



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending October 03, 2014

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Items)**

- Item 1: Cucina Enoteca Staff Approval No. SA2014-019 (PA2014-142)
951 Newport Center
- Action: Approved Council District 5
- Item 2: Newport Coast Shopping Center Staff Approval No. SA2014-020 (PA2014-145)
21155 and 21133 Newport Coast Drive
- Action: Approved Council District 6

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Det. Randy Parker & Det. John Thulin, NBPD (*ABC License*)
Det. Brad Miller, NBPD (*Massage Therapy - ABC License*)



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

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COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: Staff Approval No. SA2014-019 (PA2014-142)
APPLICANT: Tracy Borkum
LOCATION: 951 Newport Center Drive
Staff Approval for Substantial Conformance
LEGAL DESCRIPTION Lot S, Tract 6015

On October 2, 2014, the Community Development Director approved Staff Approval No. SA2014-019 to allow modifications to an existing eating and drinking establishment and found said modifications to be minor and in substantial conformance with Minor Use Permit No. UP2014-002. This approval is based on the findings and subject to the conditions discussed in this action letter.

PROJECT SUMMARY

The applicant requests the addition of a second outdoor dining patio at an existing restaurant. The existing Minor Use Permit authorized a Type 47 Alcoholic Beverage Control (ABC) License for the restaurant. The proposed 712-square-foot patio would offer the same food and beverage menu and hours of operation (9:00 a.m. to 2:00 a.m., daily) as the previously approved restaurant.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** PC-56 (North Newport Center)
- **General Plan:** CR (Regional Commercial)

I. BACKGROUND

On April 24, 2014, the Zoning Administrator approved Minor Use Permit No. UP2014-002 (PA2014-006) to allow an eating and drinking establishment with late hours (after 11:00 p.m.) and alcohol sales (Type 47 ABC License – On Sale General).

On May 9, 2014, the Chief of Police approved Operator License No. OL2014-002 (PA2014-006) to allow a food service restaurant with late hours (after 11:00 p.m.) and a Type 47 (On Sale General Eating Place) alcoholic beverage control (ABC) license pursuant to Municipal Code Chapter 5.25.

II. PROPOSED CHANGES

The approved plans for Minor Use Permit No. UP2014-002 included a 3,973-square-foot indoor dining area and 1,325-square-foot outdoor dining patio. The approved patio is to the left (south) of the restaurant entrance. The applicant proposes to add a second outdoor dining patio that would be 712 square feet in area located to the right (north) of the restaurant entrance. The Police Department has reviewed the request and has no objection to the proposed second outdoor dining patio.

III. FINDINGS

Pursuant to Section 20.54.070, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. The approval and waiver of a new use permit application is based on the following findings and facts in support of the findings.

Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The project is located in the Fashion Island Sub-Area of the PC-56 (North Newport Center Planned Community) Zoning District. Fashion Island is intended to be a regional retail and entertainment center and a day/evening destination with a wide variety of uses that serve visitors, residents, and employees of the area. The restaurant with late hours and alcohol sales is a commercial use that serves visitors, residents, shoppers, and employees in the area, and the restaurant and additional outdoor dining patio is consistent with the purpose of the North Newport Center Planned Community District for the Fashion Island Sub-Area.
2. Eating and Drinking Establishments are allowed uses within the Fashion Island Sub-Area. Pursuant to the PC-56 Development Plan, the on-premise sale of alcohol in conjunction with an eating and drinking establishment is subject to approval of a Minor Use Permit. Minor Use Permit No. UP2014-002 was approved for the restaurant and outdoor dining with alcohol sales. The proposed addition of a second outdoor dining patio is consistent with the PC-56 Development Plan and the operational characteristics approved under Minor Use Permit No. UP2014-002. The facts in support of the Minor Use Permit approved with Resolution No. ZA2014-012 remain applicable to the proposed additional outdoor dining patio, including the alcohol considerations within Section 20.48.030 (Alcohol Sales).

Finding:

B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Facts in Support of Finding:

1. The previously approved Minor Use Permit was determined to be categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities), which exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. The size of proposed outdoor patio or the lack of a patio were not features of the project that was a basis for finding the project exempt from environmental review.
2. The construction of an additional outdoor dining patio qualifies for a Class 1 (Existing Facilities) categorical exemption as the additional patio is a minor alteration and addition to an existing facility involving a negligible expansion of the authorized use.

