

# CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION

FROM: Seimone Jurjis, Assistant City Manager/Community Development Director

SUBJECT: Report of actions taken by the Community Development Director for the week ending

August 23, 2024.

# COMMUNITY DEVELOPMENT DIRECTOR OR ZONING ADMINISTRATOR ACTIONS

(Non-Hearing Items)

Item 1: Carden Hall Modular Classroom Staff Approval (PA2024-0125)

Site Address: 1541 Monrovia Avenue

Action: Approved Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



## COMMUNITY DEVELOPMENT DEPARTMENT

#### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915 949-644-3200

www.newportbeachca.gov

# COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject: Carden Hall Modular Classroom (PA2024-0125)

Staff Approval

Site Location 1541 Monrovia Avenue

Applicant Ana Salazar

Legal Description Lot 1014 of the First Addition to Newport Mesa Tract

On <u>August 22, 2024</u>, the Community Development Director approved a Staff Approval (PA2024-0125) to allow for the installation of one new 960 square foot modular classroom building at the existing Carden Hall Private School in substantial conformance with Use Permit No. UP1137A. The modular classroom building is to accommodate pre-kindergarten enrollment and to create an administrative area for the school. This approval is based on the following findings and is subject to the following conditions.

#### **LAND USE AND ZONING**

General Plan Land Use Plan Category: Private Institutions (PI)

• **Zoning District:** Private Institutions (PI)

#### PROJECT SUMMARY

The applicant proposes to install a new 960-square-foot (24-foot by 40-foot) permanent modular classroom building for pre-kindergarten enrollment on the grass field towards the south of the property. The modular classroom building will also be used to create an administrative area for the school and serve as a space for additional learning activities. No changes to the operational characteristics of the school, increase in enrollment, or any other improvements are proposed.

#### **BACKGROUND**

On February 16, 1961, the Planning Commission approved Use Permit No. UP712 for the construction of a 250-foot radio tower on the property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as a school. The building was originally designed to be used as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the Newport Beach Municipal Code (NBMC).

Ultimately, the building was designed to comply with the requirements for both a manufacturing facility as well as a school.

On May 21, 1970, the Planning Commission approved an amendment to Use Permit No. UP1137A to extend the use permit and allow use of the entire five-acre site, which would accommodate new facilities needed to support future growth. These facilities and land were proposed to be used as a private school.

On July 2, 2021, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of a new 2,160-square-foot permanent modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. The project included improvements to accessible parking and paths of travel per the ADA (Americans with Disabilities Act of 1990).

#### I. FINDINGS

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

#### Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

#### Facts in Support of Finding:

- 1. The property is located within the Private Institutions (PI) Zoning District which is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and comparable facilities. The proposed modular classroom is for an existing private institution consistent with the purpose and intent of the PI Zoning District and does no operational changes are proposed.
- 2. The current enrollment is 435 students, and the property provides 72 on-site parking spaces. No increase in student enrollment is proposed and, therefore, no increase in on-site parking spaces is required.

#### Finding:

B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

### Facts in Support of Finding:

- 1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
- 2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible or no expansion of existing or former use including additions to existing structures provided that the addition will not result in an increase of 10,000 square feet for projects in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and is not located in an environmentally sensitive area. The proposed modular classroom is 960-square-feet which is less than 10,000 square feet and the property is not in an environmentally sensitive area.
- 3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

#### Finding:

C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

### Facts in Support of Finding:

- 1. The proposed modular classroom does not involve a feature that was specifically addressed or was the subject of a condition of approval for UP1137A.
- 2. The conditions of approval set forth in UP1137A did not place a limit on the square footage of the private institution. The project is consistent with the use permit which discussed the need for facilities to accommodate future growth of the school.
- 3. Condition No. 1 of UP1137A requires that the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students. The modular classroom is not proposed to be installed in the parking area or motor court and will not impede the discharging and pickup of all students. The site will continue to provide adequate circulation and drop off areas where vehicles enter thorough the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

#### Finding:

D. The changes do not result in an expansion or change in operational characteristics of the use.

## Facts in Support of Finding:

- 1. The proposed modular building does not change the overall use and operational characteristics of the private institution. The project is in substantial conformance with UP1137A, as the property will continue to be used as a private institution.
- 2. All other school structures and operations will continue as authorized in Use Permit No. UP1137 and its subsequent amendment.

#### II. <u>CONDITIONS</u>

All previous findings and conditions of approval of Use Permit No. UP1137, amendment to Use Permit No. UP1137A, and Staff Approval No. SA2021-005 shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

#### **Planning Division**

- 1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. A copy of the Resolution, including conditions of approvals shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
- 3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
- 4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
- 5. A building permit shall be obtained prior to commencement of construction activities. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
- 6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.

- 7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this staff approval or the processing of a new staff approval or conditional use permit.
- 8. This Staff Approval filed as PA2024-0125 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 9. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Carden Hall Modular Classroom including, but not limited to, the Staff Approval (PA2024-0125). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

#### **Public Works**

- 10. A new sewer cleanout shall be installed on the existing sewer lateral pursuant to City Standard 406.
- 11. The applicant shall obtain approval from the Municipal Water District (MWD).

#### **Building Division**

- 12. <u>Prior to the issuance of building permits,</u> the project plans shall provide State approvals of modular classroom for "E" occupancy.
- 13. <u>Prior to the issuance of building permits</u>, the project plans shall provide an accessible ramp to access each classroom.

#### **Fire Department**

14. An automatic fire alarm system shall be provided in new buildings of private schools pursuant to Section 907.2.3.8 of the California Fire Code.

**APPEAL PERIOD**: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Approved by:

Jenny Tran, Associate Planner

Assistant City Manager

LAW/jt

Attachments: CD 1 Vicinity Map

CD 2 Project Description

CD 3 Use Permit No. UP1137 and UP1137A

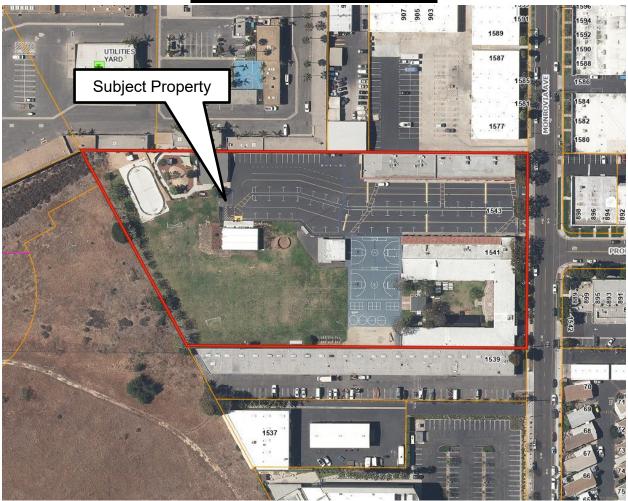
CD 4 Staff Approval No. SA2021-005

CD 5 Project Plans

# **Attachment No. CD 1**

Vicinity Map

**VICINITY MAP** 



Staff Approval PA2024-0125

## **1541 Monrovia Avenue**

# **Attachment No. CD 2**

Project Description

Ana Salazar PO Box 68 Mira Loma, CA 91752 760-222-4637 ana@elitepnp.com

June 28, 2024

Planning Division – Newport Beach City Hall 100 Civic Center Dr. Newport Beach, CA 92660 949-644-3204

#### RE: Proposed New Modular 24'x40' Building at Rear

This letter serves as a description for the proposed work to be done at 1541 Monrovia Avenue which is currently Carden Hall School. A new modular 24'x40' building is proposed to be installed at the rear of the existing school site. This building will serve to accommodate pre-k enrollment for the 2024-2025 school year and create a proper administrative area which does not currently exist at the site. This will also serve as a space for an additional learning activities. If you have any other questions, please contact me at the information above.

Thank you,

Ana Salazar Project Coordinator

# **Attachment No. CD 3**

Use Permit No. UP1137 and UP1137A

# IF APPROVED, NOT EFFECTIVE UNTIL 15 DAYS AFTER DATE

# FILING FEE \$30.

# USE PERMIT APPLICATION Ord. No. 635 CITY OF NEWPORT BEACH FILING FEE \$30.00

NO.	1137

DATE May 5, 1965

154 Monrovia

INSTRUCTIONS: (Read Carefully.) The applicant or his legal representative must be present at all public hearings. Fill out this application completely. It must be accompanied by five copies of a plot plan to scale, and with correct dimensions, showing in detail all boundaries, existing buildings, proposed alterations and additions. The applicant must sign conditions of Use Permit, if any, within thirty days after approval. Application shall be revoked if not used within eighteen months from date of approval.

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		Applicant			r4·	Address : rst Addition	Involved
2.	LOT_	1014	BLOCK	SECTION_		ewport Mesa	ZONE ML-A
3.	DATE	OF HEARING	May 20, 19	65	TIME 8:00	XXN. P.M.	
٤.	Appl	ication is l	hereby made i	or a Use Permit	from Section 9103.	.9 -9105.1(f)	to permit:
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	engir	neering offi	ces for a ma	mufacturing plant	in accordance wit	h the provis	ions of
	Sect	ion 9103.9 o	f the City o	f Newport Beach N	funicipal Code. The	building wi	ll contain all the
	norme	al requireme	nts for a mar	nufacturing facil	ity as well as tho	se required	for a school.
	Lands	cape and au	tomatic spri	nkler systems wil	l be included in t	he design la	vout.
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USE PERMIT APPLICATION CITY OF NEWPORT BEACH

Planning Department 3300 Newport Boulevard Phone (714) 673-2110 No.\_\_*//37*\_\_\_\_

Fee \$150.00

ApplicantCORELCO	Phone(71	4) 548-2201
Mailing Address P. O. Box 1325, Newp	ort Beach, California, 9266	3
Property Owner CORELCO	PhoneC	714) 548-2201
Mailing Address P. O. Box 1325, Newp	ort Beach, California, 9266	3
Address of Property Involved 1541	lonrovia, Newport Beach, Ca	lifornia
Purpose of Application (describe f	ully) To extend Use Permi	t #1137 to include
the development of overall land usage of	the total 5 acres, which pro	ovides for the new
facilities needed immediately, and future	growth. These facilities a	and land to be
used as a private school. Landscaping, to	be provided, will be compa	tible with
existing landscaping.		
Zone M-1 Present Use	School	
Legal Description of Property Invo	ved (if too long, atta	ch sheet)
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Signature of Applicant or Agent	<del>4-30-70</del> Date	
Signature of Owner	1/30/70 Date	
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Planning	Commission	Meeting	<u>May</u>	21,	1970
		Item No.		4_	

#### CITY OF NEWPORT BEACH

May 14, 1970

TO: Planning Commission

FROM: Planning Department

SUBJECT: Amendment to Use Permit No. 1137

Request to permit expansion of an existing private

school.

LOCATION: Portion of Lot 1014 of the First Addition to

Newport Mesa Tract, located at 1541 Monrovia Avenue on the west side of Monrovia Avenue

between 15th Street and 16th Street.

ZONE: M-1-A

APPLICANT: Corelco, Newport Beach

OWNER: Same as applicant.

#### **Application**

This application requests permission to expand the existing Carden Hall School in three phases, utilizing a total of five acres. A use permit is required in accordance with Section 20.08.080 of the Municipal Code.

#### Subject Property and Surrounding Land Use

The subject property is located in an M-l-A District that is almost completely developed with light manufacturing uses in modern buildings. However, the Seacliffe Trailer Park is situated diagonally across Monrovia Avenue from the main building of Carden Hall School and there are some single family dwellings southerly of the school facing on Monrovia Avenue.

The site of the proposed expansion presently has an old abandoned dwelling on it. The property is fenced and is immediately south of the Bartell Corporation.

All street improvements, including curb, gutter and sidewalk, are existing.

#### Analysis

Use Permit No. 1137 permitting a private school in an M-1-A District was approved by the Planning Commission on May 20, 1965, subject to the following conditions:

TO: Planning Commission - 2.

> That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students.

- 2. That students not be allowed to cross the street on fact.
- That the school activity and playground area be fenced.
- That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department.
- Approved as a private school for a period of four years, in accordance with plot plan submitted.

On April 29, 1969 the use permit was extended for four years by the Modifications Committee.

The expansion of the school would take place in three phases. #1 calls for one building 40 feet by 134 feet. Phase #2 calls for an addition to building No. 1 of 40 feet by 80 feet. Phase #3 includes a gymnasium and a swimming pool.

At present there is parking provided for 50 cars; under the proposed expansion there would be 79 parking spaces provided. The applicants wish to defer construction of some of the parking spaces until the completion of Phase #3. The City has no specific requirements for parking in conjunction with a school.

#### Recommendation

The school has proven to be a good neighbor at its present location and staff feels that the proposed expansion is in order and recommends approval of this application subject to the condition as originally outlined.

Eures Cop James E. Yuzum Associate Planner

JEN:hh

Attachments: Vicinity Map

borne

Plot Plan

# **Attachment No. CD 4**

Staff Approval No. SA2021-005



## COMMUNITY DEVELOPMENT DEPARTMENT

#### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915 949-644-3200

www.newportbeachca.gov

# COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject: Carden Hall Modular Classroom (PA2021-118)

• Staff Approval No. SA2021-005

Site Location 1541 Monrovia Avenue

Applicant Gorgano Builders

Legal Description Lot 1014, First Addition of Newport Mesa Tract Map

On <u>July 2, 2021</u>, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of one new 2,160-square-foot modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to Americans with Disabilities Act of 1990 (ADA) parking and paths of travel are included in the scope of work as well. This approval is based on the following findings and subject to the following conditions.

#### LAND USE AND ZONING

• General Plan Land Use Plan Category: Private Institutions (PI)

• **Zoning District:** Private Institutions (PI)

#### PROJECT SUMMARY

The applicant proposes to install one new 2,160-square-foot modular classroom building to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to the existing parking lot include one new ADA parking stall, and paths of travel.

#### **BACKGROUND**

On February 16, 1961, the Planning Commission approved Use Permit No. UP0712 to allow the construction of a 250-foot radio tower on the subject property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as school. The building was designed as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code (NBMC). The building contained all requirements for a manufacturing facility as well as those required for a school. This use permit was subsequently amended

by the Planning Commission on May 21, 1970, to extend the development of overall land usage of the total 5 acres, which provided for the new facilities and future growth of the school.

#### I. FINDINGS

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

## Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

## Facts in Support of Finding:

1. The project is located in the Private Institutions (PI) Zoning District. The Private Institutions Zoning District is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and other comparable facilities. The proposed modular classroom is for a private institutional use that serves the students and faculty attending the school. The proposed modular classroom, ADA parking improvements, paths of travel, and increase of student enrollment are consistent with the purpose and intent of the Private Institutions zone.

#### Finding:

B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

## Facts in Support of Finding:

- 1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
- 2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. There were no specific facts, findings, mitigation measures or conditions that would preclude the proposed improvements to the use.

- 3. The Class 1 exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use including additions to existing structures provided that the addition will not result in more than 2,500 square feet or 10,000 square feet in areas where all public services and facilities are available. In this case, the proposed 2,160-square-foot modular classroom, ADA parking, paths of travel improvements, and an increase in enrollment of up to 57 students are consistent with this exemption.
- 4. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

#### Finding:

C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

## Facts in Support of Finding:

- 1. The proposed improvements which include a modular classroom, ADA parking, paths of travel improvements, and increase of student enrollment to the existing private school do not involve a feature that was specifically addressed or was the subject of a condition of approval for Use Permit No. UP0712, Use Permit No. UP1137, and subsequent amendment (Use Permit No. UP1137A).
- 2. The proposed modular classroom and increase of student enrollment is in accordance with the amendment of Use Permit No. UP1137, which discusses the need of facilities for the future growth of the school. The conditions of approval and project description do not place a limit on enrollment.
- 3. All necessary parking is provided on-site so there will be no spillover onto public streets. The approved Use Permits do not specify a parking rate or required number of spaces for the school use as specified by the Zoning Code. The Zoning Code identifies a related parking rate of one space per seven students for a day care general use, which provides similar operational characteristics for school-age children that do not drive and are dropped off. The proposed student enrollment of 435 students will accommodate 62 parking spaces on-site. There are currently 72 parking spaces provided on-site.
- 4. Condition No. 1 of UP1137 and UP1137A requires the parking area and motor court to be used for discharging and pickup of all students. The site will continue to provide

adequate circulation and drop off areas where vehicles enter through the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

5. The addition of one new ADA parking stall and proposed paths of travel provided onsite are consistent with Use Permit No. UP1137 and its subsequent amendment.

#### Finding:

D. The changes do not result in an expansion or change in operational characteristics of the use.

#### Facts in Support of Finding:

- 1. The Private School proposes an increase in student enrollment, modular classroom, ADA parking, and path of travel improvements, which will not substantially modify the existing school layout or current operational characteristics.
- 2. All other school structures and operations will continue as authorized Use Permit No. UP1137 and its subsequent amendment. The school provides K-8 educational programming within the main building. The parking layout and drop-off will continue as authorized under current operations. The proposed modular classroom will provide a dedicated classroom space for a Kindergarten program with more direct access to required play areas.

#### II. CONDITIONS

All previous findings and conditions of Use Permit No. 0712, Use Permit No. UP1137, and amendment to Use Permit No. UP1137A shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

#### PLANNING DIVISION

- 1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
- 3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

- 4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
- 5. A building permit shall be obtained prior to commencement of the construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
- 6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.
- 7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
- 8. This Staff Approval No. SA2021-005 (PA2021-118) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Carden Hall Modular Classroom including, but not limited to, Staff Approval No. SA2021-005 (PA2021-118). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

#### **PUBLIC WORKS DEPARTMENT**

10. County Sanitation District fees shall be paid prior to the issuance of any building permits.

#### **BUILDING DIVISION**

- 11. <u>Prior to the issuance of building permits,</u> the project plans shall provide state approvals of modular classroom for "E" occupancy.
- 12. <u>Prior to the issuance of building permits,</u> state approved C.P. seismic piers shall be listed and labeled by BSK Associates on the project plans.
- 13. <u>Prior to the issuance of building permits,</u> if plans are not state approved, a one (1) hour fire rated corridor shall be required for "E" occupancy greater than ten (10) occupants in non-sprinkler building.
- 14. <u>Prior to the issuance of building permits,</u> if plans are not state approved, the project plans shall show Office 104 exit access. Exit access shall not pass through a room that can be locked to prevent egress.
- 15. <u>Prior to the issuance of building permits,</u> if plans are not state approved, the project plans shall provide a minimum 48-inch-wide corridor shall be required for side approach to doors equipped with both latch and closer.
- 16. <u>Prior to the issuance of building permits,</u> if plans are not state approved, the project plans shall show that restroom door is equipped with both latch and closer.
- 17. <u>Prior to the issuance of building permits,</u> if plans are not state approved, the project plans shall provide a 5-foot diameter turn around at the end of the corridor in front of Office 104.
- 18. <u>Prior to the issuance of building permits</u>, the project plans shall provide an accessible ramp to access each classroom.
- 19. The applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:

#### **Dust Control**

- Water all active construction areas at least twice daily.
- Cover all haul trucks or maintain at least two feet of freeboard.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.

#### **Emissions**

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

## Off-Site Impacts

- Encourage carpooling for construction workers.
- · Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

#### Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.
- 20. A list of "good housekeeping" practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

#### **FIRE DEPARTMENT**

- 21. An automatic fire alarm system shall be provided in new buildings of private schools. (2019 California Fire Code 907.2.3.8).
- 22. Fire extinguishers shall be provided and placed according to Chapter 9 of the 2019 California Fire Code. <u>Prior to the issuance of building permits</u>, identify locations of fire extinguishers on plans.
- 23. Materials for interior wall and ceiling finish shall meet the requirements of Table 803.3 in the 2019 California Fire Code.
- 24. All interior materials shall meet the requirements of Chapter 8 of the 2019 California Fire Code.
- 25. <u>Prior to the issuance of building permits</u>, the project plans shall identify Fire Department access, all fire lanes, and hydrant locations.

- 26. Plans shall identify a safe dispersal area. Safe dispersal area shall be based on 3 square feet per occupant. Safe dispersal areas shall not be less than 50 feet from school buildings. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.3)
- 27. All buildings housing Group E occupancies shall front directly to a public street or an exit discharge not less than 20 Feet in width. Plans shall identify exit discharge area. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.1).

