
 F) SEMI-RECESSED OR 3" MAX PROJECTION
 G) TOILET SEAT DISPENSER, SURFACE MOUNTED
 H) 4" MAX PER CODE
 I) 1/4" MAX PER CODE
 J) 1/4" MAX PER CODE

A) FIXTURE MOUNTING HEIGHTS

CARDEN HALL, LE
1541 N. MONROVIA ST.,
NEWPORT BEACH, CA 92663

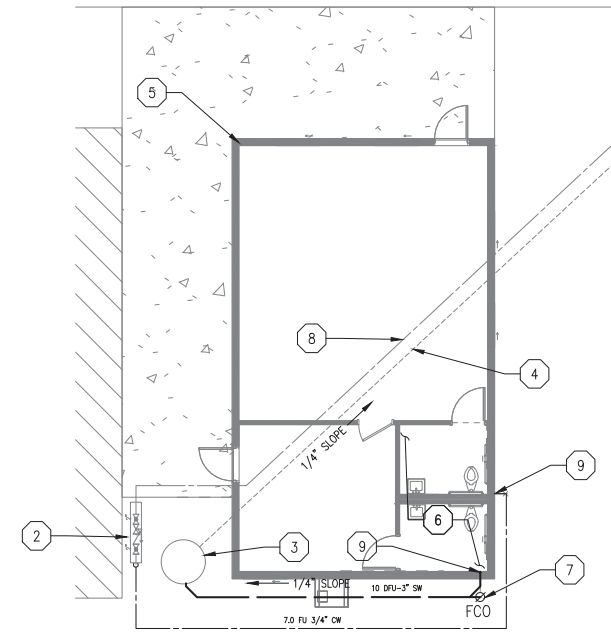
ST. SANTA ANA CANON ON SITE #107
PHONE: 1-425-708-7008



DRAWING TITLE:
PLUMBING PLAN & SCHEDULES
PROJECT NAME:
24'-0" x 40'-0"
GARDEN HALL CLASSROOM

DATE:
04 / 22 / 2024
SCALE:
1/4" = 1'-0"
DRAWN BY:
A.F.
JOB NUMBER

SHEET NUMBER:
P-1.0

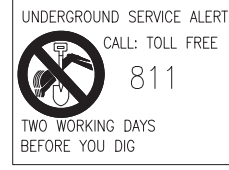


2 PLUMBING SYSTEM ENLARGED PLAN
1/8"=1'-0"

DRAINAGE WASTE & VENT SYSTEM SIZING SYSTEM TABLE-DWV
CPC TABLE 703.2

MATERIALS: BELOW GRADE & ABOVE GRADE SCH.40 ABS PIPE AND FITTING					
TAG	SANITARY SEWER FIXTURE	COUNT	D.F.U.	T.D.F.U.	BRANCH WASTE SIZE VENT SIZE
WC	WATER CLOSET	2	4.0	8.0	3" 3"
LV	LAVATORY	2	1.0	2.0	2" 2"
TOTAL WASTE FIXTURE LOAD= 10.0					3" WASTE LINE

NOTES:
1. CONTRACTOR TO VERIFY AND KEEP 10' CLEARANCE BETWEEN THE VTR AND ANY AIR INTAKE TO THE BUILDING



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PROJECT TITLE
NEW 24X40 MODULAR BUILDING