Finding:

C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

Facts in Support of Finding:

1. The proposed additional outdoor dining patio including the sale and consumption of alcohol on the patio was not the subject of a condition of approval for the project. The staff report, meeting minutes, and Zoning Administrator Resolution No. ZA2014-012 do not specifically address additional outdoor dining, the size of the outdoor dining, or lack of a patio at the proposed second patio location.

Finding:

D. The changes do not result in an expansion or change in operational characteristics of the use.

Facts in Support of Finding:

1. The eating and drinking establishment use with alcohol sales and late hours will remain unchanged as a result of the second outdoor dining patio. The use will not change as the same conditions of approval are applicable, including requirements and limitations on food service, dancing, and live entertainment. The proposed additional outdoor dining will offer the same food and beverage menu as the previously approved restaurant and patio. The hours of operation of between 6:00

a.m. and 2:00 a.m. will be the same as previously approved under Minor Use Permit No. UP2014-002. Therefore, the proposed changes do not result in an expansion or change in operational characteristics of the use.

IV. DETERMINATION

This Staff Approval has been reviewed and a determination has been made that the proposed change to the existing eating and drinking establishment is minor and in substantial conformance with the original approval.

V. CONDITIONS OF APPROVAL

All previous conditions of approval of Minor Use Permit No. UP2014-002 shall remain in full force and effect as stated in Attachment No. CD 3 (Resolution No. ZA2014-012).

APPEAL PERIOD: An appeal may be filed with the Director of Community Development within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By:



Fern Nueno, Associate Planner

JC/fn

Attachments:

- CD 1 Vicinity Map
- CD 2 Applicant's Project Description
- CD 3 Resolution No. ZA2014-012
- CD 4 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval No. SA2014-019

PA2014-142

951 Newport Center Drive

Attachment No. CD 2

Applicant's Project Description

mark BAUSBACK ARCHITECT

3670 Clairemont Drive, Suite 11, San Diego, California 921117 T:858.623.0557

Date: 09.02.14
To: **City of Newport Beach**
Planning Department
Attn: Fern Nueno
Re: Planning Permit Application
Question #3 Project Description and Justification
Plan Check No.: Original - 2873-2013
Project Address: 951 Newport Center Drive
Newport Beach, CA 92660
Project Name: Cucina Enoteca

Project Description and Justification

Application is a staff Approval to determine substantial conformance with the Minor Use Permit No. UP2014-002 (PA2014-006)

Description of Project:	New outdoor Patio
Existing interior net public area:	3,973 sf
Existing exterior net public area:	1,325 sf
Size of proposed outdoor Dining:	715 sf
Number of seats for proposed outdoor Dining:	36 seats

Proposed Outdoor Patio will have the same hours (9:00 am - 2:00am), menu, alcohol service, ect. as existing Dining.



Attachment No. CD 3

Resolution No. ZA2014-012

RESOLUTION NO. ZA2014-012

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING USE PERMIT NO. UP2014-002 FOR AN EATING AND DRINKING ESTABLISHMENT WITH LATE HOURS AND ALCOHOL SALES LOCATED AT 951 NEWPORT CENTER DRIVE (PA2014-006)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Tracy Borkum, Cucina Enoteca, with respect to property located at 951 Newport Center Drive, and legally described as Lot S, Tract 6015, requesting approval of a Minor Use Permit.
2. The applicant requests a Minor Use Permit for an eating and drinking establishment with late hours (after 11:00 p.m.) and alcohol sales (Type 47 ABC License – On Sale General). A restaurant that previously operated at this location was demolished, and a new 7,198-square-foot restaurant building with a 1,325-square-foot outdoor dining area is under construction. The proposed hours of operation are from 9:00 a.m. to 2:00 a.m., daily. An Operator License application is being reviewed concurrently by the Chief of Police pursuant to Municipal Code Chapter 5.25.
3. The subject property is located within the North Newport Center Planned Community (PC-56 – Fashion Island Sub-Area) Zoning District and the General Plan Land Use Element category is Regional Commercial (CR).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on April 24, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15301, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 1 (Existing Facilities).
2. Class 1 exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. The construction of the subject building was previously determined to be exempt from CEQA. The proposed project authorizes alcohol sales for an eating and drinking establishment within the building that is currently under construction.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.48.030 (Alcohol Sales) of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a Use Permit are set forth:

Finding

- A. *The use is consistent with the purpose and intent of Section 20.48.030 (Alcohol Sales of the Zoning Code).*

Facts in Support of Finding

In finding that the proposed use is consistent with Section 20.48.030 (Alcohol Sales) of the Zoning Code, the following criteria must be considered:

- i. *The crime rate in the reporting district and adjacent reporting districts as compared to other areas in the City.*
 1. The proposed establishment is located within Reporting District 39, wherein the number of crimes is higher than adjacent Reporting Districts (RDs) and the City. The adjacent RDs (38 and 43) have a lower number of crimes as they are primarily residential. Due to the high concentration of commercial land uses and low population within RD39, the crime rate is greater than for adjacent residential Reporting Districts; however, the Newport Beach Police Department does not consider the number significant given the type of development within RD39.
- ii. *The numbers of alcohol-related calls for service, crimes, or arrests in the reporting district and in adjacent reporting districts.*
 1. The crime statistics are summarized in the table below:

Location	Calls for Service	Part I Crimes	Part II Crimes	DUI Arrests	Public Intoxication Arrests
RD39	7,103	166	208	26	21
RD38	1,296	23	18	1	0
RD43	797	24	31	5	2

2. Due to the high concentration of commercial land uses, the calls for service and number of arrests are greater than in the adjacent primarily residential Reporting Districts. The Police Department does not consider the rate high because of the concentration of restaurants and other commercial uses within Fashion Island and the surrounding North Newport Center. The Newport Beach Police Department has not previously reported any calls for service to the subject property since the proposed use is part of a new development project.

- iii. The proximity of the establishment to residential zoning districts, day care centers, hospitals, park and recreation facilities, places of worship, schools, other similar uses, and any uses that attract minors.*
1. No sensitive land uses are located within Fashion Island. The proposed use is not located in close proximity to day care centers, park and recreation facilities, places of religious assembly, and schools. A hotel is located nearby, but the proposed use is not expected to disturb guests as it is separated by Newport Center Drive and a surface parking lot. Residential uses are allowed in San Joaquin Plaza at the northern portion of PC-56. The nearest residential uses located on Granville Drive and Santa Barbara Drive are not near the proposed use and are separated from the project site by parking lots, roadways, and other commercial uses.
- iv. The proximity to other establishments selling alcoholic beverages for either off-site or on-site consumption.*
1. Several comparable restaurant establishments are located within the Fashion Island Shopping Center, including other pad restaurant tenants such as Roy's Hawaiian Fusion, Fleming's Steak House, True Food Kitchen, Red O, and Fig and Olive. Other similar restaurants within the interior of Fashion Island near the subject property include The Cheesecake Factory, P.F. Chang's, and California Pizza Kitchen. Several existing restaurants in the area have Type 47 ABC Licenses, and there is no evidence suggesting these uses have been detrimental to the neighborhood. An adequate security plan reviewed and approved by the Police Department is in place for the Fashion Island Shopping Center and the shopping center provides security. Furthermore, conditions of approval are proposed to adequately manage the late hours and alcohol sales components of the proposed project.
- v. Whether or not the proposed amendment will resolve any current objectionable conditions.*
1. The proposed project is for a new restaurant, so it does not have any current objectionable conditions. Operational conditions of approval relative to the sale of alcoholic beverages will help ensure compatibility with the surrounding uses and minimize alcohol related impacts.

In accordance with Section 20.52.020 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- B. The use is consistent with the General Plan and any applicable specific plan.*

Facts in Support of Finding:

1. The Land Use Element of the General Plan designates the project site as Regional Commercial (CR), which is intended to provide retail, entertainment, service, and supporting uses that serve local and regional residents. The proposed restaurant with late hours and alcohol sales is a use that serves local and regional residents and is consistent with land uses in the CR land use designation.
2. The subject property is not located within a Specific Plan area.