**APPEAL PERIOD**: An appeal or call for review may be filed with the Director of Community Development, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Seimone Jurjis, Community Development Director,

Prepared by:

Afshir Atapour Planning Technician

MKN/aa

Attachments: CD1 Vicinity Map

CD 2 UP0712, UP1137, and UP1137A

CD 3 Project Plans

## **Attachment No. CD 5**

Project Plans

VICINITY MAP

CLIENT: CARDEN HALL SCHOOL 1541 MONROVIA ST. NEWPORT BEACH, CA

CONTRACTOR: California Building Contracting 619californiacontracting@gmail.com 619.207.5009

DESIGN TEAM: EVERETT SMITH DESIGNS 951.323.2187 EVERETT@EVERETTSMITHDESIGNS.COM

STRUCTURAL: RAHMAN ENGINEERING 213.400.8078 MOKSUD.RAHMAN@GMAIL.COM

MEP ENGINEER: BLUEBERRY ENGINEERING e-mail: kabadani@blueberryinc.com Direct: (949)945-5036



24-2334 Project number Date 7/8/2024 12:51:08 PM

1541 N Monrovia St. Newport PROJECT: Beach, CA SCH00L **GENERAL NOTES ABBREVIATIONS** THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL OF THE FOLLOWING CONDITIONS: A TR FIRST ADD TO NEWPORT MESA 1. THE CONSTRUCTION SHALL BE IN CONFORMATION WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE AND REQUIREMENTS OF THE GOVERNING AGENCY WITH JURISDICTION. ZONING: TR BLK LOT 1014 (E) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGN TEAM. PARCEL # (APN) LEGAL DESCP: 424-401-05 A7 OMISSION OR CONFLICTS BETWEEN THE DRAWINGS, NOTES AND DETAILS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM AND RESOLVED BEFORE PROCEEDING WITH THE WORK. STONE 4. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. (PRE-APPROVED) SUITE SQFT: 5. TYPICAL DETAILS SHOWN APPLY WHERE NO SPECIAL DETAIL IS SHOWN. 6. WRITTEN DIMENSIONS (NOT SCALED DIMENSIONS) SHALL BE USED. DO NOT SCALE DRAWINGS. BRICK 7. TEMPORARY ERECTION BRACKING AND SHORING SHALL BE PROVIDED AS REQUIRED ON ALL BEAMS, WALLS, ETC., ADEQUARE TO PROVIDE FULL STRUCTURA STABILITY AND SAFETY. BRACKING SHALL NOT BE REMOVED UNTIL THE LELEMENTS ARE FULLY CONNECTED AND ARE CAPABLE OF SUPPORTING THE DESIGN LOADING. YEAR: BUILT: 8. CONTRACTOR AGREES THAT HE OR SHE SHALL ASSUME SOLE AND COMPLETE RESPONDIBILITY FOR SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLINION SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUESTED SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NOMEM, WORKING HOSE, AND THAT THE CONTRACTOR SHALL DEFEND ROBERMY AND HALD THE OWNER AND DESIGN TEAM HARMLESS FROM ANY AND ALL LIMBILITY, REAL OR ALLESON DO NOMEMON WITH THE PREPROMANCE OF THE WORK IN THIS PROJECT. PROPOSED USE TYPE: **NEW MODULAR ADDITION** WOOD/ CONTINUOUS **BUILDING OCCUPANCY**  CONTRACTOR SHALL USE EXTREME CARE AND CAUTION DURING CONSTRUCTION SO AS NOT TO DAMAGE ANY EXISTING FACULTES, PAVING, EQUIPMENT, LANDSCAPE, ETC. ANY DAMAGE DONE BY THE CONTRACTOR TO EXISTING FACULTIES SHALL BE REPAIRED TO THE SATISFACTION OF AND AT NO EXPENSE TO THE CONVENT. OCCUPANCY: RIGID INSULATION GYPSUM 10. ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD (F.O.S.) UNLESS OTHERWISE NOTED. PER TABLE 508.4 NO SEPARATION NEEDED OFFICE ( 11. PROVIDE SOLID BLOCKING AS REQUIRED FOR ALL WALL MOUNTED AND WALL HUNG EQUIPMENT. FINISHED CONSTRUCTION TYPE: VB 12. ALL WALL PARTITIONS SHALL EXTEND TO THE STRUCTURE ABOVE UNLESS NOTED OTHERWISE. 13. CONTRACTOR SHALL COMPLETELY REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE. ALL DEMOLISHED MATERIAS WILL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED, RELOCATED, STORED ON SITE OR AS OTHERWISE NO SPRINKLERS: NO STORIES: 14. PROPERLY PREPARE AND READY ALL SURFACES TO RECEIVE FINISH MATERIALS. MODULAR SCOPE OF WORK: CONTRACTOR SHALL SUPPLY ONE (1) SET OF AS-BUILTS CONSTRUCTION DOCUMENTS TO THE OWNER, WHICH SHALL INCLUDE PLANS AND SPECIFICATIONS. NEW MODULAR 24'X40' BUILDING (PLANS PRE-APPROVED) 16. THE CONTRACTOR SHALL NOTE THAT THERE SHALL BE NO SUBSTITUTIONS FOR ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIC WHERE APPROVED EQUAL IS USED IT SHALL BE UNDERSTOOD THAT THE SUBSTITUTE SHALL BE BY JUDGENETA AND APPROVAL OF THE ENGINEER, AND NOTIFICATION SHALL BE MADE PRIOR TO ORDERING ANDOR RISTALLATION. NEW PLUMBING, ELECTRICAL, AND MECHANICAL STRUCTURAL WORK FOR MODULAR FOUNDATION **SYMBOLS** SHEET INDEX NEW 18. GENERAL CONTRACTOR OR HIS OR HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION AND Sheet # APPROVALS OF SUBSTITUTED MATERIALS AS REQUESTED BY GOVERNING AGENCIES. SHEET 19. IT SHALL BE THE RESPONCIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONCIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB. COVER SHEET DETAIL A0.10 CODE / ACCESSIBILITY PLAN 20. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION. A1 SITE PLAN FLOOR PLAN  $\bigcirc$ 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ANY CODE OR CODES OF FEDERAL, STATE, COUNTY OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. HE PROPULCABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED TO SHAME AS F NOTED ON THE DRAWINGS. CONFLICTS BETWEEN WORK SET FORTH ON THE DRAWINGS AND BUILDING CODES, LAWS OR REGULATIONS NOTED BY THE GENERAL CONTRACTOR SHALL BE SUMMITTED TO THE DESIGN TEAM FOR RESOLUTION, PRIOR TO PROCESSION WITH A2.1 ELEVATIONS & SECTIONS REVISIONS: AGRN1 Green Building No. Description Date AGRN2 Green Building AGRN3 Green Building 22. THE CONTRACTOR SHALL, AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY HIS ON HER OPERATION. AT THE COMPLETION OF THE WORK, HE OR SHE SHALL CLEAN ALL GLASS SURFACES AND LEAVE THE WORK RESOND (LEAN. E100 SYMBOLS AND LEGEND NUMBER PROJECT ADDRESS: E110 SINGLE LINE DIAGRAM CLOUD AROUND AREA REVISION GRI F120 FLECTRICAL POWER PLAN 1541 N Monrovia St. DOLUM DOLUM DIR LINE P100 PLUMBING LEGEND Newport Beach, CA 24. WHERE WORK OR EQUIPMENT IS INDICATED N.LC., SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. THE CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION. P110 PLUMBING CALCULATIONS P120 PLUMBING CALCULATIONS AND SCHEDULES -NUMBER INTERIOR FLEVATION 25. ALL REQUESTS FOR CLARIFICATION OF THESE DRAWINGS SHALL BE DIRECTED TO THE DESIGN TEAM. SHEET NO INTERIOR ELEVATION STURCTURAL NOTES 26. ALL DRAWINGS AND NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY ONE WILL BE AS BINDING MODULAR FOUNDATION PLAN -CALL OUT NO. INTERIOR ELEVATION CARDEN HALL SCHOOL 27. NOT USED NO. MATCH LINE 28. THE CONTRACTOR SHALL PROVIDE AN APPROVED FIRE STOP MATERIAL TO MAINTAIN THE 1 HOUR RATING AT ALL ELECTRICAL AND MECHANICAL PIPMS PENETRATIONS THROUGH TENANT PARTY WALLS, CELLINGS, FLOOR OR ANY OTHER LOCATIONS AS FOU LINE 29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACTUAL FLOOR TRUSS LAYOUTS AND QUANTITY IN ORDER TO ALLOW WASTE AND SUPPLY PIPING AND DUCTS TO SERVE UNITS AS SHOWN. NORT **COVER SHEET** POINT 30. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. 1. THIS PROJECT SHALL COMPLY WITH TITLE 24 FIRE SPRINKLER T.I. & AUTOMATIC EXTINGUISING SYSTEM: DEFERRED SUBMITTAL 2. ALL WORK SHALL CONFORM TO THE  $\oplus$ SIGNS ARE UNDER SEPARATE PERMIT. 31. PLANS SHALL BE SIGNED BY SOILS ENGINEER WHEN REPORTS ARE REQUIRED. 31. FUNDS STAFFLE BE SOURCE OF SOURCE MIGHTER WHEN REPORTS ARE REQUIRED.

32. NOTWITHSTANDING ANY PROVISIONS IN THESE SPECIAL CONDITIONS, GENERAL CONDITIONS OR ANY OTHER MATTERS SPECIATED IN THE PROVISION OF TH 2022 CALIFORNIA BUILDING CODE (CBC) NON-FIXED AND MOVABLE FIXTURES, CASES, RACKS NOT OVER 5-9° IN HEIGHT IS EXEMPT FROM PERMIT REQUIREMENTS OF THE CODE BUT SHALL NOT BE DEEMED TO GRANT AUTORIZATION FOR ANY WORK TO BE DONE IN ANY MANNER IN VIOLATION OF THE PROVISIONS OF THE CODE OR ANY OTHER LAWS OR ORDINANCES. 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC 2022 CALIFORNIA ENERGY STANDARDS CODE (CESC) "SPRINKLER SYSTEM TO BE APPROVED BY VENTURA COUNTY FIRE PROTECTION DISTRICT PRIOR TO INSTALLATION." PLANS FOR MODIFICATIONS TO EXISTING FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE VENTURA COUNTY FIRE PROTECTION DISTRICT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OR WORK BEING STARTED. EXHAUST FAN PLANS REVIEWED BY: C69263 33. THE MEANS OF EGRESS SERVING ANY OCCUPIED PORTION OF THE BUILDING SHALL BE ILUMINATED TO AN INTENSITY OF NOT LESS THAN ONE (1) FOOT CANDLE AT THE FLOOR LEVEL. IN THE EVENT OF POWER SUPPLY TO THE LUMINATION OF SUPPLY SHOWN AND WASTE SUPPLY TO THE STEAM. RAHMAN ENGINEERING "THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO 13611 12TH ST, SUITE-B, CHINO, CA 91710 Tel: (213)-400-8078 Exp. 06/30/24 MAINTAIN BUILDING SAFEGUARDS, EXITS, AND FIRE PROTECTION DEVICES. PROTECT ADJACENT PROPERTIES, WORKERS, PEDESTRIANS, AND OTHER PERSONS DURING EXCAVATION AND CONSTRUCTION OPERATIONS. (GC 3302, 3306 & 3307)

34. THE PATH OF EXIT TRAVEL TO AN WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO CBC 2022 CODE

## 1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING

- EACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO
- CACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT".

  EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

  A. "EXIT STAIR DOWN"

  B. "EXIT RAMP DOWN"

  C. "EXIT STAIR UP

  D. "EXIT RAMP UP

  EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE." THE WORDS, "EXIT ROUTE."

  EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH

- A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN
- WITH THE WORDS "EXIT ROUTE."
  EACH EXIT DOOR THROUGH A HORIZONTAL EXIT THAT IS
  REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE
  IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."

RAISED CHARACTER AND BRAILLE EXIT SIGNS SHALL COMPLY WITH HAPTER 11A, SECTION 1143A OR CHAPTER 11B, SECTIONS 11B-703.1, 1B-703.2, 11B-703.3 AND 11B-703.5.

1013.5 INTERNALLY ILLUMINATED EXIT SIGNS
ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT
EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924
AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

1013.6.3 POWER SOURCE
EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE
CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90
MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION
MEANS SHALL BE CONNECTED TO AN EMERGENCY DOWER SYSTEM MEANS SMALL BE CONNECLIED IT OAN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. GROUP 12. CONDITION 2 EXT SIGNI ILLUMINATION SHALL NOT BE PROVIDED BY UNIT EQUIPMENT BATTERIES ONLY.

101.3.1 WHERE REQUIRED

EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED

EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE

MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY NIDICATE THE

DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH

OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS.

INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE

MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT

ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS

WITHIN 100 FEET (30 480 MM) OR THE LISTED VIEWING DISTANCE OF THE

SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

#### OCCUPANCY LEGEND

PRIMARY EXIT XX EXIT NUMBER

SG TACTILE 'EXIT' SIGN

TACTILE 'EXIT

DOWN' SIGN

SG TACTILE 'NOT AN

EXIT' SIGN

SG ROUTE' SIGN

204 ROOM NUMBER

ILLUMINATED EXIT SIGN

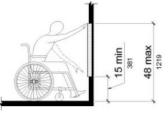
DIRECTIONAL ILLUMINATED

FXIT SIGN

PANIC HARDWARE VON DUPRIN-35A-NL-OP OR EQUAL



EXIT ROUTE



#### FIGURE 11B-308.2.1

#### UNOBSTRUCTED FORWARD REACH

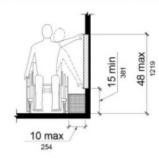


FIGURE 11B-308.3.1

#### UNOBSTRUCTED SIDE REACH

## ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS SHALL COMPLY WITH SECTION 11B-308.1.

BRAILLE TEXT

- A. A. WHERE A FORWARD REACH IS UNOBSTRUCTED, CONTROLS, SWITCHES & ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 45' MEASURED FROM THE TOP OF THE OUTLET BOX NOT LESS THAN 15' MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF FINISH FLOOR. (CBC 11B-308.11)

  B. ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 45' MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15' MEASURED FROM THE DOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE OUTLET BOX OR
  C. RECEPTACLE OUTLET BOX OR
  C

- EXIT NOTES:

  1. "EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH 5-FOOT-CANDLES. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND WILL BE CONNECTED TO THE BUILDING POWER AND AN EMERGENCY POWER SOURCE PROVIDING 90 MINS. OF ILLUMINATION IN CASE OF PRIMARY POWER LOSS.
- PRIMARY POWER LOSS.

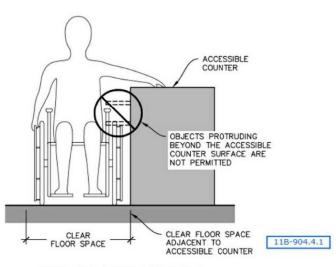
  2. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILCUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. THE MEANS OF EGRESS ILLUMINATION AND EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY

  3. ELECTRICAL SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. (CBC 1009, 013.6.3) SUPPLY LIGHT FIXTURES THAT ARE CONNECTED TO THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. (CBC 1009, 013.6.3) SUPPLY LIGHT FIXTURES THAT ARE CONNECTED TO THE EMERGENCY POWER SUPPLY OR BATTERY PACK AT THE FOLLOWING LOCATIONS:

  A. ASILES, HALLWAYS, CORRIDORS AND EXIT ACCESS STAIRWAYS & RAMPS.

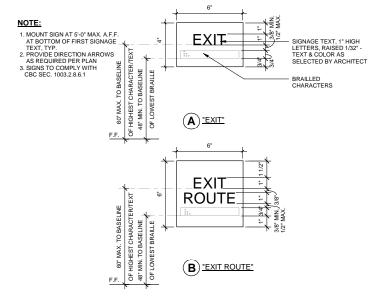
  B. INTERIOR EXIT ACCESS STAIRWAYS & RAMPS, INTERIOR AND EXTERIOR EXIT STAIRWAYS & RAMPS, EXIT PASSAGEWAYS, VESTIBULES AND AREAS ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE AND EXTERIOR LANDINGS FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE 2. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE

- C. ELECTRICAL EQUIPMENT ROOMS, FIRE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS & PUBLIC RESTROOMS WITH AREA

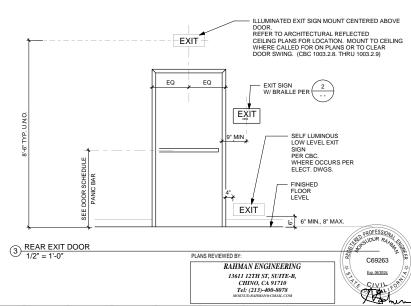


#### SALES AND SERVICE COUNTERS CLEAR SPACE REQUIREMENTS

At accessible sales and service counters, the code specifically states that the clear floor space shall be adjacent to the counter (11B-904.4.1). The common definition of "adjacent" is "having one side in common." Access Board resources have confirmed this is the correct interpretation of the code.



2020- EXIT SIGN 3" = 1'-0"





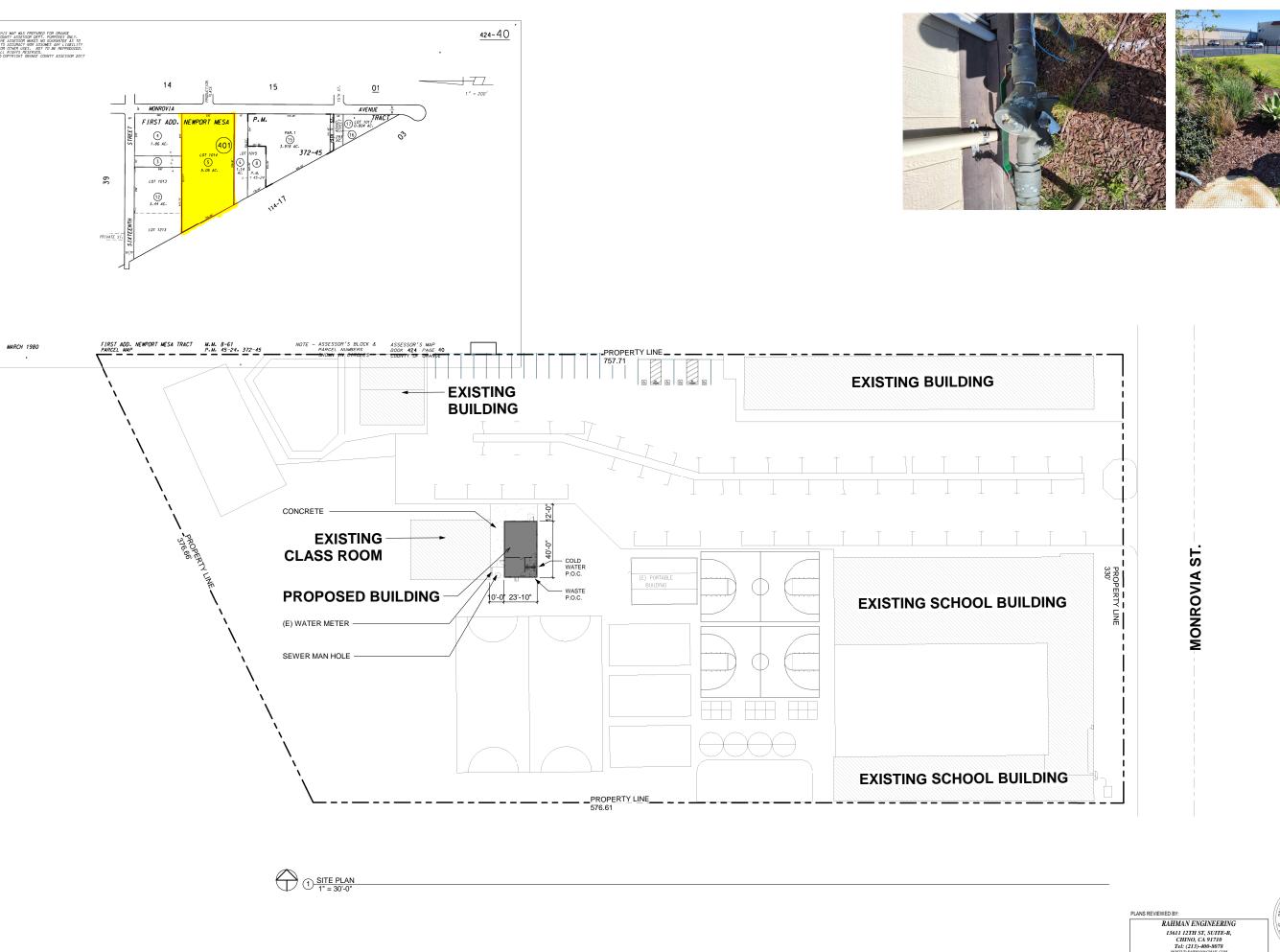
SCH001 (E) AT (PRE-APPROVED) OFFICE ( MODULAR NEW

PROJECT ADDRESS: 1541 N Monrovia St. Newport Beach, CA CLIENT NAME: CARDEN HALL SCHOOL CODE / **ACCESSIBILITY** PLAN 24-2334 Project number Date 7/8/2024 12:51:10 PM A0.10

As indicated

No. Description Date

REVISIONS:



PROJECT:

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

		Doodiiption	Date				
PROJECT ADDRESS:							
	1541 N Monrovia St.						
		lowport Dogol	h (^)				