PROJECT ADDRESS
1541 N. MONROVIA ST.,
NEWPORT BEACH,
CA 92663

SHEET TITLE
PLUMBING
CALCULATIONS &
SCHEDULES

PROJECT NO.:
2407862

DATE:
5/24/2024

SCALE:
AS SHOWN

DRAWING NO.
P120

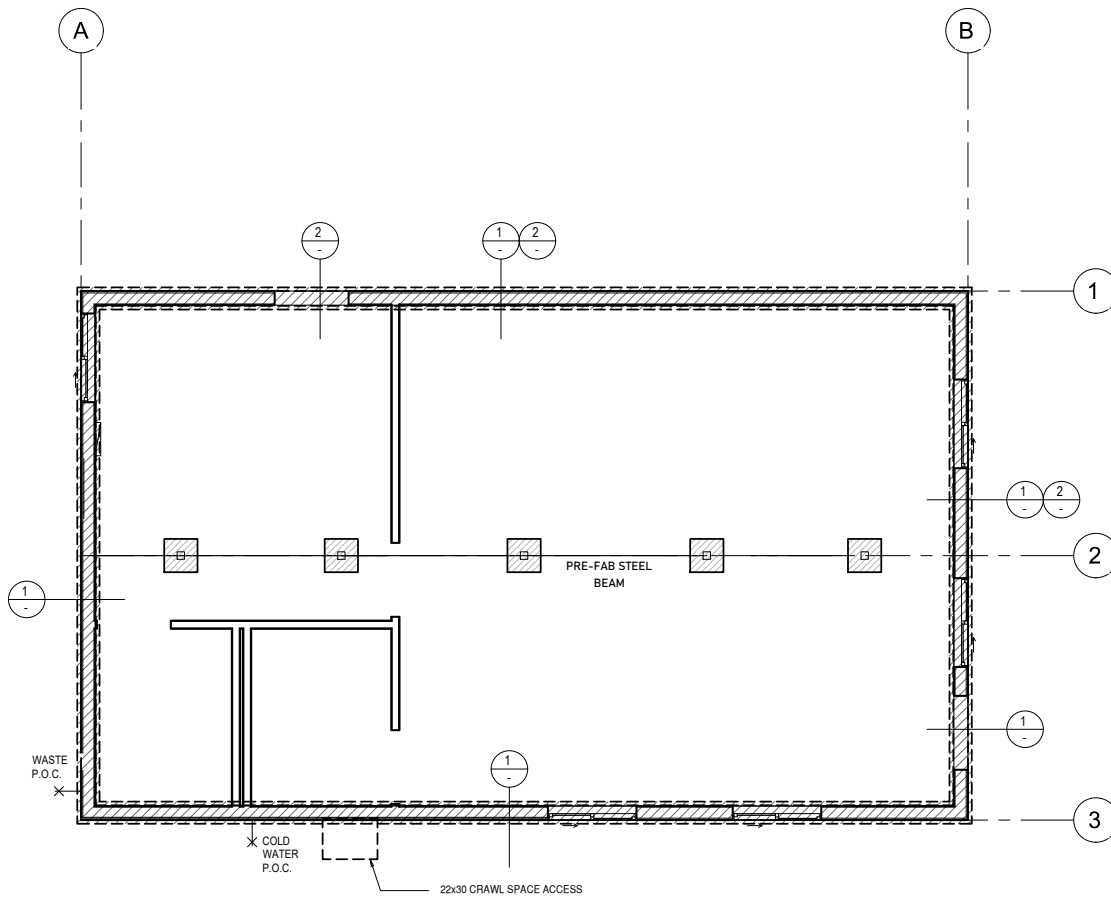
OWNER/CLIENT:
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ENGINEERING SERVICES
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REGISTERED PROFESSIONAL ENGINEER
MECHANICAL
STATE OF CALIFORNIA
No. 83525
RASH ZAWAD

5/24/2024

blueberry, inc.



FOUNDATION PLAN

SCALE: 1/4" = 1'