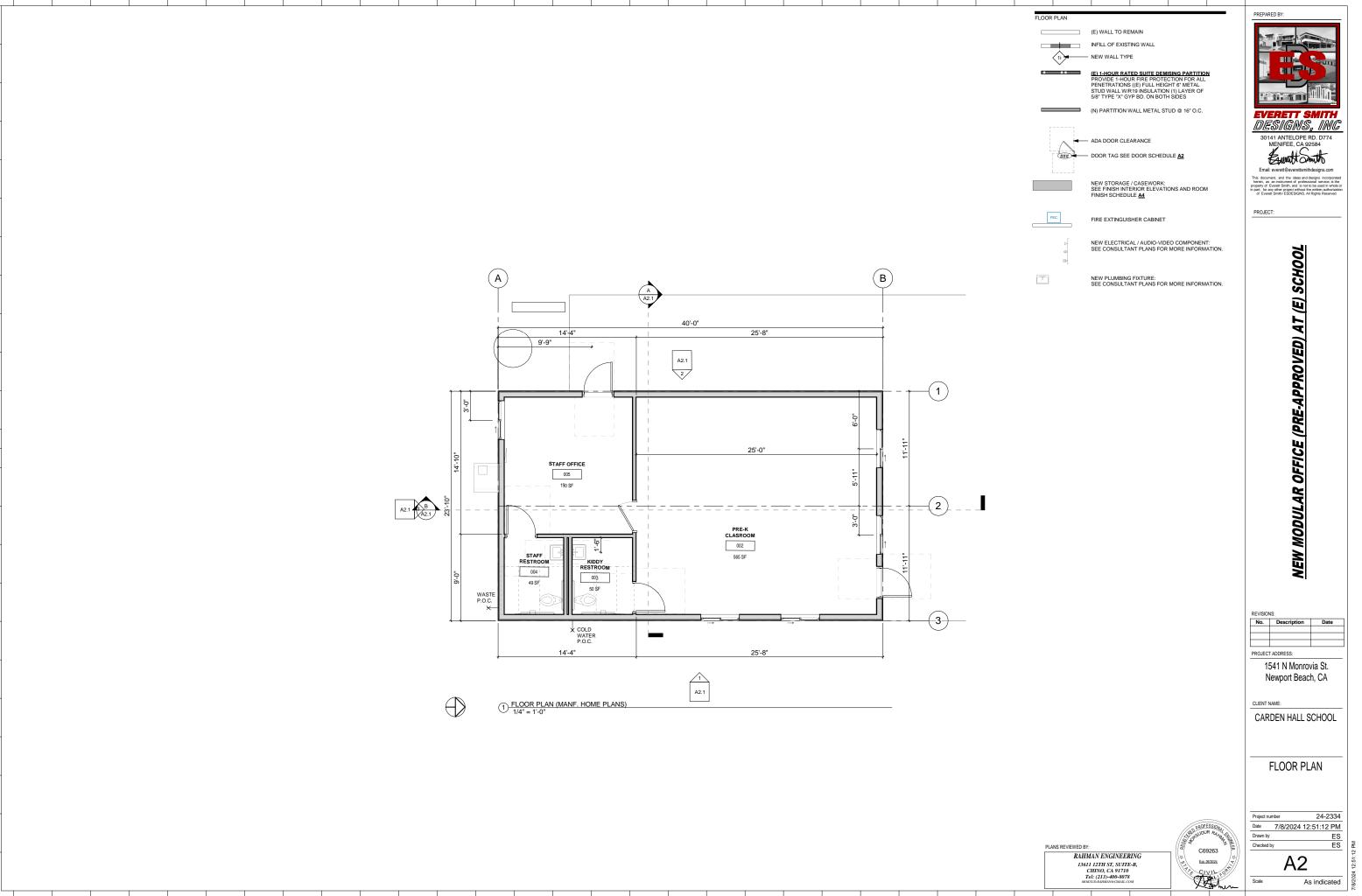
CARDEN HALL SCHOOL

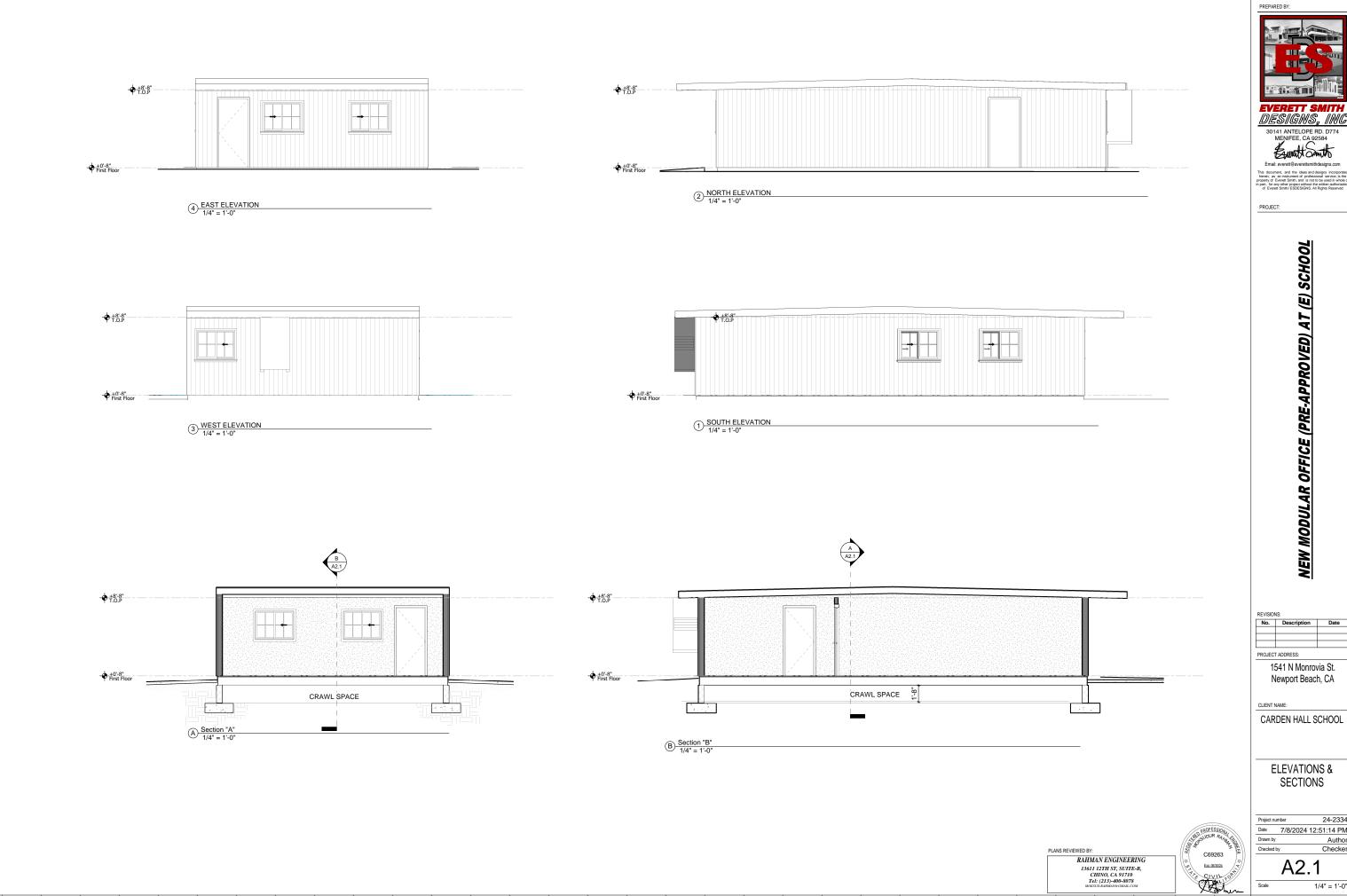
SITE PLAN

C69263 Exp. 06/30/24

Date 7/8/2024 12:51:11 PM **A1** 

1" = 30'-0"





EVERETT SMITH DESIGNS, INC 30141 ANTELOPE RD. D774
MENIFEE, CA 92584

NEW MODULAR OFFICE (PRE-APPROVED) AT (E) SCHOOL

No.	Description	Date					
PROJECT ADDRESS:							
1541 N Monrovia St.							

Newport Beach, CA

**ELEVATIONS &** SECTIONS

Project number 24-2334

Date 7/8/2024 12:51:14 PM

Author Checker A2.1 1/4" = 1'-0"

SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandat the application checklists contained in this code. Voluntary green building measures are also included in application checklists and may be included in the design and construction of structures covered by this or but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

but are not required unless audupable but are not required unless audupable but are not required unless audupable. The provisions and a NONRESIDENTIAL Teams 6 areas to newly constructed buildings, building additions of 1,000 square. of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 sque feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings (N) or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section Note: On and after January 1, 2014, octain committed an earl property, as believe in 1 voin 2004 Section 1010.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1et see, for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:

High Rise Additions and Alterations

CHAPTER 5

## NONRESIDENTIAL MANDATORY MEASURES

#### DIVISION 5.1 PLANNING AND DESIGN SECTION 5.101 GENERAL

\$.101.1 SCOPE

The provisions of this chapter outline planning, design and development methods that include environmentally responsible sits selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2(and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES.
Eligible vehicles are limited to the following.

Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962.
 High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating od 9 oe 10 as regulated under 40 CPR Section 600 Subpart D.

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-spee either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is a

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.

VANPOOL VEHICLE. Fligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor designed for carrying more than 10 but not more than 15 persons including the driver, which is mainta orimarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.

Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT
5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE
OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a
larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction
activities through one or more of the following measures:

5.106.1.1 Local ordinance . Comply with a lawfully enacted storm water management and/or erosion control

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

- 1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following:

  a. Scheduling construction activity during dry weather, when possible.

  b. Preservation of natural features, vegetation, soil, and buffers around surface waters.

  c. Drainage swales or lined diches to control stormwater flow.

  d. Mulching or hydroseeding to stabilize disturbed soils.

  e. Erosion control to protect slopes.

  f. Protection of storm drain inlets (gravel bags or catch basin inserts).

  g. Perimeter sediment control (perimeter sill fence, fiber rolls).

  Sediment tran or sediment has in to retain sediment on site.

  - Sediment trap or sediment basin to retain sediment on site Stabilized construction exits.
- Wind erosion control.
   Other soil loss BMPs acceptable to the enforcing agency.
   Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
   a Dewaterion activities.
  - Dewatering activities.

    Material handling and waste management
    Building materials stockpile management.
  - Management of washout areas (concrete, paints, stucco, etc.).
     Control of vehicle/equipment fueling to contractor's staging area.
     Vehicle and equipment deaning performed off site.
     Spill prevention and control.
     Other housekeeping BMPs acceptable to the enforcing agency.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less shan one acre of land but are part of a larger common plan of development sale.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Corrol of Board for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects in the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality Corrol of Soard (for projects In the Lake Talone Hydrologic Unality In the Lake Talon

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction The NYDE'S permits require postconstruction funor loss-tropiect nytorology to mator the preconstruction funor (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measur Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.1.

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, rea

5.106.4.1.2Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular par spaces with a minimum of one bicycle parking facility.

5.106.4.1.4For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall

Covered, lockable enclosures with permanently anchored racks for bicycles Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates. 5.106.4.2 Bicycle parking, [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.
5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles
   Lockable bicycle rooms with permanently anchored racks; or
   Lockable, permanently anchored bicycle lockers.

5.106.5.3 Electric vehicle (EV) charging . [N] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provided in accordance with regulations in the California Electrical Code.

- . On a vase-try-case usses where the local entorcing agency has determined compliance w this section is not feasible based upon one of the following conditions:

  a. Where there is no local utility power supply

  b. Where the local utility is unable to supply adequate power.

  c. Where there is evidence suitable to the local enforcement agency substantiating the local utility in firestructure design requirements, directly related to the implementation or section 5.106.5.3, may adversely impact the construction cost of the project.

  Parking spaces accessible only by automated mechanical car parking systems are not Parking spaces accessible only by automa required to comply with this code section

N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following

- rements:

  1. Raceways complying with the California Electrical Code and no less that 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable and into a suitable listed cabinet, box,enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces.

  2. A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum to an installed EVSE at each EVCS.

  3. The electrical system and any on-site distribution transformers shall have sufficient capacity is usually all the death processes.

- The electrical system and any off-size distinuous intrastormers shart nave sunicent capacity to supply full rated amperage at each EV capable space.
   The service panel or subpanel circuit directory shall identify the reserved overcurrent protective devices space(s) as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Note: A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 2251.1.2 for further details.

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH
0-9	0	EVSE)^2
10-25	2	0
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20% of total1	25% of EV capable spaces

- There there is insufficient electrical supply. he number of required EVCS (EV capable spaces provided with EVSE) in column 3 count tow tal number of required EV capable spaces shown in column 2.

5.106.5.3.2 Electric vehicle charging stations (EVCS)
EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table
5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 may be provided with EVSE in any combinati
Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 EVSE shall be

One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the

5.106.5.3.3 Use of automatic load management systems (ALMS).
ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

When EVSE is installed, accessible EVSC shall be provided in accordance with the California Building Code, Chapter 118, Section 11B-228.3.

Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

5.106.5.4 Electric Vehicle (EV) charging: medium-duty and heavy-duty. [N] Construction shall comply with section 5.106.5.4.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street los spaces shall also comply with Section 5.106.5.4.1 for future installation of medium- and heavy-duty EVSE.

xceptions:

1. On a case-by-case basis where the local enforcing agency has determined compliance with this

1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:

a. Where there is no local utility power supply.
b. Where the local utility is unable to supply adequate power.
c. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

Where EVSI, lazer installed, it shall be in accordance with the California building Code, the California

5.106.5.4.1 Electric vehicle charging readiness requirements for warehouse, grocery stores and retail stores

with planned off-street loading spaces.

[N] In order to avoid future demolition when adding EV charging supply and distribution equipment, spare raceways(s) or busway(s) and adequate capacity for transformers(s), service panels(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include but are not limited to, the following:

1. The transformer, main service equipment and subgranel shall meet the minimum power requirement in Table 5.106.3.4.1 to accommodate the dedicated branch circuits for the future

installation of EVSE. To 0.0.3.4. To accommodate the detaclated matrix criticals in the future first installation of EVSE. To occurrence the future for construction documents shall indicate on or more location(s) convenient to the planned offstreet loading space(s) reserved for medium-and heavy-duty ZEV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispenser(s) as shown in Table

5.106.5.4.1 S. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium-and heavy-duly EVSE will be located and shall terminate in clos proximity to the potential future location of the charging equipments for medium- and heavy-duly and the potential future location of the charging equipments for medium- and heavy-duly future for the potential futur

The raceway(s) or busway(s) shall be sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.4.1.

### TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL

REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE

	BUILDING TYPE	BUILDING SIZE (SQ. FT.)	NUMBER OF OFF-STREET LOADING SPACES	ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & BUSWAY AND TRANSFORMER & PANEL
		10.000 to 90.000	1 or 2	200
	Grocery	10,000 to 90,000	3 or Greater	400
		Greater than 90,000	1 or Greater	400
		40 000 to 425 000	1 or 2	200
	Retail	10,000 to 135,000	3 or Greater	400
		Greater than 135,000	1 or Greater	400
			1 or 2	200
	Warehouse	20,000 to 256,000	3 or Greater	400
		Greater than 256,000	1 or Greater	400

5.106.8 LIGHT POLLUTION REDUCTION. [N]. I Outdoor lighting systems shall be designed and installed to comply with the following:

- The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and
   Backlight (9) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);
   Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8) and
- Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

lighting,including decorative N/A

- Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code.
- Emergency lighting.
   Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.
   Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 Alternate materials, designs and methods of construction.
   Luminaires with less than 6,200 initial luminaire lumens.

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT,

UPLIGHT AND GLARE (BUG) RATINGS 1,2						
ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ	
MAXIMUM ALLOWABLE BACKLIGHT RATING:						
Luminaire greater than 2 mounting heights (MH) from	N/A	No Limit	No Limit	No Limit	No Limit	
property line Luminaire back hemisphere is	N/A	B2	B3	B4	B4	
1-2 MH from property line Luminaire back nemfsphere is 0.5-1 MH from property line	N/A	B1	B2	B3	В3	
0.5-1 MH from property line Luminaire back hemisphere is less than 0.5 MH from property line	N/A	В0	В0	B1	B2	
MAXIMUM ALLOWABLE UPLIGHT RATING (U)						
For area lighting a	N/A	UO	UO	UO	UO	

 
 Y
 =
 YES

 N/A
 =
 NOT APPLICABLE

 RESPON. PARTY
 =
 RESPONSIBLE PARTY (in: ARCHITECT, ENGINEER, OWNTRAFTOR INSPECTOR ETC.)
 MAXIMUM ALLOWABLE GLARE RATING : (G) MAXIMUM ALLOWABLE N/A G1 G2 G3 G4 GLARE RATING (G) MAXIMUM ALLOWABLE N/A G0 G1 G1 G2 GLARE RATING : (G) MAXIMUM ALLOWABLE G0 G0 G1 G1 N/A MAXIMUM ALLOWABLE GO GO G0 G1

IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.

Code and Chapter II to the Camionina Aurinnaiana, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the lactual property line for purpose of determining compliance with this section For property lines that abut public roadways and public transit corridors, the property line may be considered to e centerline of the public roadway or public transit corridor for the purpose of determining compliance with this

3. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced

5.106.8.1 Facing- Backlight Luminaries within ZMH of a property line shall be oriented so that the nearest property line is behind the fixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point of that property line.
Exception: Comers. If two property lines (or two segments of the same property line) have equidistant point to the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall still use the distance to the nearest points(s) on the property lines to determine the required backlight rating.

No.8.2 Fating-Gare.
For luminaires covered by 5.106.8.1, if a property line also exists within or extends into the front hemisphere within 2MH of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front

Note: [N]
1.See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for

1.36e abocalonium parking facilities and walkways.
2.Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table
A.1, California Energy Code Tables 130.2-A and 130.2-B.
3. Refer to the California Building Codefor requirements for additions and alterations. 5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surf-water include, but are not limited to, the following:

- Swales.
  Water collection and disposal systems.
  French drains.
  Water retention gardens.
  Other water measures which keep surface water away from buildings and aid in groundwater recharge.
  Exception: Additions and alterations not altering the drainage path.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years. Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing materials that comply with Table A5.106.11.22 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.

5.106.12.2 Landscape areas. Shade tress plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.

Exceptions: Playfields for organized sport activity are not included in the total area calculation. 5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

Exceptions:

1. Walls, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.105.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planning.

2. Designated and marked play areas of organized sport activity are not included in the total area calculation.

#### DIVISION 5.2 ENERGY EFFICIENCY

the amount of water that needs to be applied to the landscape.

SECTION 5.201 GENERAL

S.201 1 Scope [BSC-CG]. California Energy Code [DSA-SS] . For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

#### DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL 5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS The following terms are defined in Chapter 2(and are included here for reference) EVAPOTRANSPIRATION ADJUSTMENT FACTOR (FTAF) [DSA-SS]. An adjustment factor when applied to

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater thas not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthyl processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom wasthoasins, clothes wasting machines and laundry tubs, but does not include waste water from kitchen sinks or

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installation and maintenance practices that will ensure commercial, multifamily and other developer installa landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area a climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), [HCDIThe California model ordinance California Code of Regulations, Tifle 23, Division 2, Chapter 27, regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5. POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct bencentrolled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recyc treated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. [HCD 1]A secondary device beyond a mater that measures water consumption of a patient within a multiunit residential structure of this best residential and commercial structure. (See Civic Cets Segion 1942.02 (a) and Water code Section 517 for a coding the this patient (Section 1942.02 (a) and Section 1942.

WATER BUDGET. Is the estimated total landscape languation with the state of the sta

**EVERETT SMITH** 

DESIGNS, INC 30141 ANTELOPE RD. D774 MENIFEE, CA 92584 Eswett South

Email: everett@everettsmithdesigns.com

PROJECT:

SCH00L Œ) AT APPROVED) OFFICE ( AR NEW

PEVISIONS: No. Description Date

PROJECT ADDRESS: 1541 N Monrovia St.

Newport Beach, CA

CARDEN HALL SCHOOL

Green Building

Project number 24-2334 Date 7/8/2024 12:51:16 PM

AGRN1

Z:\Shared\Everett Smith Designs\\_\_ES Design Jobs\24-2334 California Contracting Ne

ns are defined in Chapter 2 (and are included here for reference

5.407.2 MOISTURE CONTROL.Employ moisture control measures by the following methods

Other methods which provide equivalent protection.

5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND

such openings plus at least one of the following:

Exceptions to Sections 5.408.1.1 and 5.408.1.2:

as approved by the enforcing agency

5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures

An installed awning at least 4 feet in depth.
The door is protected by a roof overhang at least 4 feet in depth.
The door is recessed at least 4 feet.

5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

. Identifies the construction and demolition waste materials to be diverted from disposal by efficient

1. Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale.
2. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identifies diversion facilities where construction and demolition waste material collected will be taken.
4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

The owner or contractor shall make the determination if the construction and demolition waste material diverted by a waste management company.

Excavated soil and land-clearing debris.
 Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.

Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located www.dgs.ca.gow/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-Isti-Folder/CALGreen may be used to assist in documenting compliance with the waste

management plan.

2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material.
 For a map of know pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdfa.ca.gov)

5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials are the construction documents.

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associate vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/universalwaste

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resource

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirements.

5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill

5.407.2.2 Entries and openings . Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:

5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to

DIVISION 5.5 ENVIRONMENTAL QUALITY

Note: See CCR Title 17 Section 93120.1

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with

instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related

SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2(and are included here for reference

ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.

1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32Fahrenheit.

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.

COMPOSITE WOOD PRODUCTSComposite wood products include hardwood plywood, particleboard and med density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels

structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I–joists or inger–jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).

DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a

24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure sound power, sound intensity) with respect to a reference quantity.

trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, paseign adultations. Dubes, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, potholics. Post proposes of treatment electric current Puga-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of treatment electrical Code

ELECTRIC VEHICLE CHARGING STATION(S) (EVCSi).One or more spaces intended for charging electric vehicle

propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground ment, tractors, boats, and the like, are not included.

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required

Y N/A RESPON.

PYES NOT APPLICABLE
ON. PARTY RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER. CONTRACTOR, INSPECTOR ETC.)



DESIGNS, INC 30141 ANTELOPE RD. D774 MENIFEE, CA 92584

Email: everett@everettsmithdesigns.com

Exwalt Smith

PROJECT:

SCH001 Œ) AT

APPROVED) OFFICE ( AR NEW

PEVISIONS: No. Description Date

PROJECT ADDRESS: 1541 N Monrovia St.

Newport Beach, CA

CARDEN HALL SCHOOL

Green Building

Project number 24-2334 Date 7/8/2024 12:51:18 PM

AGRN2

5.410.2 COMMISSIONING, ININew buildings 10.000 square feet and over. For new buildings 10.000 square feet 3-4102 Cveribilities or highest unbilling for the state of the design and construction processes of the building project to verify that the building systems and construction processes of the building project to verify that the building systems and components met the works or burner or project programs of the building systems and consorting the state of the building systems and consorting the state of the building systems and consorting the state of the sta

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including h ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as v heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirement

- Owner's or Owner representative's project requirements. Basis of design. Commissioning measures shown in the construction documents.
- Commissioning plan.
  Functional performance testing.
  Documentation and training.

- Unconditioned warehouses of any size.
   Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within

unconditioned warenouses.

3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1.

4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not

- 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of ind No. 470 is an accordination client an indigenations proving in draining articular estimation or commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 les not certify individuals to conduct functional performance tests or to adjust and balance systems.

5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations requirements of the building appropriate to its phase shall be documented before the design phase or project begins. This documentation shall include the following:

- mental and sustainability goals.
- Environmental and social control of the state of the stat
- Équipment and systems expectations.
   Building occupant and operation and maintenance (O&M) personnel expectations.

5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:

- Renewable energy system
   Landscape irrigation system
   Water reuse system.

2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to nent how the project will be commissioned. The commissioning plan shall include the following:
 1. General project information.
 2. Commissioning goals.

- Measurable criteria for acceptable performance
- Commissioning team information.

  Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.

5.410.2.4 Functional performance testing, [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required including Occupational Safety and Health Act (OSHA) requirements i&alifornia Code of Regulations(CCR),

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following

- Site information, including facility description, history and current requirements.
- Basic operations and maintenance, including general site operating procedures, basic

- Major systems.

  Site equipment inventory and maintenance notes.

  A copy of verifications required by the enforcing agency or this code

  Other resources and documentation, if applicable.

5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance stant for each equipment type districts system is an occurrence of an occurrence in the cultimission report and shall include the following:

1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).

5.410.4 TESTING AND ADJUSTING. New buildings less than 10.000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well as as water heating systems and controls, refer to California Energy Code Section 120.5 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b) for additional testing requirements of specific

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

- Renewable energy systems.

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's

system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Bala Council National Standards or as approved by the enforcing agency.

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3. Division 30 of the Public Resources Code Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act). this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

 For each individual leased, rented or other tenant space within the building projected to consu more than 100 gald/ay (380 Uday), including, but not limited to, spaces used for laundry or cle-restaurant or food service, medical or dential office, laboratory, or beauty salon or barber shop. ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminal owing subsystems:

a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).

b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s).

c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW). BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and constru process, including verifying and documenting that building systems and components are planned, designed, inst tested, operated and maintained to meet the owner's project requirements. 5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day. ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and TEST. A procedure to determine quantitative performance of a system or equipment SECTION 5 407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification Tank-Type biolets. TWEATHER PROTECTION Provide a weather-resistant exterior wall and foundation envelope as requiria Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

ices shall be installed for the uses described in Sections

5.303.3.2 Urinals.
5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.

5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:

5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush.

5.303.3.3 Showerheads. [BSC-CG] 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per mitute at 80 ps, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.

5.303.3.4 Faucets and fountains.

SECTION 5.303 INDOOR WATER USE

Y N/A RESPON.

5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.

5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporary increase the flow above the maximum ribut not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallone per minute at 60 psi.

5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [rim space (inches) at 60 psi].

5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.

5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi]. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction

5.303.3.4.6 Pre-rinse spray value
When installed, shall meet the requirements in the alifornia Code of Regulations Title 20 (Appliance
Efficiency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607
(d)(7), and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY:The following table and code section have been reprinted from the Ca Code of Regulations Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Sec 1605.3 (h)(4)(A).

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28,

PRODUCT CLASS MAXIMUM FLOW RATE (gpm) Product Class 1 (≤ 5 0 ozf Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1 20 Product Class 3 (> 8.0 ozf) 1.28

5 303 4 COMMERCIAL KITCHEN FOLIPMENT

5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.
Note: This code section does not affect local jurisdiction authority to prohibit or require disposer

5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Codeand in Chapter 6 of this code.

SECTION 5.304 OUTDOOR WATER USE SECTION 5.304 OUTDOOR WATER USE.
5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply
with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water
Efficient Landscape Ordinance (MWELO), whichever is more stringent.

Notes:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations,
Title 23, Chapter 2.7, Division 2.

2. MWELO and supporting documents, including a water budget calculator, are available at:
https://www.water.ca.gov/

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS For public schools and community colleges landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELQ) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (ELA) of 0.35.

Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO.

5.304.6.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet. 5.304.6.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1.200 square feet.

#### DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.

5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.

Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.

SECTION 5.503 FIREPLACES
5.503.1 FIREPLACES, Install only a direct-y

SECTION 5.504 POLLUTANT CONTROL
5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if some cessary to condition the building or areas of addition or alteration within the required temperature prince 100 to the state of t

occupied during alteration, at the conclusion of the construction of the con

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections. FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections

ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest.

GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given gree gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.

GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yŋ)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.

HIGH-GWP REFRIGERANT A compound used as a heat transfer fluid or gas that is: (a) a chloroflu HIGH-GWP KEFKISEKANI A compound used as a neat transfer mulo or gas trait st. (a) a chiorentorication, a hidrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (8) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec. 82.3 (as amended March 10, 2009)

LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction,

LOW-GWP REFRIGERANTA compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82 sec.82.3 (as amended March 10, 2009).

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundreths of a gram (g 0"/g ROC).

PRODUCT-WEIGHTED MIR (PWMIR)The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

PSIG. Pounds per square inch. quage. REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

SCHRADER ACCESS VALVES. Access fittings with a valve core installed. SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.

SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.

VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)

Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

SECTION 5.503 FIREPLACES.

Stall ACES.

ACES.

SECTION 15.503 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.

400

450

250

420

100

250

100

340

100

420

350

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potent (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.1 Chain tethers. Chain tethers to fit ovr the stem are required for valves

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Codeand as

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are

5.508.2.1.2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CQ), and potentially other refrigerants.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack

Y S YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER
OWNER. CONTRACTOR, INSPECTOR ETC.)



**EVERETT SMITH** DESIGNS, INC

30141 ANTELOPE RD. D774 MENIFEE, CA 92584 Exercett Santt

PROJECT:

SCHOOL Œ 47 ROVED) OFFICE ( AR NEW

PEVISIONS:

140.	Description	Date
PROJEC*	Γ ADDRESS:	

1541 N Monrovia St. Newport Beach, CA

CLIENT NAME:

CARDEN HALL SCHOOL

Green Building

Project number 24-2334 Date 7/8/2024 12:51:20 PM

AGRN3

5.504.4.6 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, 'Stand Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,' Version 1.2, January 2017 (Emission testing method for California Specification See California Department of Public Health's website for certification programs and testing labs https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material 5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring

5.504.4.7 Thermal insulation
Comply with the requirements of the California Department of Public Health, "Standard Method of the Testing
and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,
"Version 1.2, January 1.2, January 217 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs.
https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.7.1 Verification of compliance.

Documentation shall be provided verifying that thermal insulation materials meet the pollutant emiss

5.504.4.8 Acoustical ceiling and wall panels. Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions: Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations policies of any policies of any policies of any other county, california Community California, or ampus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see

SECTION 5.506 INDOOR AIR QUALITY 5.506.1 OUTSIDE AIR DELIVERY. For mechanically or ically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CQ) MONITORING. For buildings or additions equipped with demand control ventilation, CQ: sensors and ventilation controls shall be specified and installed in accordance with the requ of the California Energy Code, Section 120(c)(4).

5.506.3 Carbon dioxide (CO2) monitoring in classrooms.

(DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of th€alifornia Energy Code,shall be equipped with a carbon dioxide monitor or sensor that meets the following requirements:

1. The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 and 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable

windows.

When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor o sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the carbon dioxide readings shall be available to and regularly monitored by facility personnel.

A monitor shall provide notification though a visual indicator on the monitor when the carbon dioxide levels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have

exceeded 1,100ppm.

The monitor or sensor shall measure carbon dioxide levels at minimum 15- minute intervals and shall maintain a shall maint

record of previous carbon dioxide measurements of not less than 30 days duration.

The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxide levels shall have the capacity to measure carbon dioxide levels with a range of 400ppm to 2000ppm or greater.

The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon

dioxide concentration and shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbo.

dioxide concentration and shall be certified by the manufacturer to require calibration no more frequently than once every 5 years.

SECTION 5.507 ENVIRONMENTAL COMFORT
5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class
(STC) values determined in accordance with ASTM E 9 30 and ASTM E 413, or Outdoor-Indoor Sound Transmission
Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in
Section 5.507.4.1 or 5.507.4.1

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OTTC rating of no less than 40, with exterior windows of a minimum STC of 40 or OTTC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

1. Ldn or CNEL for military airports shall be determined by the facility Air Installation Compatible

2. Within the 65 CNEL or be noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L<sub>2</sub> - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OTIC 35), with exterior windows of a minimum STC of 40 (or OTIC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

SECTION 5.508 OUTDOOR AIR QUALITY

Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression ent shall comply with Sections 5.508.1.1 and 5.508.1.2. 5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

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PARTY

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through

V NA RESPON.
PARTY

O D S.504.4.6. TABLE 5.504.4.3 - CONT.

COATING CATEGORY

SPECIALTY COATINGS

ALUMINUM ROOF COATINGS

LOW SOLIDS COATINGS:

MULTICOLOR COATINGS

RECYCLED COATINGS

STONE CONSOLIDANTS

WOOD COATINGS

WOOD PRESERVATIVES

ZINC-RICH PRIMERS

SWIMMING POOL COATINGS

TRAFFIC MARKING COATINGS

TUB & TILE REFINISH COATINGS

WATERPROOFING MEMBRANES

ROOF COATINGS

SHELLACS:

CLEAR

OPAQUE

MAGNESITE CEMENT COATINGS

METALLIC PIGMENTED COATINGS

PRETREATMENT WASH PRIMERS

REACTIVE PENETRATING SEALERS

RUST PREVENTATIVE COATINGS

PRIMERS SEALERS & LINDERCOATERS

SPECIALTY PRIMERS, SEALERS & UNDERCOATERS

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOLUCES BOARD

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:
 1. Manufacturer's product specification:
 2. Field verification of on-site product containers

All Carpet installed in the building interior shall meet the requirements of the California Department of Public Health, 'Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoc Sources Using Environmental Chambers.' Version 1.2, January 2017 (Emission testing method for Californi Specifications 01350).

MASTIC TEXTURE COATINGS

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device tha indicates the level of refrigerant in the receiver. 5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and 5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum. 5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER 7

**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 

702 1 INSTALLER TRAINING HVAC system installers shall be trained and certified in the proper TACL I INSTRUCE I RAINING. TWA System installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision are responsibility of a person trained and certified in install HVAC systems or contractor licensed to Install HVAC systems or contractor licen

State certified apprenticeship programs.
 Public utility training programs.
 Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
 Programs sponsored by manufacturing organizations.
 Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector.

Certification by a national or regional green building program or standard publisher.
 Certification by a statewide energy consulting or verification organization, such as HERS raters, building

Certification by statewine energy auditors.
 Successful completion of a third party apprentice training program in the appropriate trade.
 Other programs acceptable to the enforcing agency.

Special inspectors shall be independent entities with no financial interest in the materials or the
project they are inspecting for compliance with this code.
 HERS rates are special inspectors certified by the California Energy Commission (CEC) to rate
homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a

certification from a recognized state, national or international association, as determined by the local agarea of certification shall be closely related to the primary job function, as determined by the local agenc

Note: Special inspectors shall be independent entities with no financial interest in the materials of inspecting for compliance with this code.

703 VERIFICATIONS PLANS REVIEWED BY:

C69263

703.1 DOCUMENTATION. Documentation used \*\*RAHMAONENG/ANTERING\*\* Gode shall include but is not limited to, construction documents, plans, specifications, builder on the property of the enforcing agency which demonstrate subspacination of the enforcing agency which demonstrate subspacination of the enforcing agency which demonstrate subspacination and the enforcing agency which demonstrate subspacination and the enforcing agency which demonstrate subspacination and the enforcing agency which demonstrate subspacination will be specified in the application of the enforcing agency which demonstrate subspacination will be specified in the application of the enforcing agency and the enforcing agency and the enforcement of the enforcing agency and the enforcing agency agency agency and the enforcing agency and the enforcing agency agen

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material SINGLE-PLY ROOF MEMBRANE 5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and 420 OTHER SEAL ANT PRIME ARCHITECTURA NONPOROUS 775 MODIFIED BITUMINOUS MARINE DECK OTHER NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT 5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency, Documentation shall include at least one of the following:

1. Product certifications and spe 5.50.4.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not need the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defirred in Subsections 4.21, 4.35 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply. CCR, Title 17, Section 93120, et seq.).

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S Other methods acceptable to the enforcing agency 5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 9452(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and zone depleting substances, in Sections 9452(c)(2) and (f)(g) @allfornia Code of Regulations Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49. TABLE 5.504.4.5 - FORMALDEHYDE LIMITS TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS25 GRAMS OF VOC PER LITER OF COATING LESS WATER & LESS EXEMPT COMPOUNDS

requirements of the California Department of Public Treatin, Standard Meditor to the Pesting Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmenta Chambers, Version 1.2, January 2017 (Emission testing method for California Specifications 01360). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material 5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard 00-4.3 cumposate wood products. — natwood psywood, particleboard and meanth resisty intertoand project two odp products used on the interior or exterior of the buildings shall meet the requirements for start of the product of the product of the province of the product of th

Product labeled and invoiced as meeting the Composite Wood Products regulation (see

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION					
PRODUCT	CURRENT LIMIT				
HARDWOOD PLYWOOD VENEER CORE	0.05				
HARDWOOD PLYWOOD COMPOSITE CORE	0.05				
PARTICLE BOARD	0.09				
MEDIUM DENSITY FIBERBOARD	0.11				
THIN MEDIUM DENSITY FIBERBOARD2	0.13				
I. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED B FOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED II					

BASEMENT SPECIALTY COATINGS 400 BITLIMINOUS ROOF COATINGS 350

BITLIMINOUS ROOF PRIMERS

350

CONCRETE CURING COMPOUNDS CONCRETE/MASONRY SEALERS DRIVEWAY SEALERS DRY FOG COATINGS FAUX FINISHING COATINGS FIRE RESISTIVE COATINGS FLOOR COATINGS

EORM-RELEASE COMPOLINDS 250

GRAPHIC ARTS COATINGS (SIGN PAINTS

250

HIGH-TEMPERATURE COATINGS

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

Less Water and Less Exempt Compounds in Grams per Liter CURRENT VOC LIMIT

ARCHITECTURAL APPLICATIONS

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:
1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.41 and 5.504.4.2 Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.

Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, oCalifornia Code of Regulations Title 17, commencing with Section 94507.

CARPET PAD ADHESIVES WOOD FLOORING ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES

RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPLIEPOSE CONSTRUCTION ADHESIVES

STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES

SPECIALTY APPLICATIONS PVC WELDING

CPVC WELDING 490 ABS WELDING 325 PLASTIC CEMENT WELDING

CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE

TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL

WOOD FIBERGLASS 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE

TABLE 5.504.4.2 - SEALANT VOC LIMIT

POROUS MATERIAL (EXCEPT WOOD)

MARINE DECK NONMEMBRANE ROOF 250 ROADWAY

COATING CATEGORY CURRENT VOC LIMIT FLAT COATINGS NONELAT HIGH GLOSS COATINGS

OUTDOOR CARPET ADHESIVES

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT 12

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- THE DRAWINGS REPRESENT THE FINISHED PROJECT UNLESS OTHERWISE NOTED , THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SEQUENCES
- ALL DIMENSIONS, EXISTING JOB SITE CONDITIONS, AND SERVICE REQUIREMENTS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE THE START OF CONSTRUCTION AND/OR FABRICATION OF MATERIALS IF DISCREPANCIES ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED
- CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES AND WORKMEN TO CLOSE , PATCH , AND REPAIR ALL HOLES WHERE ITEMS ARE REMOVED AND PROVIDED OPENINGS AS NECESSARY FOR NEW WORK.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CALIFORNIA LOCAL CODES APPLYING TO THE PROPOSED CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE ABOVE AND THESE PLANS AND SPECIFICATIONS, THE MOST RESTRICTIVE SHALL GOVERN.
- CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO SERVICE BY THE UTILITIES AND SHALL INCLUDE THE COST OF ALL WORK BY OR FOR
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM, EXCEPT THAT THE PROVISIONS FOR OWNER-SUPPLIED EQUIPMENT SHALL ONLY BE COMPLETED TO THE POINT INDICATED FLSEWHERE ON THE DRAWINGS.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONFORMITY TO ALL LOCAL CODES AND ORDINANCES, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, THE N.E.C. AND ANY ADDITIONAL JURISDICTION RELATING
- IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON THE PLANS AND/OR SPECIFICATIONS OR WITH CODE REQUIREMENTS. THE NOTES SPECIFICATIONS OR CODES WHICH ESTABLISH AND PRESCRIBE THE MORE COMPLETE OR THE HIGHER STANDARD SHALL
- 10. EXACT ROUTING OF ALL CONDUITS WITHIN THE EXISTING BUILDING SHALL BE DETERMINED BY THE CONTRACTOR . ANY COST REQUIRED TO ROUTE CONDUITS DIFFERENTLY THAN IS SHOWN ON THESE DRAWINGS SHALL BE INCURRED BY THE ELECTRICAL CONTRACTOR
- 11. 11.ALL MATERIALS AND EQUIPMENT SHALL BE DELIVERED TO THE SITE NEW, IN THEIR ORIGINAL UNBROKEN PACKAGES BEARING APPROVAL BY ., NEMA, NBFU,OR OTHER APPROPRIATE AGENCY, AND INSTALLED PER THEIR GUIDELINES.
- 12. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM MEETING THE INTENT OF THESE PLANS AND SPECIFICATIONS. ALL SYSTEMS SHALL BE IN FOR INSPECTION.
- 13. ELECTRICAL CONTRACTOR SHALL MAINTAIN GROUND CONTINUITY TO EVERY OUTLET PER C.E.C 2022 TABLE 250-112.
- 14. ALL WIRES AND CABLES SHALL BE COPPER , 600 VOLT , #12 AWG MINIMUM.EXCEPT CONTROL WIRING WHICH SHALL BE #18 THWN. TYPE OF INSULATION AS NOTED ON DRAWINGS AND AS FOLLOWS:
- THHN/THWN INSULATION FOR #4 AWG AND SMALLER
- THW OR THHN/THWN INSULATION FOR #2 AWG AND LARGER
- THW USED FOR ALL PANEL FEEDERS AND SERVICE CONDUCTORS THHN INSULATION TYPE SHALL BE USED WHERE CONDUCTORS ARE
- INSTALLED IN CONDUITS EXPOSED TO THE WEATHER
- 15. ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED FOR SEISMIC LOADING TO RESIST A HORIZONTAL FORCE ACTION IN ANY DIRECTION USING THE FOLLOWING CRITERIA:
- FIXED EQUIPMENT ON GRADE 33% OF OPERATING WEIGHT FIXED EQUIPMENT ON STRUCTURE 50% OF OPERATING WEIGHT

WITH AN OPERATING WEIGHT OF LESS THAN 1,000 LB.

- FOR FLEXIBILITY MOUNTED EQUIPMENT, USE 2 TIMES THE ABOVE VALUES. SIMULTANEOUS VERTICAL FORCE USE 1/3 TIMES HORIZONTAL FORCE. THIS CRITERIA APPLIES TO EQUIPMENT ON THE FLOOR, WALL, OR ROOF
- 16. CONTRACTOR IS RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, AND REFINISHING OF WALLS AND SURFACES WHEREVER IT IS NECESSARY PENETRATION, ALL OPENINGS MADE SHALL BE SEALED TO MEET THE FIRE RATING AND STRUCTURAL INTEGRITY OF THE PARTICULAR WALL, FLOOR,

- 17. ALL ELECTRICAL FIXTURE AND EQUIPMENT SHALL BE GROUNDED. ALL CONVENIENCE RECEPTACLES SHALL BE GROUNDING TYPE.
- 18. ELECTRICAL CONTRACTOR SHALL FURNISH TEMPORARY CONSTRUCTION POWER WHERE REQUIRED.
- 19. ALL THE ELECTRICAL LINES SHOULD BE CONCEALED WITHIN THE BUILDING STRUCTURE TO AS GREAT EXTENT AS POSSIBLE.
- 20. ELECTRICAL RECEPTACLES OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES TO
- a. NO MORE THAN 48", MEASURED FROM TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING AND:
- NO LESS THAN 15', MEASURED FROM BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
- ALL WORK TO COMPLY WITH 2022 CALIFORNIA ELECTRICAL CODE AND
- 22. PROVIDE SWITCH & RECEPTACLE HEIGHTS PER STATE OF CALIFORNIA ACCESSIBLE REQUIREMENTS.
- 23. THE ISSUANCE OF PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF CODES ADOPTED BY THE CITY.RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
- 24. FOR RATED WALLS/CEILINGS PENETRATIONS AND/OR MEMBRANE PENETRATIONS, COMPLETE NRTL CLASSIFICATION SHEETS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION.
- 25. GIVE THE POWER COMPANY WRITTEN NOTICE OF THE EXTENT AND NATURE OF ANY MATERIAL CHANGES IN THE SIZE, CHARACTER, OR EXTENT OF THE UTILIZING EQUIPMENT OR OPERATIONS FOR WHICH POWER COMPANY IS SUPPLYING ELECTRIC SERVICE BEFORE MAKING ANY SUCH CHANGE.
- 26. THE UNGROUNDED AND GROUNDED CONDUCTORS OF EACH MULT-IWIRE BRANCH CIRCUIT SHALL BE GROUNDED BY WIRE TIES OR SIMILAR MEANS IN AT LEAST ONE LOCATION WITHIN THE PANEL-BOARD OR OTHER POINT OF ORIGINATION (210.4(D)).
- 27. FACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.(210.4)
- 28. PROVIDE SEPARATE SUBMITTAL, OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS FOR ALL FIRE ALARM SYSTEM INSTALLATIONS AND/OR MODIFICATIONS.
- 29 PROVIDE SEPARATE SUBMITTAL FOR ALL ELECTRICAL SUBSYSTEMS. WITH POWER SUPPLY(S) OF MORE THAN 50VA AND/OR 24V (E.G., SECURITY ,CARD READERS, TELCO/DATA,PA,AUDIO/VISUAL,NURSE CALL.HVAC AND REFRIGERATION CONTROLS, ETC.).
- 30. ALL INSTALLED MATERIALS AND EQUIPMENT SHALL BE LISTED U.L.,NRTL OR LISTED AND APPROVED BY AN APPROVED LISTED LABORATORY

#### CODE INFORMATION:

THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC. WHICH HAVE JURISDICTION OVER THIS WORK. BELOW IS A LIST OF MAJOR STANDARDS LISTED FOR CONVENIENCE ONLY. REFERENCE TO A STANDARD MEANS, THE LATEST EDITION OF SUCH STANDARD AT DATE OF BUILDING PERMIT. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES NOT LISTED HEREIN

CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE (TITLE 24, PART 6) 2022

#### **ELECTRICAL SPECIFICATIONS**

#### PART - I GENERAL:

. 1.1 ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE

(CEC 2022), THE NATIONAL ELECTRICAL CODE NEC 2017 AND CURRENT CITY ORDINANCES.
2. 1.2 ELECTRICAL EQUIPMENT, MATERIALS AND APPURTENANCES SHALL BE BRACED IN ACCORDANCE

#### PART -II PRODUCTS

- EQUIPMENT AND MATERIALS SHALL BE NEW AND FREE FROM DEFECTS. ALL EQUIPMENT OF THE SAME OR SIMILAR TYPE SHALL BE THE SAME MANUFACTURER THROUGHOUT THE WORK. STANDARD PRODUCTION MATERIALS SHALL BE USED WHEREVER POSSIBLE.