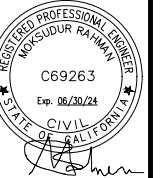
FOUNDATION NOTES

1. CONTRACTOR SHALL VERIFY FOUNDATION DIMENSIONS WITH FLOOR PLAN DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES ALL REQUIREMENTS FOR THEIR MATERIALS TO BE INSTALLED UNDER/IN SLAB.
3. VERIFY LOCATIONS OF ALL HOLDDOWNS WITH FRAMING PLANS & FRAMING CONTRACTOR PRIOR TO INSTALLATION.
4. MATERIAL SUBSTITUTION NOTE:
NO MATERIALS SHALL BE SUBSTITUTED WITHOUT THE ARCHITECTS WRITTEN APPROVAL.
5. N/A
6. ELECTRICAL GROUND NOTE:
NOTE: PROVIDE UPER OR OTHER APPROVED ELECTRICAL GROUND SYSTEM PER NEC, ARTICLE 250-81.
7. A CONCRETE ENCASED GROUND ELECTRODE (UFER) IS REQUIRED. THE ELECTRODE SHALL BE EITHER 20 MAXIMUM OF NO. 4 REBAR, NO. 4 BARE SOLID COPPER WIRE, OR 3/4" RIGID GALVANIZED CONDUIT INSTALLED THREE (3) INCHES OFF THE BOTTOM OF THE FOOTING AND ENCASED IN THREE INCHES (3") MINIMUM OF CONCRETE. ALTERNATE METHODS MUST BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
8. IT IS RECOMMENDED BY THE ARCHITECT TO RUN ALL WATER LINES ABOVE SLAB (BOTH HOT AND COLD LINES). SEE DETAIL.
9. PLUMBING AND ELECTRICAL TRENCHES UNDER THE SLAB SHALL BE BACKFILLED WITH SAND AND COMPACTED BY MECHANICAL TAMPING.
10. N/A
11. PRIOR TO THE FOUNDATION INSPECTION, A REGISTERED SOILS ENGINEER SHALL BE REQUIRED TO TEST THE SOIL AT THE BOTTOM OF THE FOUNDATION EXCAVATION AND SUBMIT A CERTIFICATE TO THE BUILDING OFFICIAL JUSTIFYING THE BEARING VALUE AND COMPETENCE OF THE SOIL ACCORDING TO THE DESIGN VALUE USED IN LIEU OF REQUIRING A SOILS REPORT PRIOR TO PALCEMENT OF REINFORCEMENT STEEL.
12. N/A
13. N/A
14. SOIL PRESATURATION NOTE:
PRIOR TO PLACING CONCRETE, SUB-GRADE SOILS BELOW ALL CONCRETE FLOOR SLABS SHALL BE RE-MOISTURIZED TO 60% OPTIMUM MOISTURE TO A DEPTH OF 12 INCHES IMMEDIATELY PRIOR TO PLACEMENT OF THE MOISTURE BARRIER OR POURING OF CONCRETE.
15. SOIL BEARING VALUE AT 1500 PSF CODE MIN.
16. FOUNDATION CONSTRUCTION NOTE:
FOUNDATION CONSTRUCTION MAY BE OF TWO-POUR CONFIGURATION, HOWEVER, IF CONTRACTOR OPTS TO UTILIZE A TWO-POUR FIGURATION THE FOUNDATION SHALL BE FORMED SO AS TO CREATE A 'CURB' CONDITION @ ALL PERIMETER AND STEP BREAK LOCATIONS THEREBY ASSURING A MONOLITHIC CONDITION FOR HOLDDOWNS, STRAPS AND ANCHOR BOLTS.
17. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60 (fy=60ksi) U.O.N. BENDING AND PLACING SHALL BE IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE 'MANUAL OF STANDARD PRACTICE' LATEST EDITION.
18. ALL HARDWARE (ANCHOR BOLTS, HOLDDOWNS, STRAPS, ETC.) SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION. ARCHITECT SHALL BE NOTIFIED AND MUST INSPECT PLACEMENT PRIOR TO POURING FOUNDATION OR SLAB.
19. FOUNDATION PLATE BOLTING: PROVIDE 5/8" x 14" A307 ANCHOR BOLTS, EMBEDDED 9" MINIMUM INTO CONCRETE. THERE SHALL BE A MINIMUM OF TWO (2) BOLTS PER PLATE, WITH ONE (1) BOLT LOCATED WITHIN 12" OF END, AND SPACED 6'-0" O.C. UNLESS OTHERWISE NOTED.
20. ANCHOR BOLT NOTE:
PROVIDE 3"x3"x1/4" THICK WASHER PLATES AT ALL ANCHOR BOLTS.
21. VAPOR BARRIER MATERIAL SHALL BE POLYETHYLENE FILM (VISOLEEN OR EQUIVALENT) AND SHALL BE PLACED UNDER ALL HOUSE SLABS AND UNDER GARAGE SLABS WHERE NOTED ON PLANS WITH SIX INCH (6") MINIMUM SEALED LAP SPLICES.
22. ALL SLABS, STEPS, ETC. SHALL BE STEEL TROWELED AND PROTECTED FROM HARM DURING CONSTRUCTION. SLAB FINISH SHALL HAVE A MAXIMUM FINISHED TOLERANCE OF ONE-EIGHT INCH IN TEN FEET (1/8" IN 10'-0").
23. POSTS ON CONCRETE FLOORS EXPOSED TO WEATHER OR IN BASEMENTS SHALL BE SUPPORTED BY CON-CRETE PIERS, OR METAL PRECASTS AT LEAST 6" ABOVE GROUND OR 1" ABOVE FLOOR.
24. WHERE FRAMING LUMBER IS IN CONTACT WITH, OR LESS THAN 1 1/2" FROM CONCRETE, USE FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.
25. PROVIDE 1/16" THICK (MINIMUM) METAL CORROSION-RESISTANT BASE PLATE FOR UNTREATED WOOD POSTS IN CONTACT WITH ALL CONCRETE.
26. FASTENERS IN PRESERVATIVE-TREATED WOOD (I.E. ANCHOR BOLTS, NAILS, SCREWS, ETC.) SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL, OR HOT-DIPPED ZINC-COATED STEEL. (CBC 2304.9.5.1)
27. PROVIDE STUCCO BASE SCREED (SEC. 4706E.)
28. HOLDDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING

Rahman Engineering Inc.
 13611 12TH ST, SUITE-B,
 CHINO, CA 91770
 Tel: (213)-400-8078

FOUNDATION FOR NEW MODULAR OFFICE (PRE-APPROVED) AT (E) **SCHOOL**
 1541 N Montevia St., Newport Beach, CA

Stamp:



REVISIONS:

MARK	DATE	CHANGES BY:

DRAWN BY: M.R.

DESIGN BY: M.R.

CHECK BY: M.R.

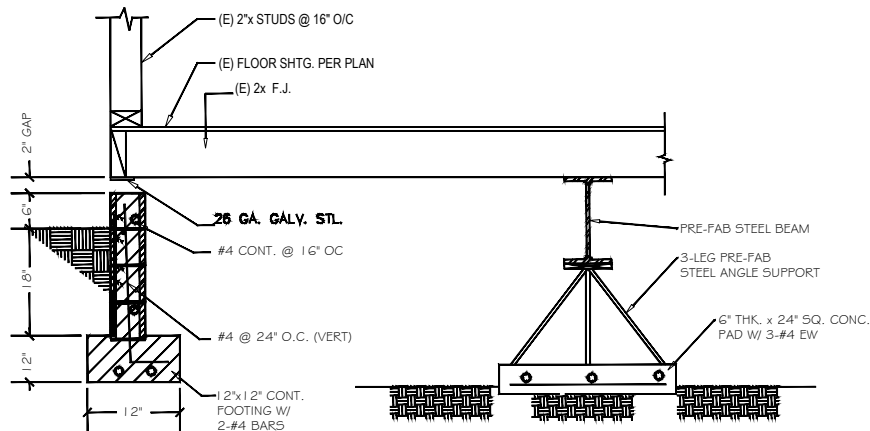
DATE: 03-15-2024

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S.F.R. FOUNDATION PLAN

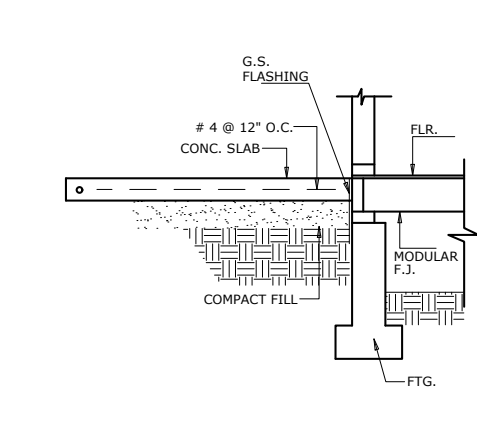
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S1



CONTINUOUS FOOTING AT EXTERNAL WALL

1



SLAB @ ENTRY DOORS

2