  CONDUIT SHALL BE PROVIDED FOR ALL WIRING INCLUDING POWER, CONTROL, GROUNDING, LIGHTING, RECEPTACLES AND SIMILAR SYSTEMS.
- RACEWAYS: EXPOSED CONDUIT SUBJECT TO DAMAGE SHALL BE THREADED, GALVANIZED, RIGID STEEL RACEWAYS: EXPOSED CONDUIT SUBJECT TO DAMAGE SHALL BE INFREDUED, GALVANIZED, MICHOEL STEEL CONDUIT, MINIMUM SIZE BE 3/4" BUSHING SHALL BE GALVANIZED, MALEABLE IRON WITH INSULATED COLLARS. GROUNDING BUSHING SHALL BE LOCKED TYPE WITH THROUGH COMPRESSION
- LUG.

  LIQUID TIGHT, FLEXIBLE STEEL CONDUIT SHALL BE PROVIDED FOR ALL DAMP OR WET LOCATIONS.

  EMBEDDED OR ENCASED CONDUIT SHALL BE SCHEDULE 40, HIGH IMPACT, POLYVINYL

  CHLORIDE(PVC). FITTING FOR PVC CONDUIT SHALL BE SOLVENT WELDED TYPE.

  JUNCTION AND PULL BOXES FOR USE IN OUTDOOR AREAS SHALL BE CAST TYPE. NEMA 3R RATED

  WITH INTEGRALLY CAST THREADED HUBS FOR CONDUIT ENTRY. CONDUIT BODIES SHALL FERROUS

  ALLOY TYPE WITH SCREW FOR FASTENING COVERS.GASKETS SHALL BE MADE OF NEOPRENS.
- INDIVIDUAL CONDUIT SUPPORTS SHALL BE TWO-HOLE GALVANIZED STEEL STRAPS. PLUMBERS TYPE CONDUCTORS, WIRES & CABLES SHALL BE PROVIDED FOR POWER CONTROL, LIGHTING, RECEPTACLES,
- INTRUMENTATION, GROUNDING AND SIGNAL CIRCUITS. THE QUANTITY AND SIZE OF CONDUCTORS SHALL BE AS SPECIFIED. CONDUCTORS FOR LIGHTING AND RECEPTACLE CIRCUITS SHALL BE SIGNAL CONDUCTOR, ANNEALED COPPER WITH 600-VOLT THWN/THHN PVC INSULATION. GROUNDING CONDUCTORS SHALL BE CONCENTRIC STRANDED, ANNEALED BARE COPPER
- O. RECEPTACLES.PLUGS,SWITCHES AND APPURTENANCES SHALL BE PROVIDED AS SPECIFIED ON THE
- 1. LIGHT SWITCHES SHALL BE 20 AMP, ROCKER TYPE, LEVITON, OR EQUAL.
- 12. GROUND RODS SHALL BE COPPER—COVERED STEEL 3/4" DIAMETER,10' LONG.
  13. CIRCUIT BREAKERS SHALL MOLDED—CASE TYPE RATED FOR THE CURRENT RATINGS AND POLE CONFIGURATIONS SPECIFIED ON THE PANEL BOARD SCHEDULE.

- NAMEPLATES SHALL BE MADE FROM LAMINATED PHENOL PLASTIC SHALL 3/4" HIGH BY 2" LONG.NAMEPLATES SHALL HAVE BLACK BACKGROUNDS WITH 3/16" WHITE LETTERS AND SHALL BE FASTENED USING SELF-TAPPING STAINLESS STEEL SCREWS.THE USE OF ADHESIVES WILL NOT BE PERMITTED ON THE OUTSIDE OF ENCLOSURE.
- UNLESS OTHERWISE DETAILED OR DIMENSIONED, ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMATIC.
  THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ELECTRICAL MATERIAL AND EQUIPMENT WITH
  THE WORK SWITCHES, OUTLETS & FIXTURE LOCATIONS SHALL BE CONFIRMED WITH ARCHITECT
- PRIOR TO INSTALLATION.

  THE CONTRACTOR SHALL LIMIT NUMBER OR DIRECTIONAL CHANGES OF CONDUIT FOR A TOTAL OF NOT MORE THAN 270 DEGREES IN ANY RUN BETWEEN PULL BOXES. CONDUIT RUNS SHALL BE LIMITED TO 400' FOR EACH 90 DEGREES CHANGE IN DIRECTION.
  SINGLE CONDUITS SHALL BE SEPARATED FROM AC POWER AND CONTROL CONDUITS. THE MINIMUM
- SEPARATION SHALL BE 12" FOR RIGID STEEL AND 24" FOR PVC CONDUITS.
  EXPOSED CONDUIT SHALL RUN PARALLEL AND PERPENDICULAR TO WALLS, STRUCTURAL MEMBERS.
- NO CONDUIT SHALL APPROACH CLOSER THAN 6" TO ANY OBJECT OPERATING ABOVE 80 DEGRESS
- LIQUID-TIGHT, FLEXIBLE STEEL CONDUIT SHALL BE USED FOR THE FINAL CONNECTION TO EQUIPMENT, DEVICES AND INSTRUMENTS WHERE FLEXIBILITY IS REQUIRED.

  LIGHTS AND RECEPTACLE CIRCUITS SHALL NOT BE IN CONDUIT WITH THE LOW VOLTAGE OR
- SIGNAL/DATA CIRCUITS.
- CONDUITS, WIRING OR MOUNTING OF DEVICES NOT SHOWN ON THE ELECTRICAL OR INSTRUMENTATION DRAWINGS BUT REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM SHALL BE PROVIDED. UNLESS OTHERWISE SPECIFIED, SWITCHES SHALL BE MOUNTED 48" ABOVE FINISH FLOOR, RECEPTACLES
- SHALL BE MOUNTED 15" ABOVE FINISHED FLOOR ELECTRICAL EQUIPMENT AND ENCLOSURES, METAL SURFACES OF EQUIPMENT AND METAL STRUCTURAL MEMBERS SHALL BE GROUNDED. GROUNDING SYSTEMS SHALL BE PROVIDED IN COMPLIANCE WITH
- THE CEC AND AS SPECIFIED ON THE DRAWINGS. 11. GROUNDING CONDUCTORS SHALL BE A SUFFICIENT LENGTH TO REACH THE FINAL CONNECTION POINT
- 12. A SEPARATE GROUND SHALL BE RUN IN EACH POWER CONDUIT. THE CONDUCTOR SHALL BE SIZED IN ACCORDING WITH CEC TABLE 250-95. THE CONDUCTOR SHALL BE BOUNDED TO THE INSIDE OF
- IN ACCORDING WITH CEC TABLE 250-95. THE CONDUCTOR SHALL BE BOUNDED TO THE INSIDE OF THE DEVICE JUNCTION BOX.

  13. THE LOCATION AND TYPE OF FIXTURES AND RECEPTACLES ARE SHOWN ON THE DRAWINGS. RACEWAYS AND WIRE SHALL BE PROVIDED FROM THE FIXTURE, SWITCHES AND RECEPTACLES TO THE LIGHTING PANEL IN ACCORDANCE WITH THE NEC.

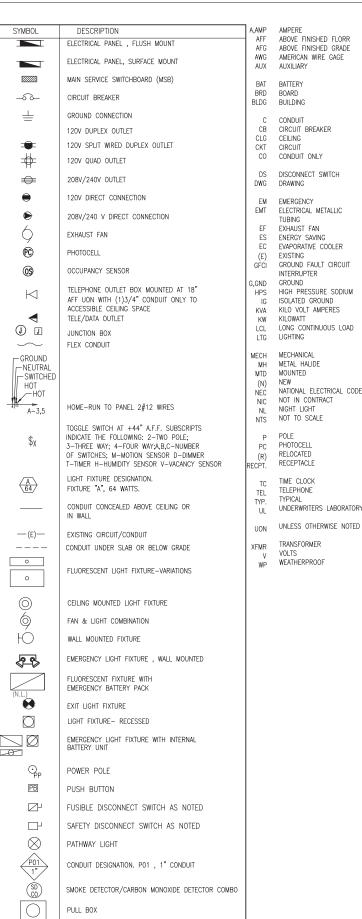
  14. FIXTURES LABELED TO REQUIRED CONDUCTORS WITH A TEMPERATURE RATING EXCEEDING 75 DEGREES C SHALL BE SPLICED TO CIRCUIT CONDUCTORS IN A SEPARATELY MOUNTED JUNCTION BOX. FIXTURE SHALL BE CONNECTED TO JUNCTION BOX USING FLEXIBLE CONDUIT WITH A TEMPERATURE RATING EXCEPTING PARTING COLUMN TO ADD REPARTED THAN THAT OF THE FIXTURE. TEMPERATURE RATING EQUAL TO OR GREATER THAN THAT OF THE FIXTURE.

  15. PHOTOELECTRIC CELLS SHALL BE ORIENTED TOWARD THE NORTH.
- 16. THE CONTRACTOR SHALL TYPE IN THE CIRCUIT DESCRIPTION ON THE CIRCUIT DIRECTORY AS SHOWN ON THE FINAL RECORD DRAWINGS.

## **ELECTRICAL SERVICE NOTES**

- ALL EQUIPMENT SHALL BE FULLY BUSSED AND BRACED FOR THE INTERRUPTING CURRENT PER POWER COMPANY REQUIREMENTS.
- ALL EQUIPMENT SHALL BE U.L. LISTED AND INSTALLED AS PER LISTING AND LABELING.
- CIRCUIT BREAKERS USED AS SWITCHES SHALL BE LISTED FOR SWITCHING DUTY AND MARKED "SWD" PFR C.F.C. 240-83(D)
- ALL CIRCUIT BREAKERS SHALL BE MOLDED CASE THERMAL MAGNETIC AND RATED FOR AVAILABLE SHORT CIRCUIT CURRENT GROUNDING AND GROUND CONTINUITY PER C.E.C. 250.
- SERVICE EQUIPMENT SIZE VARIES WITH MANUFACTURES VERIFY EXACT EQUIPMENT DIMENSION WITH MANUFACTURER.
- ALL CIRCUITS SHALL BE CLEARLY IDENTIFIED AND MARKED ON PANEL BOARD CIRCUIT I.D. TAG.
- 8. ALL FUSE HOLDERS FOR CURRENT LIMITING FUSES SHALL BE REJECTION TYPE

## **ELECTRICAL LEGEND & ABBREVIATIONS**



M

WATT METER

REVISION 5/24/2024 -mail:info@blueberrying Tel: (949)945-9614 www.blueberryeng.com OWNER/CLIENT-CARDEN HALL SCHOOL NEWPORT BEACH. CA 92663 ≥ PROJECT ADDRESS NEWPORT BEACH, e CA 62663 BUILDING MODULAR

blueberry,inc ENGINEERING SERVICES 용 1541 N. MONROVIA ST 24X40 PROJE NEW **≅ SHEET TITLE** FLECTRICAL GENERAL NOTES, LEGEND & ABBREVIATIONS PROJECT NO. 2407862 DATE: 5/24/2024 SCALE: AS SHOWN DRAWING NO. E100

Plotted: Friday, May 24, 2024 1:34 PM

#### SINGLE LINE DIAGRAM GENERAL NOTES:

- 1. INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE
- MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT.
  2. CONTRACTOR TO OBTAIN THE AVAILABLE FAULT CURRENT LETTER FROM THE JUILITY COMPANY
- 3. ALL CONDUCTORS SHALL BE COPPER AND RATED 75°C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2.

  4. ALL NEW CIRCUIT BREAKERS , FUSIBLE SWITCHES IN MAIN
- ALL NEW CIRCUIT BREAKERS , FUSIBLE SWITCHES IN MAIN SWITCHBOARD OR PANEL BOARDS SHALL BE FULLY RATED
- FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
   NO PIPING , DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT PER 110.26 (E) (1) . CONTRACTOR TO MAINTAIN ALL CLEARANCES AS REQUIRED BY 110.269A) –(E) FOR ALL INSTALLATIONS OF THIS PROJECT.
- MAIN SERVICE SHALL NOT BE ENERGIZED PRIOR TO THE BUILDING INSPECTOR'S RECEIPT OF A THIRD PARTY "NRTL" TESTING LABORATORY PERFORMANCE TEST CERTIFICATION FOR THE SERVICE GROUND FAULT PROTECTION 2020 NEC 230.95

#### **GENERAL NOTES:**

- INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT.
   ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
- 3. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
- 4. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND
  LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN
  ACCORDANCE WITH APPROVED LISTING.
  5. PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED
- PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BOARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS.
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
- 7. PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16

#### CONSTRUCTION NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
- 2. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
- 3. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.
- 4. PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS.
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
   PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16
- RNOVIDE ALL ARCE-FLAST DABELINOS AS REQUIRED PER CEC 110.16
   SERVICE EQUIPMENT IN OTHER THAN DWELLING UNITS SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKINGS SHALL INCLUDE THE DATE THE FAULT CURRENT CALCULATION WAS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED. CEC 110.24(A).

#### LISTING NOTE:

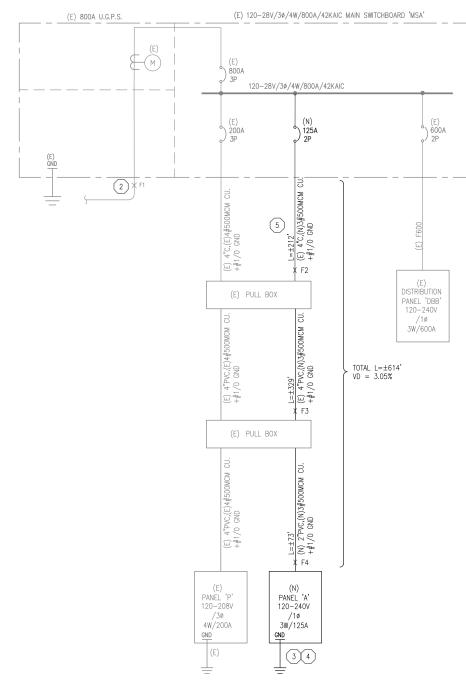
 ALL ELECTRICAL EQUIPMENT SHALL BE UL CERTIFIED. CONTRACTOR TO VERIFY THE EQUIPMENT LISTING. WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.

#### KEYED NOTES

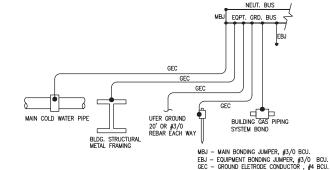
- EXISTING NEMA3R 120-208V/800A/3ø/4W MAIN-METER PANEL. CONTRACTOR TO VERIFY.
- 2 CONTRACTOR TO VERIFY THE AVAILABLE SHORT CIRCUIT CURRENT WITH THE UTILITY COMPANY
- 3 PRIOR TO ENERGIZING THE SYSTEM, CONTRACTOR SHALL PROVIDE GROUND TEST TO MEASURE THE RESISTANCE BETWEEN THE GROUND SYSTEM AND EARTH.
- 4 SEE GROUNDING DETAIL

	FAULT CURRENT CALCULATIONS					
	FAULT	F1	F2	F3	F4	
	LOCATION	SCE	PULL BOX	PULL BOX	PANEL 'A'	
	AFC FROM SOURCE	42000	42000	8677	4289	
_	CONDUCTOR SIZE		500MCM	500MCM	500MCM	
	CONDUCTOR TYPE		COPPER	COPPER	COPPER	
	LENGTH		212'	329'	73'	
	# OF SETS		1	1	1	
	CONDUIT TYPE		RMC	PVC	PVC	
	VOLTAGE		208V	208V	208V	
	CALCULATED FAULT CURRENT	42000	8677	4289	3856	

	SERVICE LOAD CALCULATIONS			
No. LOAD DESCRIPTION				
1 EXISTING PANEL 'DBB'				
2 EXISTING PANEL "P"				
3 NEW PANEL "A"				
	TOTAL KVA =	198.24		
	TOTAL LOAD @ 208V THREE PHASE=	550.28		







#### MAIN SERVICE GROUNDING DETAIL NOTES:

- ALL GROUNDING ELECTRODE CONDUCTORS AND MAIN BONDING JUMPERS SHALL BE BARE COPPER, SIZED IN ACCORDANCE WITH NEC TABLE 250-66 UNLESS NOTED OTHERWISE. BOTH ENDS OF GROUND BUSSES IN MOTOR CONTROL CENTERS, SWITCHBOARDS, SWITCHGEAR, ETC. SHALL BE SEPARATELY CONNECTED TO THE MAIN GROUND BUS TO FORM TWO(2) SEPARATE PATHS TO GROUND. ADDITIONAL GROUND RODS SHALL BE INSTALLED A MINIMUM OF SIX(6) FEET APART AND CONNECTED BY GROUNDING ELECTRODE CONDUCTORS UNTIL THE GROUND RESISTANCE DOES NOT EXCEED TWENTY FIVE(25) OHMS. REFER TO ELECTRICAL SPECIFICATIONS SECTION 16450 FOR ADDITIONAL GROUNDING REQUIREMENTS.
- 2 ELECTRICAL GROUNDING DETAIL

  N.T.S.

NO. REVISION DATE



Diueberry,inc.
ENGINEERING SERVICES
e-mail:info@blueberryinc.com
Tel: (949)945-9614
www.blueberryeng.com



OWNER/CLIENT:
CARDEN HALL SCHOOL
1541 MONROVIA ST.,
NEWPORT BEACH,
CA 92663

PROJECT ADDRESS

1541 N. MONROVIA ST.

NEWPORT BEACH,

CA 62663

PROJECT TITLE
NEW 24X40 MODULAR BUILDING

SHEET TITLE
SELECTRICAL
SINGLE LINE DIAGRAM

PROJECT NO.: 2407862

DATE: 5/24/2024

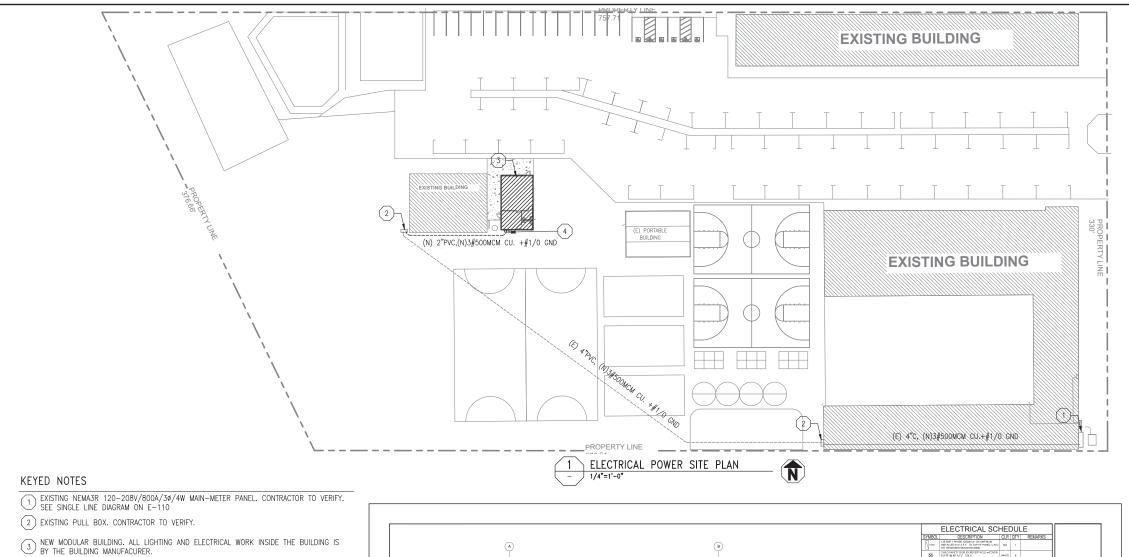
AS SHOWN

DRAWING NO.

SCALE:

E110

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(4) NEW PANEL 'A' TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.

5 NEMA3R FUSED DISCONNECT SWITCH FOR OUTDOOR CONDENSER UNIT. SEE MECHANICAL PLANS

6 RECEPTACLE FOR LAUNDRY

#### ELECTRICAL POWER NOTES:

ELECTRICAL CONTRACTOR SHALL FOLLOW ALL SAFETY, NEC AND LOCAL CODES.

NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED

TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.

PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR SWITCHBOARDS, PANEL BOARDS AND OTHER ELECTRICAL EQUIPMENT.

ALL EQUIPMENT SHALL BE U.L. LISTED.

CONTRACTOR TO PROVIDE ALL HARDWARE , BRACKETS, LAMPS , TUBES, ETC.. FOR A COMPLETE INSTALLATION.

ALL CONDUITS/ RACEWAYS TO BE E.M.T., MC-CABLE OR METAL FLEX.

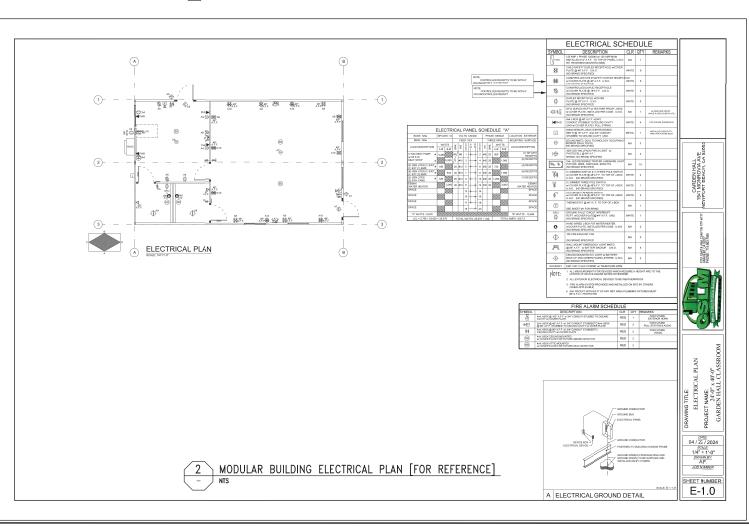
ALL CONDUCTORS SHALL BE COPPER AND RATED 90°C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2.

#### CONSTRUCTION NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS
- IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
- 3. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.

#### LISTING NOTE:

ALL NEW ELECTRICAL EQUIPMENT SHALL BE UL CERTIFIED. CONTRACTOR TO VERIFY THE EQUIPMENT LISTING WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.





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THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC., WHICH HAVE JURISDICTION OVER THIS WORK, BELOW IS A LIST OF MAJOR STANDARDS LISTED FOR CONVENIENCE ONLY. REFERENCE TO A STANDARD MEANS, THE LATEST EDITION OF SUCH STANDARD AT DATE OF BUILDING PERMIT. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES NOT LISTED HEREIN

CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FLECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE (TITLE 24, PART 6) 2022

#### CONSTRUCTION NOTES:

- HOT WATER AND DRAIN PIPES EXPOSED UNDER SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING.
- PINCHING, OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT BE GREATER THAN 5 LB. FT.
- NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 5.303.2 HOT WATER PIPING SHALL BE INSULATED AS PER CPC 609.11 AND CAL ENERGY CODE TABLE 120.3—A.
- NO VENTING SYSTEM SHALL TERMINATE LESS THAN 3FEET ABOVE ANY FORCED AIR INLET LOCATED WITHIN 10 FEET OR LESS THAN 4 FEET
- FROM ANY PROPERTY LINE EXCEPT A PUBLIC WAY NO VENT FROM INDIRECT WASTE PIPING SHALL BE COMBINED WITH ANY SEWER CONNECTED VENT BUT SHALL EXTEND SEPARATELY TO THE
- STEAM AND/OR HOT WATER DRAINAGE REQUIRES AN INDIRECT WASTE LINE
- EACH PLUMBING FIXTURE SHALL BE SEPARATELY TRAPPED BY AN APPROVED TYPE WATER SEAL TRAP.
- BUILDING SEWER SHALL BE TESTED TO COMPLY WITH CPC 732.0

#### PLUMBING SPECIFICATION:

PROVIDE CLEANOUTS WITH BRASS SCREW PLUG AT ALL CHANGES OF DIRECTION TO PERMIT ROUTING OF ALL SEWERS. ALL CLEAN OUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS OF EQUIPMENT, CABINETS, ETC., WITH THE ARCHITECT PRIOR TO ANY INSTALLATION. VAI VFS

EVERY PLUMBING FIXTURE SHALL BE INDEPENDENTLY VALVED.

ALL SEWERS AND WATER PIPING SHALL BE PROPERLY TESTED TO THE SATISFACTION OF THE ARCHITECT AND THE LOCAL BUILDING

EXCAVATION AND BACK FILLING

TRENCHES SHALL BE BACK FILLED AND SETTLED BY PUDDLING. NO PIPE SHALLBE LESS THAN 12" BELOW FINISH GRADE.

ALL PIPING TO BE SUPPORTED WITH HANGERS AND BRACKETS WHICH PROVIDE ISOLATION FROM FRAMING. CONTACT BETWEEN PIPE AND SUPPORT TO BE LINED WITH PLASTIC OR FELT.

WATER HEATER INSTALLATION A. APPLIANCES IN GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. AND ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT SHALL BE INSTALLED SO THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR RESISTANT.

B. APPLIANCES INSTALLED IN GARAGES, WAREHOUSES, OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE GUARDED AGAINST SUCH DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES

#### ENERGY CONSERVATION STANDARDS:

DOMESTIC HOT WATER SHALL BE INSULATED. HOT WATER PIPING WILL HAVE A MINIMUM INSULATION FOR THE FOLLOWING PIPE SIZES:

PIPE SIZE IN DIAMETER INSULATION THICKNESS 1/2" 1/2" 3/4" 1"~1-1/2" 1-1/2" 2" OR GREATER

TIME CLOCKS TO BE INSTALLED TO CONTROL ANY HOT WATER CIRCULATING PUMPS.

SINKS AND LAVATORY FAUCETS AND SHOWER HEADS TO BE CERTIFIED BY STATE FOR

ENERGY APPLIANCE STANDARD COMPLIANCE. MAXIMUM FLUSH VOLUMES AND FLOW RATES

WATER CLOSETS: 1.0 GALLONS PER FLUSH(BLOWOUT TYPE EXEMPT)
1.0 GALLON PER MINUTE @ 60PSI

LAVATORY: 1.8 GALLON PER MINUTE @ 60PSI SHOWER KITCHEN FAUCETS: 1.8 GALLON PER MINUTE @ 60 PS

#### CA GREEN BUILDING NOTES:

5.303.2 PLUMBING FIXTURES SHALL MEET THE MAXIMUM FLOW RATE

VALUES SHOWN IN TABLE 5.303.2.3.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL

.303.3.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S.EPA WATER SENSE SPECIFICATION FOR

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

5.303.6 PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE

#### PLUMBING LEGEND & ABBREVIATIONS

PLUMBING	LEGEND	& ARRENIATION2
SYMBOL	ABBREVIATION	DESCRIPTION
	ABC ABV	ABOVE CEILING ABOVE
	AD	ACCESS DOOR
	AFF AFG	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE
	BF	BELOW FLOOR
<b>⋈</b>	BG BV	BELOW GRADE BALL VALVE
<u> </u>	υv	BRANCH - BOTTOM CONNECTION
		BRANCH — SIDE CONNECTION BRANCH — TOP CONNECTION
KN	CBV	CALIBRATED BALANCE VALVE
	CD, D	CAP ON END OF PIPE CONDENSATE DRAIN
Ň	CKV	CHECK VALVE
	CLG CLR	CEILING CLEAR
⊩ Φ−	CO	CLEANOUT
	CONN	CONNECT OR CONNECTION CONTINUATION
	CONTR	CONTRACTOR
	CP CW	CIRCULATING PUMP COLD WATER PIPING
F	DEG	DEGREES (FAHRENHEIT)
	DIA DN	DIAMETER DOWN
	(E), EXIST	EXISTING
× × ×	EWH	EXISTING TO BE REMOVED ELECTRIC WATER HEATER
	FA, FB	FROM ABOVE, FROM BELOW
•	FC FD	FLEXIBLE CONNECTION FLOOR DRAIN
$^{\circ}$	FS	FLOOR SINK
	FU FV, FT	FIXTURE UNIT FLUSH VALVE, FLUSH TANK
— GAS ——	G	LOW PRESSURE (7" W.C.) GAS PIPING
	GA GPM	GAUGE GALLONS PER MINUTE
	GD	GARBAGE DISPOSAL
$\bowtie$	GV GWH	GATE VALVE GAS WATER HEATER
<u></u>	HB	HOSE BIBB
	HW HW	HOT WATER PIPING HOT WATER PIPING WITH HEAT TRACE TAPE
	HWR IE	HOT WATER RETURN PIPING INVERT ELEVATION
	KW	KILOWATTS
₩	LBS LPC	POUNDS LUBRICATED PLUG COCK
	MAX	MAXIMUM
— MPG —	MPG MFR.	MEDIUM PRESSURE (5 PSI) GAS PIPING MANUFACTURER
	MIN	MINIMUM
OF	(N) OF	NEW OVERFLOW, OVERFLOW PIPING
- Or -	OH	OVERHEAD
02	02 P0C	OXYGEN, OXYGEN PIPING POINT OF CONNECTION
	PRV	PRESSURE REDUCING VALVE
	PSI (G) (A) RE	POUNDS PER SQUARE INCH (GAUGE) (ABSOLUTE) RIM ELEVATION
<b>──</b>	R, D	RISE OR DROP
	RD	ROOF DRAIN RISER DOWN (ELBOW)
<u> </u>		RISER UP (ELBOW)
	RV OR P&TRV SD	RELIEF VALVE OR PRESSURE & TEMPERATURE RELIEF VALVE STORM DRAIN, STORM DRAIN PIPING
30	SQIN, FT	SQUARE FEET
	SQIN, IN TA, TB	SQUARE INCHES TO ABOVE, TO BELOW
	TP	TRAP PRIMER
	TYP UG	TYPICAL UNDERGROUND
	UON	UNLESS OTHERWISE NOTED
	VB V	VALVE BOX VENT PIPING
	V, VR, VTR	VENT, VENT RISER, VENT THRU ROOF
<u> </u>	WCO W	WALL CLEANOUT WASTE OR SANITARY SEWER
	(E) W	EXISTING WASTE PIPING
	WC W.C.	WATER CLOSET WATER COLUMN
	W/ AD	WITH ACCESS DOOR
NOTE: ALL CYM	DOLC MAY NOT DE	WEIGHT

NOTE: ALL SYMBOLS MAY NOT BE USED

#### PLUMBING GENERAL NOTES

- SHOULD A CONFLICT OCCUR BETWEEN OR WITH THE SPECIFICATIONS AND/OR DRAWINGS, CODES, STANDARDS, REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS, THE MORE COMPLETE AND/OR RESTRICTIVE CONDITION SHALL HAVE PRECEDENCE. AS DETERMINED BY THE CONTRACTING OFFICER
- THE DRAWINGS PRESENTS THE FINISHED PROJECT UNLESS OTHERWISE NOTED. THEY DON'T INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS. METHODS, TECHNIQUES, AND SEQUENCES.
- ALL DIMENSIONS, EXISTING JOB SITE CONDITIONS, AND SERVICE REQUIREMENTS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE THE START OF CONSTRUCTION AND/OR FABRICATION OF MATERIALS. IF DISCREPANCIES ARE ENCOUNTERED, THE ENGINEER SHALL BE
- 4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CALIFORNIA LOCAL CODES APPLYING TO THE PROPOSED CONSTRUCTION.

#### FIXTURES:

- ALL FIXTURES SHALL BE MADE IN ACCORDANCE WITH THE CPC 2022 CH.4 AND ALL APPLICABLE SECTIONS OF THE CPC 2022.
- ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC 2022, CH.4 WITH REGARD TO WORKMANSHIP, ALIGNMENT AND TESTING
- 3. FIXTURES SHALL BE CERTIFIED FOR THE FOLLOWING FLOW RATES:
- a. WATER CLOSET MAX = 1.0 GP
- b. LAVATORY FAUCETS MAX = 1.0 GPM
- SHOWER HEADS
- c. SHOWER HEADS MAX = 1.8 GPM
  FIXTURE CONNECTIONS TO THE DRAINAGE SYSTEM SHALL BE THROUGH AN APPROVED WET SEAL TRAP AS PER CPC,CH7 & CH.10
- FAUCET AND VALVE OPENINGS SHALL HAVE A MINIMUM AIR GAP AS PER CPC , CH 6 & 2X THE DIAMETER MIN. 1" FROM THE POTABLE WATER OUTLET TO THE FLOOD LEVEL RIM OF THE FIXTURE SERVED
- ALL STORAGE TANK WATER HEATERS SHALL INSTALLED AS PER CPC CH 5
- ALL FIXTURES WILL BE PROVIDED WITH INDIVIDUAL SHUT-OFF VALVES

#### MATERIALS:

- ALL MATERIALS SHALL BE APPROVED FOR THE USE AND SYSTEM INTENDED, AND SHALL BE NEW AND IN GOOD CONDITION, FREE FROM DEFECT
- ALL MATERIALS SHALL BE INSTALLED , PROTECTED , AND SUPPORTED AS PER CPC 2022
- COPPER TUBING MAY NOT BE INSTALLED ON A MANNER THAT ALLOWS IT TO BE IN CONTACT WITH OTHER METAL PIPING, CONDUIT OR METAL FRAMING MEMBERS
- ABS, COPPER TUBING AND STEEL PIPE MUST BE WRAPPED WHERE THEY PASS THROUGH CONCRETE AND/OR MASONRY BUILDING COMPONENTS.
- WATER PIPING MATERIAL WITHIN BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE PEX.CPVC AND OTHER PLASTIC WATER PIPING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC.604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT

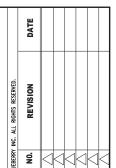
#### DRAINAGE.WASTE AND VENT(DMV):

- ALL DRAINAGE LINES TO BE SLOPED MINIMUM OF 2%, 1/4" PER FOOT
- CLEANOUTS TO BE INSTALLED ACCORDING TO CPC , CH.7
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING LINES BEFORE STARTING TRENCHING. SHOULD IT BE NECESSARY TO RE-ROUTE LINES DUE TO CONDITIONS FOUND ON SITE.
- CHANGES OF DIRECTION OF DRAINAGE PIPE WILL BE MADE USE OF APPROVED FITTINGS AS PER CPC. CH7 SECTION 706.0
- VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR 3'-0" ABOVE ANY OPENING WINDOW, DOOR ,AIR INTAKE OR VENTILATION
- ACROSS-SECTIONAL AREA OF THE VENT(S) MUST EQUAL THE CROSS-SECTIONAL AREA OF THE BUILDING DRAIN AS PER CPC, CH.9 SECTION 904.0
- METER PROTECTION SHALL BE INSTALLED PER CITY STANDARD. (THIS DEVICE IS A LEAD-FREE REDUCE PRESSURE PRINCIPLE DEVICE-RPPD)
- 8. LANDSCAPE IRRIGATION DEVICE SHALL BE INSTALLED PER CITY STANDARD (THIS DEVICE IS A REDUCE PRESSURE PRINCIPLE DEVIDCE-RPPD)
- A REDUCE PRÉSSURE PRINCIPLE DEVICE SHALL BE INSTALLED PER CITY STANDARD(THIS DEVICE SHALL BE LOCATED ON THE INLET SIDE OF THE CARBONATOR MACHINE)
- 10. AN ABOVE GROUND DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) PER CITY STANDARD SHALL BE INSTALLED( THIS DEVICE IS A FIRE
- 11. 12-ALL DEVICES SHALL BE TESTED BY A CERTIFIED BACK-FLOW TESTER.

- ALL GAS APPLIANCES SHALL BE PROVIDED WITH AN APPROVED SHUT OF VALVE
- APPLIANCE CONNECTORS SHALL BE OF AN APPROVED SIZE AND LENGTH ACCORDING CPC 2022, CH.12
- ALL GAS PIPING SHALL BE SUPPORTED AS PER CPC 2022.CH.3

- ADDITIONAL NOTES:

  1. ALL WORK TO COMPLY WITH 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA BUILDING CODE, AND 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- LEAD FREE COMPLIANCE REQUIRED EFFECTIVE JANUARY 1,2010 PER CALIFORNIA HEALTH & SAFETY CODE SEC. 116875
- ALL FIXTURES IN HANDICAP RESTROOMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA HANDICAP CODE AND LOCAL HANDICAP CODES HAVING JURISDICTION.
  ALL SERVICE WATER HEATING EQUIPMENT TO BE IN COMPLIANCE WITH THE MODEL ENERGY CODE REQUIREMENTS AND LABELED.
- WATER CLOSETS REQUIRED TO HAVE ELONGATED BOWLS WITH OPEN FRONT SEATS.
- ALL HOSE BIBS ARE TO BE PROVIDED WITH A BACK-FLOW/ ANTI-SIPHON VALVE.
- WATER HEATER CLEARANCES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTION.
- NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHOD SET IN SEC. 609.9 OF CALIFORNIA PLUMBING CODE.
- HOT WATER PIPING SHALL BE INSULATED AS PER CPC 609.11 AND CAL ENERGY CODE TABLE 120.3-A.
- 10. SANITARY WASTE VENTS SHALL RISE VERTICALLY TO A POINT NOT LESS THEN SIX(6) INCHES IN HEIGHT ABOVE THE FLOOR LEVEL RIM OF THE FIXTURE BEFORE BEING CONNECTED TO ANY OTHER VENT.
- DRAINAGE PIPING SERVING FIXTURE WHICH HAVE FLOODWATER RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACK-FLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. TRAP SEAL PROTECTION REQUIRED FOR ALL FLOOR SINKS AND FLOOR DRAINS.
- INDIRECT WASTES LONGER THAN FIVE (5) FEET MUST BE TRAPPED, AND IT LONGER THAN FIFTEEN (15) FEET MUST BE TRAPPED AND VENTED INDIRECT WASTES FROM FOOD SERVICE EQUIPMENT MUST DISCHARGE TO RECEPTOR WITH A MINIMUM AIR-GAP OF ONE (1)
- 14. PRIMARY CONDENSATE PIPING TO TERMINATE AT TAILPIECE OF LAVATORY/SINK IN THE UNIT IT SERVES, FLOOR SINK OR DEDICATED ROOF TOP RECEPTOR
- ROOF DRAINS, OVERFLOW DRAINS, AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE
- WITH THE PROVISIONS OF THE 2022 CPC FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
  ROOF DRAINS AND OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- TESTING PROCEDURE OF GAS SYSTEMS SHOULD BE PERFORMED AS PER SEC. 1214.0 OF THE CALIFORNIA PLUMBING CODE. THE PREMISE OWNER OR RESPONSIBLE PERSON IS RESPONSIBLE TO COORDINATE WITH GAS COMPANY FOR NEW GAS DEMAND. METER
- LOCATION AND TYPE OR PRESSURE AVAILABLE. COORDINATE WITH TENANT FOR PRESSURE REQUIRED AT EACH APPLIANCE. THE PREMISE OWNER OR RESPONSIBLE PERSON SHALL COORDINATE WITH CITY OF CORONA WATER DISTRICT FOR NEW WATER
- DEMAND, METER LOCATION AND TYPE OF PRESSURE AVAILABLE.







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PROJECT ADDRESS 뒩 1541 N. MONROVIA ST NEWPORT BEACH. CA 62663

BUIL MODULAR **∄** ♀ PROJECT TITI NEW 24X4

SHEET TITLE PLUMBING GENERAL NOTES, LEGEND &

PROJECT NO.: 2407862

ABBREVIATIONS

DATE: 5/24/2024

SCALE: AS SHOWN g DRAWING NO.

Plotted: Friday, May 24, 2024 1:36 PM

DRAINAGE WASTE & VENT SYSTEM SIZING SYSTEM										
			DFUs CONNEC	TED (D	FU VALUES FROM TABLE 702.1,	2022 CPC	)			
	CODE REFERENCES SANITARY WASTE FIXTURE SUMMARY									
	TABLE 703.2, 202	2 CPC DRAINAGE PIPING		TAG	EQUIPMENT	DFUs	QTY.	TOTAL	MIN. TRAP AND TRAP ARM	REMARKS
WASTE PIPE SIZE	MAX .DFU VERTICAL	MAX. DFU HORIZONTAL	MAX. VERTICAL LENGTH	FD	(E) FLOOR DRAIN	2	5	10	2"	
1-1/4"	1	1	45	SK	(E) LAVATORY	1	23	23	2"	
1-1/2"	2	1	65	MS	(N) LAVATORY	1	2	2	2"	
2"	16	8	85	SR	(E) WATER CLOSET	4	25	100	3"	
3"	48	35	212	LV	(N) WATER CLOSET	4	2	8	3"	
4"	256	216	300	WC	(E) URINAL	2	11	22	2"	
5"	600	428	390	UR	(E) DRINKING FOUNTAIN	1	1	1	2"	
6"	1380	720	510	DF						
8"	3600	2640	750	-						
10"	5600	4600	-	-						
12"	8400	8200	-	-						
	TABLE 703.2, 2	022 CPC VENT PIPING	'	-						
VENT PIPE SIZE	MAX. DFU VERTICAL	MAX. DFU HORIZONTAL	MAX. VERTICAL LENGTH	-						
1-1/4"	1	1	45	-						
1-1/2"	8	8	60	-						
2"	24	24	120	-						
3"	84	84	212	-						
4"	256	256	300	-						
5"	600	600	390	-						
6"	1380	1380	510	-						
8"	3600	3600	750		TOTAL DFUs	-	-	166		
	MINIMUM WASTE LINE SIZE= 6".									

NOTES:

1. CONTRACTOR TO VERIFY AND KEEP 10' CLEARANCE BETWEEN THE VTR AND ANY AIR INTAKE TO THE BUILDING.

2. MATERIALS: BELOW GRADE & ABOVE GRADE SCH.40 ABS PIPE AND FITTING

# WATER SUPPLY AND DISTRIBUTION For SI units: 1 inch = 25 mm, 1 foot = 304.8 mm, 1 pound-force per square inch = 6.8945 kPa Notes: Available static pressure after head loss. Building supply, not less than ¾ of an inch (20 mm) nominal size.

Flow Characteristics	♦ Rated Flow (established by approval agencies)
MODEL 975XL2 3/4", 1", 1 1/	/4", 1 1/2" & 2" (STANDARD & METRIC)
	OW RATES (I/s)
1.26 2.52 3.8 5.0 SSC 15 10 10 10 10 10 10 10 10 10 10 10 10 10	3.2 6.3 9.5 12.6 15.8 @ 137 35 12.6 15.8 12.6 15.8 137 35 12.6 15.8 12.6 12.6 12.6 12.6 12.6 12.6 12.6 12.6
5 0 20 40 60 80	5 0 50 <b>93</b> 100 150 200 250
FLO	W RATES (GPM)

						SYSTEM SIZI					
						IA ST., NEWPORT					
WATE	R INFO.:	MAX PRESS	SURE:	95		MIN PRESSURE:	80	PSI	0		FT A.S.L
G	IVEN BY:		-		DATE:				R SIZE:	2	INCH
	209.5	F.U.	93.0	GPM		DEVELOPED				0.00	FT
						% OF DEVELOPED			125		FT
		EQUALENT	DEVE			( DEVELOPED LEN		25%)	625	5.00	FT
					ATER CL	OSETS AND URINA	LS				
	TAG	W/TANK	W/F VA	LUSH		MAKE			M	ODEL	
	WC	X			AN	MERICAN STANDARD	)	1.	O GPF A	DA COM	PLIANT
						M COMPONENTS					
	PIPING	MATERIALS:	SEE	PIPE S	PECIFICA	TIONS TABLE					
PF	RESSURE	REDUCED B	.F.	2.00				KINS	MO	DEL	975XL2
						LIC CALCULATIONS	i				
Α						E AT CITY MAIN				80	PSI
В						SSURE REDUCE VA				80	PSI
С		PRE:	SSURE	LOSS	THROUG	H	2.00	INCH	METER	1	PSI
D											PSI
E	PRESSI	JRE LOSS T	HRU	2.00	INCH	B.FL	OW PR	E.		13	PSI
F				OTHER	PRESSI	JRE LOSSES				0	PSI
G		PRESS	SURE I	_OSS D	UE TO E	ELEVATION		20.0	FTx.43	8.60	PSI
Н				RES	SIDUAL P	RESSURE				25.00	PSI
1				TOTAL	PRESSU	JRE LOSSES				47.60	PSI
J		PRESSURE	E AVAI	LABLE	FOR FRI	CTION LOSS IN TH	IE SYS	TEM		32.40	PSI
K	PRESSU	JRE/100FT		J	/(EQUAL	ENT LENGTH x10	0)		5.18	PSI/	/100FT
		IXTURE UNI					PIPE	SIZE S	CHEDULI	Ε	
FI	KTURE UN	III IYPE	F.U.	QTY.	TOTAL	PIPE MATERIAL:SE					
KIT	CHEN SIN	IK W/DW	1.5	0	0.0		Р	RESS.	LOSS =	5.18	PSI/100
	LAUNDRY	SINK	1.5	0	0.0				ALLOW	VABLE F.	U.
	HAND S	SINK	2.0	0	0.0			F	LUSH TA	NK	F. VLV.

FIXTURE UNIT TYPE				PIPE SIZE SCHEDULE				
FIXTURE UNIT TYPE	F.U.	QTY.	TOTAL	PIPE MATERIAL:SEE PIPI	E SPECIFICATION	NS TABLE		
KITCHEN SINK W/DW	1.5	0	0.0	Р	RESS. LOSS =	5.18	PSI/100'	
LAUNDRY SINK	1.5	0	0.0		ALLOV	VABLE F.U	J.	
HAND SINK	2.0	0	0.0		FLUSH TA	ANK	F. VLV.	
MOP SINK	3.0	0	0.0	PIPE SIZE	HOT	COLD	COLD	
CLOTHES WASHER	4.0	0	0.0	PIPE SIZE	5FT/S	8FT/S	8FT/S	
EXISTING LAVATORIES	1.0	23	23.0	1/2"	3	3	0	
NEW LAVATORIES	1.0	2	2.0	3/4"	7	7	0	
BATHTUB 3/4" FILL	10.0	0	0.0	1"	16	18	0	
SHOWERS	2.0	0	0.0	1-1/4"	28	36	0	
NEW TANK WC	2.5	2	5.0	1-1/2"	46	69	21	
(E) WC W/FLUSHOMETER	5.0	25	125.0	2"	119	254	132	
(E) URINAL W/F.METER	4.0	11	44.0	2-1/2"				
FIRST HOSE BIBB	2.5	1	2.5	3"				
ADDITIONAL HOSE BIBBs	1.0	4	4.0	3-1/2"				
DRINKING FOUNTAIN	1.0	4	4.0	4"				
TOTAL FI	XTURE	UNITS	209.5	FU =	93.0 GPM			
				FU =	0.0 GPM			
	TOTAL	FLOW	209.5	FU =	93.0 GPM			

NOTES:

1. WATER PRESSURE TO ALL FIXTURES AND EQUIPMENT SHALL BE IN COMPLIANCE AS PER SECTION 608.1 CPC 2022.

2. THESE WATER CALCULATIONS ARE BASED ON THE SPECIFIED FIXTURES IN THIS PROJECT AS NOTED ABOVE WITH THE PRESSURE LOSS AS PROVIDED BY THE MANUFACTURER.

PIPE SPECIFICATION							
APPLICATION	UNDER GROUND	ABOVE GROUND					
WATER	TYPE 'K' SOFT COPPER BELOW FLOOR OR GRADE. ASTM B 88 & NSF 61 STANDARDS	TYPE 'L' HARD DRAWN COPPER TUBING WITH WROUGHT SOLDER JOINT FITTINGS ABOVE FLOOR OR GRADE. ASTM B 88 & NSF 61 STANDARDS					
CONDENSATE DRAINS	SCHEDULE 40 DWV PVC PIPE	SCHEDULE 40 DWV PVC PIPE					
SANITARY SEWER	ABS DWV SCHEDULE 40 PIPE	ABS DWV SCHEDULE 40 PIPE					
DIDE CDEOIEIOATIONIC MOTE	1	1					

PIPE SPECIFICATIONS NOTE:
ALL PIPE AND FITTINGS TO BE PRODUCED BY A SINGLE MANUFACTURER AND TO BE INSTALLED IN ACCORDANCE WITH
MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. TESTING WITH COMPRESSED AIR OR GAS MAY
RESULT IN INJURY OR DEATH. SOLVENT CEMENT SHALL CONFORM TO ASTM D 2235. THE SYSTEM TO BE MANUFACTURED
BY CHARLOTTE PIPE AND FOUNDRY CO. AND IS INTENDED FOR NON—PRESSURE DRAINAGE APPLICATIONS WHERE THE
TEMPERATURE WILL NOT EXCEED 160°F.



blueberry,inc ENGINEERING SERVICES Tel: (949)945-9614 www.blueberryeng.com



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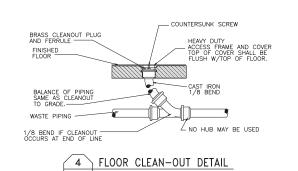
> BUILDING PROJECT TITLE NEW 24X40 MODULAR

SHEET TITLE PLUMBING CALCULATIONS

> PROJECT NO.: 2407862 DATE: 5/24/2024

SCALE: AS SHOWN DRAWING NO.

P110



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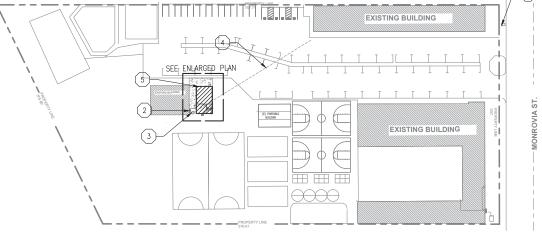
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 $\bigcirc$ A

PLUMBING PLAN

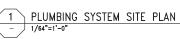
WASTE & VENT SCHEMATIC

2 - ·



**KEYED NOTES:** 

- EXISTING 2" WATER METER & 2" PIPE TO THE BUILDING . CONTRACTOR TO VERIFY.
- EXISTING 2" PRESSURE REDUCED BACK FLOW VALVE
- 3 EXISTING SEWER PUMP PIT. CONTRACTOR TO VERIFY.
- 4 EXISTING 6" SEWER LINE. CONTRACTOR TO VERIFY.
- 5 NEW PRE-FABRICATED BUILDING. SEE 3/P120
- 6 ALL PLUMBING FIXTURES INSIDE ... BY THE BUILDING MANUFACTURER. ALL PLUMBING FIXTURES INSIDE THE BUILDING ARE
- 7) SEE INSTALLATION DETAIL 4/P120
- 8 EXISTING 2" WATER LINE. CONTRACTOR TO VERIFY.
- 9 FOR CONTINUATION, SEE 3/P120



PLUMBING SCHEDULE DESCRIPTION DOR MINTO ELONGATED BOWL FOR THE HANDICAN

| 39" MAX | 37" MAX | 50E APPROACH |

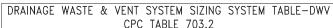
PLUMBING ACCESSORIES

A FIXTURE MOUNTING HEIGHTS

BRAND: PROFLO ADA PF9403 (1.28 GPF) OR EQUAL FLOOR MOUNTED CHILD SIZE WATER CLOSET W'STD TANK 10" A.F.F. TO TOP OF BOWL



2 PLUMBING SYSTEM ENLARGED PLAN



CFC TABLE 703.2							
		MATERIALS: BELOW GRADE & A	.40 ABS P	IPE AND FITTING			
	TAG	SANITARY SEWER FIXTURE	COUNT	D.F.U.	T.D.F.U.	BRANCH WASTE SIZE	VENT SIZE
	WC	VC WATER CLOSET		4.0	8.0	3"	3"
	LV LAVATORY		2	1.0	2.0	2"	2"
		TOTAL WASTE	3" WASTE				

UNDERGROUND SERVICE ALERT CALL: TOLL FREE TWO WORKING DAYS

	01 0					
	MATERIALS: BELOW GRADE & A	.40 ABS P	IPE AND FITTING			
TAG	SANITARY SEWER FIXTURE	COUNT D.F.U.		T.D.F.U.	BRANCH WASTE SIZE	VENT SIZE
WC	WATER CLOSET		4.0	8.0	3"	3"
LV LAVATORY		2	1.0	2.0	2"	2"
	TOTAL WASTE	3" WASTE LINE				

04 / 22 / 2024

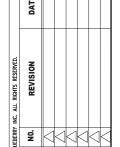
JOB NUMBER

SHEET NUMBER

P-1.0

CONTRACTOR TO VERIFY AND KEEP 10' CLEARANCE BETWEEN THE VTR AND ANY AIR INTAKE











OWNER/CLIENT: CARDEN HALL SCHOOL 1541 MONROVIA ST., NEWPORT BEACH, CA 92663

≥ PROJECT ADDRESS 묤 1541 N. MONROVIA ST., NEWPORT BEACH,

BUILDING MODULAR PROJECT TITLE NEW 24X40 |

SHEET TITLE PLUMBING CALCULATIONS & SCHEDULES

PROJECT NO.: 2407862 DATE: 5/24/2024

SCALE: AS SHOWN DRAWING NO.

P120

COLD & HOT SCHEMATIC

3 PRE-FABRICTED BUILDING PLUMBING PLAN [FOR REFERENCE]

#### **GENERAL NOTES**

- ALL CONSTRUCTION, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE PROVISIONS OF THE EQUE EDITION OF THE "CALIFORNIA BUILDING CODE" (CBG) WITH THE GOVERNING AGENCY AMENIMENTS, AND STANDARDS REFERENCED THEREIN. WHERE EVER CODE OR ALIFORNIA BUILDING CODE (CBC) IS REFERENCED IN THE FOLLOWING GENERAL NOTES OR OTHER NOTE SECTIONS, IT SHALL IMPLY THE GBC
- ALL ASTM STANDARDS LISTED HEREIN, SHALL BE CURRENT AND COMPLIANT TO 2022
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS 3. BEFORE STARTING WORK. THE DESIGNER AND STRUCTURAL ENGINEER SHALL IMMEDIATELY BE NOTIFIED. IN WRITING, OF ANY DISCREPANCIES.
- 4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE FIELD INSPECTOR, AND A SOLUTION GIVEN BY, THE DESIGNER AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR
- 5. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS.

  TAKE PRECEDENCE OVER THE "GENERAL NOTES" ANDIOR "STANDARD DETAILS".

  TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE.
- 7- WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THESE STRUCTURAL DRAWINGS.
- 8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION SHORING AND BRACING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SHALL NOT BE PLACED IN SLABS, BEAMS, GIRDERS, COLUMNS, WALLS, FOUNDATIONS, ETC., NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS, (IF ANY PIPES, DUCTS, ETC., DO OCCUR, THAT ARE NOT SHOWN ON THESE STRUCTURAL DRAWINGS, THE DESIGNER AND STRUCTURAL ENGINEER SHALL BE NOTIFIED.) SEE PARAGRAPH 4, ABOVE.
- ANCHOR BOLTS OR INSERTS FOR EQUIPMENT ANCHORAGE OR INSTALLATION SHALL BE DESIGNED FOR SEISMIC CATEGORY D BY A CIVIL ENGINEER OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SHALL BE SHOWN ON THE MECHANICAL OR ELECTRICAL SHOP DRAWINGS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE 

  CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING 
  SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY 
  CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR 
  SHALL DEFEND, INDENNIFY, AND HOLD THE STRUCTURAL ENGINEER REE AND HARMLESS FROM ALL CLAIMS. DEMANDS AND ALL LIABIBLITY, REAL OR ALLEGED, IN LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE STRUCTURAL ENGINEER.

IF ANY SUBSTITUTION IS PROPOSED BY THE CONTRACTOR, NEW CALCULATIONS MA HAVE TO BE PREPARED, THE DETAILS MAY HAVE TO BE ALTERED, AND NEW DRAWINGS MAY HAVE TO BE SUBMITSED TO THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL SUBSTITUTIONS THROUGH THE APPROPRIATE OFFICE OF ALL GOVERNING AGENCIES

#### **WOOD NOTES**

1 SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR-LARCH (U.N.O.), CONFORM TO THE "CALIFORNIA BUILDING CODE" (CBC) SEC. 2303, AND NDS 2018 AND SHALL BE GRADE MARKED BY AN ACCREDITATION BODY THAT COMPLIES WITH DOC PS 20 OR EQUIVALENT

VOOD GIVADES, S.IV.S., STIALE BE AS I SEESTIS.	
MEMBERS	GRA
WALLS 2 X 4 (8'-0")	CONSTR
WALLS 2 X 4 (8'-1" TO 12'-0")	#2
WALLS 2 X 6 (12'-0" to 16'-0")	#2
STRUCTURAL JOISTS AND PLANKS (2x)	#2
BEAMS (4x)	#2
BEAMS (6x) AND STRINGERS	#1
POSTS AND TIMBERS	#1
TOP PLATE	MATCH

- ALL WOOD THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH, ALL WOOD ATTACHED DIRECTLY TO INTERIOR OR EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE, AND ALL WOOD SLEEPERS AND SILLS ON CONCRETE THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE PRESERVATIVE-TREATED DOUGLAS FIR.
- ALL SILLS OR PLATES BEARING ON CONCRETE OR MASONRY SHALL HAVE ANCHOR BOLTS:
- L EMBEDDED AT LEAST 7" INTO CONCRETE OR MASONRY.
  3. SPACED NOT MORE THAN 6" APART.
  5. PLACED A MIN. OF 4" AND A MAX. OF 12" FROM EACH END. A MINIMUM OF
  1. TWO BOLTS PER PIECE.

5. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE "CALIFORNIA BUILDING CODE" (SEC) SEC. 2303, AND SHALL CONFORM TO THE RECUIREMENTS FOR THEIR TYPE IN DOC PS 1 OR PSZ. EACH PANEL SHALL BE IDENTIFIED FOR GRADE AND GRUE TYPE THE TRADEMARKS OF AN APPROVED TESTING AND GRADING AGENCY. WOOD STRUCTURAL PANELS THAT ARE PERMANENTLY EXPOSED IN OUTDOOR APPLICATIONS SHALL BE OF EXTERIOR TYPE (JU.N.). ALL WOOD STRUCTURAL PANELS SHALL BE OF THE FOLLOWING GRADES AND PANEL INDEXTREMENTAL MICHAEL STRUCKS AND PANEL INDENTIFICATION INDEXES (U.N.O. ON DRAWINGS): PANEL

USE	GRADE	INDENTIFICATION INDE
ROOF SHEATING	OSB	24/0
FLOOR SHEATHING	APA	48/24
SHEAR PANEL	OSB (U.N.O.)	24/0
	, ,	

GLUED-LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN ATC A190.1 AND ASTM D 3737, USING DOUGLAS FIR INDUSTRIA APPEARANCE GRADE WOOD AND EXTERIOR GLUE WITH INTENDED DRY USE

- FRAMING ANCHORS, POST CAPS, COLUMN BASES, AND OTHER CONNECTORS SPECIFIED ON DRAWINGS SHALL BE AS MANUFACTURED BY "SIMPSON COMPANY" OR AN ENGINEER- APPROVED EQUAL.
- 8. BARS, PLATES, UNHEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.
- BOLTS SHALL CONFORM TO ASTM A307. BOLTS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL PER ASTM A 153 OR MECHANICALLY DEPOSITED ZINC COATING WITH WEIGHTS PER ASTM B 695, CLASS 55.
- 10. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A563, GRADE A.
- 11 ALL BOLT HEADS, NUTS, AND LAG SCREWS BEARING ON WOOD SHALL HAVE CUT
- BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. BOLT HOLES SHALL BE ACCURATELY ALIGNED AND NOT FORCIBLY DRIVEN.
- SPECIAL CONNECTORS FOR CONNECTING WOOD OR GLUED LAMINATED TIMBER SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A36. WELDS SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.1-15.

## WOOD NOTES (cont.)

- 14. DIAPHRAGM NAILING SHALL CONFORM TO CBC WITH NOMENCLATURE DEFINED AS
  - BN = NAILING AT DIAPHRAGM BOUNDARIES, CONTINUOUS PANEL EDGES, AND AT EDGES OF OPENING.
    EN = EDGE NALING
    FN = FIELD NAILING
- WHERE DIAPHRAGM BLOCKING IS SPECIFIED, USE 2 X 4 FLAT BLOCKING (WITH "Z" CLIPS). (U.N.O.)
- SIMPLE SPAN WOOD MEMBERS, NOT SHOP CAMBERED, SHALL BE ERECTED WITH THE NATURAL CAMBER UP. FOR CANTILEVERED WOOD MEMBERS, CONSULT WITH ENGINEER.
- 17. LEAD HOLES FOR LAG SCREWS IN WOOD SHALL BE BORED AS FOLLOWS:

SAME DIAMETER AND LENGTH AS UNTHREADED

SHANK.
FOR THREADED PORTION: 60% TO 75% OF SHANK DIAMETER & LENGTH EQUAL

- TO THE THREADED PORTION.

- 18. SPECIAL PROVISIONS FOR SHEAR WALLS WITH PLYWOOD ON BOTH SIDES: WHERE SPECIFICALLY INDICATED ON PLANS

  A SILL PLATE SHALL BE 346 P.T. D.F.

  B. ALL STUDS AND BLOCKNING AT PANEL EDGES SHALL BE 446.

  C. ALL OTHER INTERMEDIATE STUDS SHALL BE 346 g. 165 c.

  D. END POSTS SHALL BE AS SPECIFIED ON THE DRAWINGS.

  E. BOTH VERTICAL AND HORIZONTAL INTERIOR PANEL JOINTS
  ON OPPOSITE SIDES OF THE WALL SHALL BE STAGGERED.

  F. THE PLYWOOD ON ONE SIDE MUST BE NAILED BEFORE THE FRAME INSPECTION.
  THE PLYWOOD ON THE OTHER SIDE.
- THE PLYWOOD ON THE OTHER SIDE MUST BE INSTALLED AND INSPECTED PRIOR TO INSTALLATION
- G. NO PENETRATIONS OR NOTCHES ARE PERMITSED OTHER THAN THOSE SHOWN
- 19. PROVIDE DOUBLE STUD TO SUPPORT ALL BEAMS UNLESS POSTS ARE SPECIFIED.
- 20. DOUBLE BLOCK UNDER ALL POSTS
- 21. DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS U.N.O.

ON THE STRUCTURAL DRAWINGS.

- TOP PLATES OF ALL WOOD STUD WALLS SHALL BE 2-2 X (SAME WIDTH AS STUDS), LAP
  48" (MINL), WITH AT LEAST 38-16d NAILS AT EACH SIDE OF LAP AND NOT MORE THAN 12"
  BETWEEN.
- CUTTING, NOTCHING, OR DRILLING OF BEAMS OR JOISTS SHALL BE PERMITSED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
- 24. MOISTURE CONTENT OF WOOD AT TIME OF PLACEMENT SHALL NOT EXCEED 19%. 25. PROVIDE 'MSTC28' STRAPS ACROSS ALL DISCONTINUOUS TOP PLATES
- THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE FOLLOWING TABLE.

		CHEDULE (TA			).2)	
_	FASTE	NER SCHEDULE FOR STRUCTU	RAL MEMI	BERS		
Item	DESCRIPTION OF B	UILDING ELEMENT(s)	NUMBE	R & TYPE OF TENER *b.c	SPACING OF FASTENERS	
Н		ROOF	FAS	IENER	FASTENERS	
1	Blocking between joists or rafters	to top plate, toe nail	3-8d (2	?-1/2"x0.113")	_	
2	Ceiling joists to plate, toe nail		3-8d (2	?-1/2"x0.113")	-	
3	Ceiling joists not attached to para	lel rafter, laps over partitions, face		3-10d	_	
4	nail	.00	2.40-	(3"x0.128")		
	Collar tie rafter, face nail or 1-1/4" Rafter to plate, toe nail	xzu gage noge strap		3-1/2"x0.128")	-	
3	Roof rafters to ridge, valley or hip	enftore:			-	
6	• toe nail	iditos.	4-16d (	3-1/2"x0.135") 3-1/2"x0.135")	_	
	• face nail		3-100 (	3-1/2 XU.135 )		
		WALL				
	Built-up corner studs			(3*x0.128*)	24" o.c.	
8	Built-up header, two pieces with 1	'2" spacer	16d (3	-1/2"x0.135")	16"o.c. along ea. edge	
9	Continued header, two pieces		16d (3	-1/2"x0.135")	16"o.c. along ea. edge	
10	Continuous header to stud, toe na	i .	4.847	2-1/2"x0.113")		
	Double studs, face nail			(3*x0.128*)	24" o.c.	
	Double top plates, face nail			(3*x0.128*)	24" o.c.	
	Double top plates, minimum 48" o	ffset of end joints, face nail in		3-1/2"x0.135")		
	lapped area				-	
	Sole plate to joist or blocking, face			-1/25x0.135")	16" o.c.	
15	Sole plate to joist or blocking at be	aced wall panels		3-1/2"x0.135")	16" o.c.	
16	Stud to sole plate, toe nail		3-8d (2	2-1/2"x0.113") or	-	
10	Stud to sole plate, toe hall		2-16d (	3-1/2"x0.135")	_	
17	Top or sole plate to stud, end nail			3-1/2"x0.135")	_	
18	Top plates, laps at comers and in	ersections, face nail		I (3"x0.128")	-	
19	1" brace to each stud and plate, fa	on noil		2-1/2"x0.113")	-	
15	i brace to each stop and plate, to	Le nai		ples 1-34/"	-	
20	1"x6" sheathing to each bearing, f	ace nail	2-8d (2	?-1/2"x0.113") iples 1-3/4"	-	
Н				1-1/2"x0.113")		
21	1"x8" sheathing to each bearing, f	ace nail		ples 1-3/4*	_	
22	Wider than 1"x8" sheathing to ear	h honsing fore poil	3-8d (2	2-1/2"x0.113")	-	
22	Wider that I xo sheathing to ear		4 sta	aples 1-34/"	-	
Щ.		FLOOR				
23	Joist to sill or girder, toe nail			2-1/2"x0.113")	-	
24	1"x6" subfloor or less to each joist	, face nail		?-1/2"x0.113") iples 1-3/4"	-	
25	2" subfloor to joist or girder, blind	and face nail		3-1/2"x0.135")		
26	Rim joist to top plate, toe nail (roo	f application also)		1/2"x0.113")	6" o.c.	
27	2" planks (plank & beam - floor ar	d roof)	2-16d (	3-1/2"x0.135")	At each bearing	
					Nail each layer:	
l					32"o.c. at top and	
28	Built-up girders and beams, 2-incl	lumber layers	10d	(3"x0.128")	bottom and staggered. Two nails at ends and	
					at each splice	
29	Ledger strip supporting joists or ra	fters	3-16d (	3-1/2"x0.135")	-	
Item	Description of Building Materials	Description of Fastener(s) b	C/R	Edges (inches) i	Intermediate supports (inches) c,e	
-	Vood structural nanels subfloor m	of and interior wall sheathing to fran	ning and na	rtinle hoard wall a		
-		6d common (2"x0.113") nail (subfl				
30	3/8" - 1/2"	8d common (2-1/2"x0.131") nai		6	12 9	
31	5/16" - 1/2"	6d common (2"x0.113") nail (subfi		7	12 9	
		8d common (2-1/2"x0.131") nai				
32	19/32" - 1"	8d common nail (2-1/25x0.13	31")	8	12 9	
33	1-1/8" - 1-1/4"	10d common (3"x0.148") nai 8d (2-1/2"x0.131") deformed	noil	9	12	
$\vdash$		Other wall sheathing	IIdii			
$\vdash$	1/2" structural	1/2" galvanized roofing nail, 7/16" o	rown or 1"			
34	cellulosic fiberboard sheathing	crown staple 16ga., 1-1/4" lo		3	6	
35	25/32" structural cellulosic	1-3/4" galvanized roofing nail, 7/16	1-3/4" galvanized roofing nail, 7/16" crown or			
33	fiberboard sheathing		1*crown staple 16ga., 1-1/2* long			
36	1/2" gypsum sheathing	1-1/2" galvanized roofing nail; galvanized, 1-1/2" long; 1-1/4" s		7	7	
1 30	in gypositi sticatitity	Type W or S	ruruma,	l '	'	
$\vdash$		1-3/4" galvanized roofing nail;	staple			
37	5/8" gypsum sheathing	galvanized, 1-5/8" long; 1-1/4" s	crews,	7	7	
<u> </u>	L	Type W or S				
$\vdash$		ctural panels, combination subfloor u 6d deformed (2"x0.120") nai		nt to traming		
38	3/4" and less	6d deformed (2"x0.120") nai 8d common (2-1/2"x0.131")		6	12	
$\vdash$		8d common (2-1/2"x0 131") n				

#### STRUCTURAL STEEL NOTES

- THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC 360-16.
- 2. ALL STRUCTURAL STEEL TO BE THE FOLLOWING

ASTM A992, Fy= 50ksi ASTM A500 GRADE B, Fy= 46ksi HSS SHAPES (RECTANGULAR) HSS SHAPES (ROUND): ASTM A500, GRADE B, Fy= 42ksi ALL OTHER STEEL:

- ALL STRUCTURAL WELDS TO BE THE FOLLOWING:
   F70 SERIES-TYP E90 SERIES FOR A615 GRADE 60 REINFORCING BARS
- ALL STRUCTURAL WELDING SHALL BE DONE IN AN APPROVED FABRICATING SHOP. IN ABSENCE OF AN APPROVED FABRICATING SHOP, STRUCTURAL WELDING SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED SPECIAL INSPECTOR. (CBC 1705.2.2)
- FIELD WELDING TO HAVE CONTINUOUS SPECIAL INSPECTION.

#### REINFORCING STEEL NOTES

BAR REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615. THE FOLLOWING GRADES SHALL BE USED:

DETAILS OF REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-19 CH. 7 AND OTHER SECTIONS ACCORDING TO APPLIC.

3. LAPS AT BAR SPLICES IN CONC. CONSTRUCTION SHALL BE AS FOLLOWS:

TOP BARS (CLASS B)		OTHER THAN TOP BARS (CLASS B)	
fc = 2500	f'c = 3000	fc = 2500	fc = 3000
30	27	24	21
35	33	28	25
40	38	32	29
45	43	36	33
	(CLA: fc = 2500 30 35 40	(CLASS B)  fc = 2500  fc = 3000  30  27  35  33  40  38	(CLASS B)         (CLASTIC CLASTIC CLA

- LAPS AT BAR SPLICES IN MASONRY CONSTRUCTION SHALL BE 48 BAR DIAMETERS BUT NOT LESS THAN 2'-0".
- VERTICAL REINFORCEMENT SHALL BE TIED OR OTHERWISE FIXED IN POSITION AT THE TOP AND BOTTOM AND AT INTERMEDIATE LOCATIONS, SPACED NOT GREATER THAN 48" O.C..
- WALLS, PILASTERS, AND COLUMNS SHALL BE DOWELED TO THE SUPPORTING FOOTINGS WITH REINFORCEMENT OF THE SAME SIZE, GRADE AND AT THE SAME SPACING AS THE VERTICAL REINFORCEMENT IN THE WALLS, PILASTERS, OR COLUMNS (U.N.O).
- BAR SUPPORTS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF "BAR SUPPORT SPECIFICATIONS" AS CONTAINED IN THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE" BY THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI).
- REINFORCING STEEL DETAILING, BENDING AND PLACING SHALL BE IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE", LATEST EDITION.
- 10. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE BEFORE PLACING CONCRETE
- WELDING OF REINFORCING BARS SHALL CONFORM TO "STRUCTURAL WELDING CODE-REINFORCING STEEL," ANSI/AWS D1.4 OF THE A.W.S.
- 12. WELDING OF ALL REINFORCING STEEL TO STRUCTURAL STEEL SHALL BE LIMITED TO WELDING OF ALL REINFORCING STEEL TO STRUCTORAL STEEL SPALL BE LIMITED THOSE AREAS SPECIFICALLY SHOWN ON THE PLANS. ANY OTHER WELDING SHALL REQUIRE THE APPROVAL OF THE GOVERNING AGENCY, FIELD INSPECTOR, AND STRUCTURAL ENGINEER.
- 13. WELDING OF CROSSING BARS AND TACK WELDING OF REINFORCEMENT SHALL NOT BE
- WITH THE REQUIREMENTS OF THE 14th EDITION OF THE "STEEL CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

#### **MASONRY NOTES**

- MASONRY UNITS SHALL CONFORM TO ASTM C90 HOLLOW CORE NORMAL WEIGHT, fm= 1500 psi (U.N.O.).
- ALL UNITS SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH ASTM C140
- MORTAR SHALL BE TYPE 'S' AND CONFORM TO ASTM C270 AND TABLE SC-1 AND SC-2 OF TMS 402-16. THE MINIMUM STRENGTH SHALL BE 1,800 psi AT 28 DAYS. THE BED JOINTS SHALL NOT EXCEED )" THICK.
- GROUT SHALL CONFORM WITH ARTICLE 2.2 OF TMS 402-16.
  THE COMPRESSIVE STRENGTH OF GROUT SHALL BE DETERMINED IN ACCORDANCE WITH ASTIM C1019.
  WHEN THE GROUT CONFORMS TO ASTIM C476, THE GROUT SHALL BE SPECIFIED BY PROPORTION
  REQUIRMENTS OR PROPERTY REQUIREMENTS. THE MINIMUM STRENGTH SHALL BE 2,000 ps AT 28 DAYS.
- 4. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150. BLENDED CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C59. MASONRY CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C91. MORTAR CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1329.
- COARSE AGGREGATE SHALL CONFORM TO ASTM C404. COARSE AGGREGATE SHALL BE PEA GRAVEL.
- 7. LIME SHALL BE HYDRATED LIME AND CONFORM TO ASTM C207, TYPE S
- 8. ADMIXTURES SHALL BE USED IN ACCORDANCES WITH THE MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE ENGINEER OF RECORD.

#### **CONCRETE NOTES**

1. CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-19 CHAPTER 5. THE MINIMUM 28-DAY GTH SHALL BE AS FOLLOWS

CONVENTIONAL FOUNDATIONS: SLAB ON GRADE SLAB ON GRADE-GARAGE GRADE BEAM / CAISSON

- WHERE CONCRETE STRENGTH IS GREATER THAN 2500 PSI, CYLINDER TESTS ARE REQUIRED PER ACI
- 3. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150, TYPE V
- AGGREGATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33 FOR NORMAL WEIGHT CONCRETE AND ASTM C330 FOR LIGHTWEIGHT CONCRETE.
- 5. ADMIXTURES SHALL BE USED IN ACCORDANCES WITH THE MANUFACTURER'S RECOMMENDATIONS AND
- READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS OF "STANDARD SPECIFICATION FOR READY-MIXED CONCRETE" ASTM C94.
- MINIMUM CONCRETE COVER (IN INCHES) FOR REINFORCING STEEL IN NON-PRESTRE CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS, U.N.O: LOCATION:
  A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
- B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER: #6 AND LARGER BAR #5 BARS, 5/8 INCH WIRE, AND SMALLER ALL SLEEVES THROUGH BEAMS, GIRDERS AND FOUNDATION WALLS SHALL BE INSTALLED AND SECURED IN POSITION PRIOR TO PLACING CONCRETE. EXCEPT AS SHOWN ON STRUCTURAL DRAWINGS, SLEEVING SHALL NOT BE PERMITSED UNLESS APPROVED BY THE DESIGNER AND STRUCTURAL BUSINEER.
- SLEEVES, PIPES, OR CONDUITS SHALL NOT BE PLACED THROUGH CONTINUOUS OR SPREAD FOOTING GRADE BEAMS, PILE CAPS, OR TIE BEAMS, UNLESS SPECIFICALLY DETAILED BY THE ENGINEER.
- 10. CONDUIT SHALL NOT BE PLACED IN ANY CONCRETE SLAB LESS THAT 3-1/2 INCHES THICK. IF CONDUIT IS PLACED IN CONCRETE SLAB. ITS OUTSIDE DIAMETER SHALL NOT BE GREATER THAN 1/3 OF THE SLAB THICKNESS. THE MINIMUM CLEAR DISTANCE BETWEEN CONDUITS BE 3 INCHES.
- 11. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 INCH, U.N.O.
- 12. REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS, CLIPS, OR GROUNDS REQUIRED TO BE CAST IN THE CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS, AND RAMPS.
- ALL VERTICAL SURFACES OF CONCRETE ABOVE FINISHED GRADE 13. SHALL BE FORMED.
- 14. REFERENCE ARCH, DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS DUE TO ARCHITECTURAL C.I.P. CONCRETE.

#### LIST OF STRUCTURAL OBSERVATION

IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING CHECKED ITEMS WIL ALSO REQUIRE STRUCTURAL OBSERVATION ACCORDANCE WITH 2022 CBC SEC. 17( CERTIFICATION FROM SOILS ENGINEER \_\_\_\_ YES \_\_X\_ NO CONCRETE FOOTING, GRADE BEAM, ETC. (>3000 psi) REINFORCEMENT REINFORCING STEEL AND PLACEMENT IN FOOTINGS REINFORCING STEEL AND PLACEMENT IN WALLS AND RETAINING WALLS MASONRY: \_\_\_\_ YES \_X NO YES \_X NO RETAINING WALLS \_\_\_\_ YES \_X NO YES \_X NO REINFORCEMENT STEEL AND PLACEMENT WOOD:
CONNECTIONS INCLUDING NAILING, BOLTING,
TIE DOWNS, BEAMS HANGERS, FRAMING HANGERS
LOAD PATH CONNECTIONS, DRAG STRUTS,
COLLECTORS, AS/ASS, BLOCKING, ETC.
THICKNESS AND NAIL SPACING OF DIAPHRAGMS
SHEAR WALL TYPE, LENGTH, NAILING, 3X MEMBERS
AND HOWLDOWNS
GUARDRAILHANDRAIL SUPPORT POST ATTACHMENT
DETAILS \_\_\_\_ YES \_\_X\_ NO \_\_\_\_ YES \_X\_ NO \_\_\_\_ YES \_X\_\_NO \_X\_\_NO STRUCTURAL STEEL: FIELD WELDING HIGH STRENGTH BOLTS

OTHER: \*\*
\*\*\*OTE:WHERE CONCRETE IS SPECIFED AS 4500 PSI TYPE V FOR HIGH SULFATE SOUS CONDITION IN STANDA
FOOTINGS, SPECIAL INSTECTION SHALL NOT BE REQUIRED, CONTRACTOR TO PROVIDE BATCH TICKET FROM
CONCRETE MANUFACTURE FOR VERHICATION.

**GENERAL STRUCTURAL NOTES** 

FOUNDATION PLAN

SHEET INDEX:

DEFFERED SUBMITTALS: MODULAR BUILDING PLANS

SHEARWALL SCHEDULE (S. 1, 2, 3, 4, 5, 6, 7) SYMBOL MAX DESIGN SHEAR CAP. (PLF) SILL PLATE NAILING ON WOOD FLOOR SILL PLATE ANCHOR BOLTS ON FOUNDATION WALL SHEATHING 7/8" STUCCO OVER BACKED LATH WITH 16 GAUGE STAPLES AT 6" 5/8" Ø X 12"A.B'S O.C. ALONG EDGES AND FIELD SHALL BE APPLIED WITH 11 GAUGE GALVANIZED WIRE 1 1/2" LEG AND 7/16" CROWN SYMBOL MAX DESIGN SHEAR CAP. (PLF) MATERIAL AND NAILING DESCRIPTION RIM JOIST/BLOCKING (SEE NOTE 15) EQ WIND 260 8d @ 6"o.c. E.N. / 12"o.c. F.N. <sup>‡</sup> DIA A.B. @ 36\*o.c. 1/2" OSB W/ 8d @ 4"o.c. E.N. / 12"o.c. F.N. ON 3v FRAMING (SEE NOTE 13) 2x PLATE W/ 16d @ 4"o.o (SEE NOTE 16) A35 OR LTP4 @ 1/2" OSB W/ 8d @ 3"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTE 13) 8x SILL PLATE W/ 6 DIA A.B. @ 24"o.c. A35 OR LTP4 @ 3 490 1/2" OSB W/ 8d @ 2"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTE 13 4> 1/2" STRUCTURAL 1 PLYWOODW w/ 10d @ 2"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTES 1; 3x PLATE W/ 3" x 8" LONG LAG x SILL PLATE W/ § DIA A.B. @ 18"o.c. 5 A35 OR LTP4 @ 1218 SCREWS @ 6"o.c. INTO 4x RIM JOIST/BLOCK'G. TRUCTURAL I PLYWOOD BOTH SIDES 3x PLATE W/ ½" x 8" LONG LAG SCREWS @ 5"o.c. INTO 4x RIM X SILL PLATE W/ §" DIA A35 OR LTP4 @ 6\*o.c 6 1100 A.B. @ 16"o.c. 3x SILL PLATE W/ € DIA 1460 2044 A.B. @ 12"o.c.

#### SHEAR WALL SCHEDULE NOTES

- 1. SHEAR PANELS SHALL BE APPLIED DIRECTLY TO STUD FRAMING
- 2. PLYWOOD MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY
- 3. ALL PLYWOOD PANEL EDGES SHALL BE BLOCKED W/ 2x BLOCKING MIN
- 4. SHEAR WALLS MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE EITHER VERTICAL OR HORIZONTAL STAGGERED SPLICED JOINTS. 5. PROVIDE 1/5" MIN. EDGE DISTANCE FOR ALL PLYWOOD EDGE NAILING, NAILS SHALL BE PLACED NOT LESS THAN \$" IN FROM THE PANEL EDGES AND NOT LESS THAN \$" FROM THE EDGE OF THE CONNECTION MEMBERS FOR SHEAR GREATER THAN 350 pit. NAILS SHALL BE PLACED NOT LESS THAN \$" FROM THE EDGES AND NOT LESS THAN \$" FROM THE EDGE OF THE CONNECTION MEMBERS FOR SHEARS OF SSIGN FOR LESS.

- 10. ANCHOR BOLTS MUST BE EMBEDDED 7º MIN. INTO NEW CONCRETE. WHERE SHEAR WALLS ARE TO BE ATTACHED TO EXISTING FOOTINGS, EPOXY 5/8°DIA THREADED ROD ANCHORS WITH 5' MIN. EMBEDIMENT USING SIMPSON SETAP HIGH STRENGTH ADHESIN
- 11. FOUNDATION ANCHOR BOLTS IN ALL SHEAR WALLS SHALL HAVE A MINIMUM 3" x 3" x/2" THICK PLATE WASHERS BETWEEN THE SILL PLATE AND NUT. THE NUTS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING, PLATE WASHER EDGE IS TO BE LOCATED MAX 1/2" FROM THE FACE OF WALL SHEATHING.
- 13. ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 3-INCH NOMINAL OR THICKER. ALL EDGE NAILING SHALL BE STAGGERED.
- 14. WHERE PLYWOOD PANELS ARE APPLIED ON BOTH FACES OF A WALL, USE A 3x6 BOT/SILL PLATE, 3x6 STUDS @ 16 α.c., AND 3x6 df. # 2 DOUBLE TOP PLATES. ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 4-MCH NOMINAL OR THICKER. ALL EDGE NAILING SHALL BE STAGGERED AND BOTH VERTICAL AND HORIZONTAL INTERIOR PHALL JOINTS ON OFFICE WILLS SHALL BE STAGGERED AND FOR POOL TO FINE PANEL JOINTS ON OFFICE WILLS SHALL BE STAGGERED. SHE WOOD NOTES # 10 FOR ADDITIONAL REQUIREMENTS.
- 16. WHERE BOTTOM PLATE NAILING GOES THROUGH FLOOR SHEATHING THICKER THAN \$\frac{1}{2}\, USE 201 NAILS AT SAME SPACING AS INDICATED OR SIMPSON SDS25412 SCREWS AT TWICE THE SPACING AS INDICATED.
- 17. IN SEISMIC CATEGORY "D", ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH A MIN. 2" THICK PLY/WOOD STRUCTURAL PANEL 18. WHERE NAILS ARE IDENTIFIED AT 4" O.C. OR LESS. SPECIAL INSPECTION (SEISMIC) IS REQUIRED FOR STRUCTURAL WOOD

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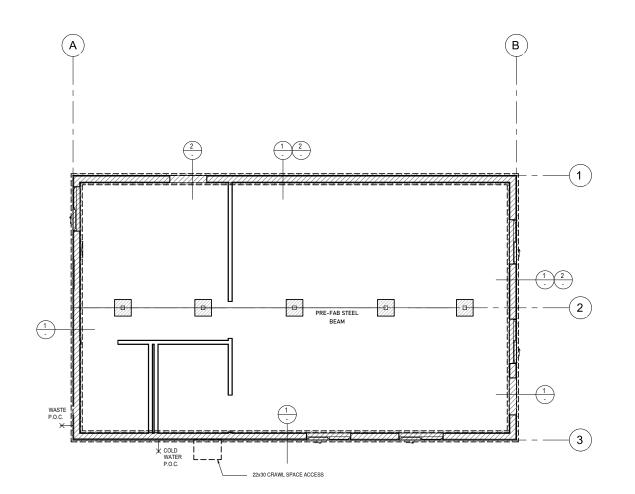
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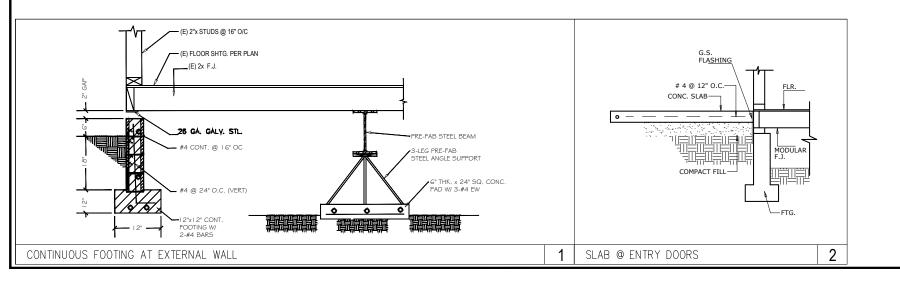
GENERAL NOTES

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## FOUNDATION PLAN SCALE: 1/4" = 1'



#### FOUNDATION NOTES

- VERIFY LOCATIONS OF ALL HOLDDOWNS WITH FRAMING PLANS & FRAMING CONTRACTOR PRIOR TO INSTALLATION

- IT IS RECOMMENDED BY THE ARCHITECT TO RUN ALL WATER LINES ABOVE SLAB (BOTH HOT AND COLD LINES) SEE DETAIL.

- 6 GOUNDATION CONSTRUCTION NOTE:
  FOUNDATION CONSTRUCTION MAY BE OF TWO POUR
  CONFIDENATION, NOWERE, IN CONTRACTOR OFTS TO
  BE FORMED SO AS TO CREATE A "CURPE" CONDITION &
  FERRILLETER AND STEP BREAK LO-CATIONS THERETY
  ASSURING A MONOLITHIC CONDITION FOR HOLDOWNS,
  STRAPS AND ANDHOR BOLTS.

- 9. FOUNDATION PLATE BOLTING: PROVIDE 5/8" x 14" A30: ANCHOR BOLTS, EMBEDDED 9" MINIMUM INTO CONCRETE. THERE SHALL BE A MINIMUM OF TWO (2) BOLTS PER PLATE, WITH ONE (1) BOLT LOCATED WITHIN 12" OF END, AND SPACED 6"-0" O.C. UNLESS OTHERWISE NOTED.
- 0. ANCHOR BOLT NOTE:
  PROVIDE 3"x3"x1/4" THICK WASHER PLATES AT ALL
  ANCHOR BOLTS.

- I-ASTENERS IN PRESERVATIVE—TREATED WOOD (I.E. ANCHOR BOLTS, NAILS, SCREWS, ETC.) SHAILL BE APPROVED SILICON BRONZE OR COPPER, STANLESS STEEL, OR HOT -DIPPED ZINC—COATED STEEL. (CBC 2304.9.5.1)
- 7. PROVIDE STUCCO BASE SCREED (SEC. 4706E.)
- HOLD-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING

APPROVED) AT (E)

Rahman Engineering 5.
13611 12TH ST, SUITE-B.
CHINO, CA 97770
Tel: (213)-400-8078

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S.F.R. FOUNDATION PLAN

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