Finding:

- C. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code.*

Facts in Support of Finding:

1. The project is located in the Fashion Island Sub-Area of the PC-56 (North Newport Center Planned Community) Zoning District. Fashion Island is intended to be a regional retail and entertainment center and a day/evening destination with a wide variety of uses that serves visitors, residents, and employees of the area. The restaurant with late hours and alcohol sales is a commercial use that serves visitors, residents, shoppers, and employees in the area and, therefore, is consistent with the purposes of the North Newport Center Planned Community District for the Fashion Island Sub-Area.
2. Eating and Drinking Establishments are allowed uses within the Fashion Island Sub-Area. Pursuant to the PC-56 Development Plan, the on-premise sale of alcohol in conjunction with an eating and drinking establishment is subject to approval of a Minor Use Permit.

Finding:

- D. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.*

Facts in Support of Finding:

1. The Fashion Island Sub-Area of the PC-56 Zoning District allows a range of retail, dining, service, and entertainment uses. While the proposed establishment provides a component of late night dining services, the use is compatible with surrounding allowed commercial uses in the vicinity and no sensitive land uses are located nearby.
2. The establishment would occupy a restaurant building at the southwestern portion of Fashion Island, and the building entrance is oriented away from Newport Center Drive towards the Fashion Island Shopping Center.

3. The operational characteristics of the proposed establishment would be that of a typical restaurant that would serve residents, visitors, shoppers, and employees in the area. No dancing or live entertainment is proposed as part of the restaurant operations. Therefore, the operating characteristics would be compatible with the allowed commercial uses in the vicinity.
4. The proposed hours of operation are 9:00 a.m. to 2:00 a.m., daily. Operating between 6:00 a.m. and 2:00 a.m. should not prove detrimental to the community given the location and the adequate security plan that is in place for the Fashion Island Shopping Center and conditions of approval are proposed to adequately manage the late hours and alcohol sales components of the proposed restaurant.
5. Due to the late hours of operation (after 11:00 p.m.) and alcohol sales, approval of an Operator License by the Newport Beach Police Department will be required. The Fashion Island Security Plan will be reviewed and approved provided as part of the operator license process for the proposed business. An Operator License required pursuant to Municipal Code Chapter 5.25 may be subject to additional and/or more restrictive conditions to regulate and control potential nuisances associated with the operation of the restaurant. The Operator License will help ensure compatibility of the proposed business with the surrounding uses in the vicinity.

Finding:

- E. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*

Facts in Support of Finding:

1. The Fashion Island Shopping Center provides adequate parking and circulation within the surface parking lots and parking structures on site. The design, location, shape, and size have been suitable for the commercial uses on site. Adequate public and emergency vehicle access, public services, and utilities are provided within the existing property and the proposed project will not negatively affect emergency access.
2. The building is under construction and was designed for a restaurant use with sufficient means of ingress and egress. The Public Works Department, Building Division, and Fire Department have reviewed the application. The project is required to obtain all applicable permits from the City Building and Fire Departments and must comply with the most recent, City-adopted version of the California Building Code. Utilities are provided with all applicable requirements.

Finding:

- F. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise*

constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

Facts in Support of Finding:

1. The proposed use is similar to and compatible with other commercial uses in the vicinity, and complements the retail sales and service uses in the immediate area. The use will serve nearby residents, shoppers, employees, and visitors.
2. Fashion Island has a parking requirement of 3 spaces per 1,000 square feet for all commercial uses. Parking was analyzed and determined to be in compliance during plan check review for the construction of the building, and the proposed project does not change or increase the parking requirement.
3. The Police Department has reviewed the project and has no objection to the operation as described by the applicant. The Police Department believes that with the conditions of approval, the proposed project will not have a negative impact on the community and police services.
4. Fashion Island management has historically provided efficient on-site security and cooperates with the Newport Beach Police Department. The provision of an Operator License will further enable the Police Department to regulate the operation of the proposed use and address any objectionable conditions should they occur.
5. Compliance with the Municipal Code is required and will further ensure that the proposed use will not be detrimental.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Minor Use Permit No. UP2014-002, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 24TH DAY OF APRIL, 2014.



Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
2. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this permit.
3. The Zoning Administrator, Planning Commission, or City Council may add to or modify conditions of approval to this Minor Use Permit, upon a determination that the operation which is subject of this Minor Use Permit causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
4. Any changes in operational characteristics, hours of operation, expansion in area, or modification to the floor plan, shall require an amendment to this Minor Use Permit, unless otherwise approved by the Planning Division.
5. Should the business, subject to the Minor Use Permit conditioned herein, be sold or otherwise come under different ownership or a change in operators, any future owners, operators, or tenants shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
6. The hours of operation shall be limited to between 6:00 a.m. to 2:00 a.m., daily.
7. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department for future building construction. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.
8. Every room or space that is used for assembly having an occupant load of 50 or more shall have the occupant load of the room or space posted in a conspicuous place near the main exit.
9. The operator as well as any future operators of the restaurant shall obtain an Operator License pursuant to Chapter 5.25 of the Municipal Code to ensure the business is operated in a safe manner. Operator Licenses are not transferable. The Operator License may be subject to additional and/or more restrictive conditions to regulate and control potential late-hour nuisances associated with the operation of the restaurant.
10. Approval does not permit the premises to operate as a bar, tavern, cocktail lounge or nightclub as defined by the Newport Beach Municipal Code, unless the Zoning Administrator first approves an amended Minor Use Permit.

11. Food service from the regular menu shall be available to patrons up to thirty (30) minutes before the scheduled closing time.
12. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee.
13. No "happy hour" type of reduced price alcoholic beverage promotion shall be allowed except when served in conjunction with food ordered from the full service menu. There shall be no reduced price alcoholic beverage promotions after 9:00 p.m.
14. Petitioner shall not share any profits or pay any percentage or commission to a promoter or any other person based upon monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks.
15. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department on demand.
16. There shall be no on-site radio, television, video, film or other electronic media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved Special Event Permit issued by the City of Newport Beach.
17. There shall be no live entertainment allowed on the premises.
18. There shall be no dancing allowed on the premises.
19. Strict adherence to the maximum occupancy limits shall be required.
20. No games or contests requiring or involving the consumption of alcoholic beverages shall be allowed.
21. There shall be no exterior advertising or signs of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
22. The use shall be operated consistent with approved security plan for Fashion Island at all times.
23. All owners, managers, and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages. The certified program must meet the standards of the California Coordinating Council on Responsible Beverage Service or other

certifying/licensing body, which the State may designate. The establishment shall comply with the requirements of this section within 180 days of the issuance of the certificate of occupancy. Records of each owner's, manager's, and employee's successful completion of the required certified training program shall be maintained on the premises and shall be presented upon request by a representative of the City of Newport Beach.

24. A Special Event Permit is required for any event or promotional activity outside the normal operational characteristics of this restaurant business that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
25. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes.
26. The operator of the food service use shall be responsible for the clean-up of all on-site and off-site trash, garbage and litter generated by the use.
27. Storage outside of the building shall be prohibited, with the exception of the required trash container enclosure.
28. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris from the premises and on all abutting sidewalks within 20 feet of the premises. Graffiti shall be removed within 48 hours of written notice from the City.
29. The operator shall take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks, and areas surrounding the alcoholic beverage outlet and adjacent properties, if directly related to the patrons of the subject alcoholic beverage outlet.
30. This Minor Use Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.60 of the Newport Beach Municipal Code.
31. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Cucina Enoteca Minor Use Permit including, but not limited to, the Minor Use Permit No. UP2014-002 and Operator License No. OL2014-002 (PA2014-006). This indemnification shall include, but not be limited to, damages awarded

against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. CD 4

Project Plans

PLUMBING CODE OCCUPANT LOAD				
ROOM #	SPACE	AREA	LOAD FACTOR	OCCUPANTS
	ENTRY	216 SF	30	7
	HOST	56 SF	30	2
	SERVICE AREA	170 SF	30	6
	DINING	1,513 SF	30	50
	PRIVATE DINING	354 SF	30	12
	BAR	351 SF	30	12
	STANDING BAR	150 SF	30	5
	DINING	618 SF	30	21
	PANTRY BAR	167 SF	30	6
	PIZZA BAR	308 SF	30	10
	PATIO 1	1,325 SF	30	44
	PATIO 2	712 SF	30	24
	TOTAL:	6,183 SF	30	199

REQUIRED RESTROOM FIXTURES COUNT				
	OCC.	REQ'D W.C.	REQ'D URINALS	REQ'D LAVATORIES
MEN'S	99	2	1	1
WOMEN'S	100	3		1

PROVIDED RESTROOM FIXTURES COUNT				
		W.C.	URINALS	LAVATORIES
MEN'S		2	1	2
WOMEN'S		3		2

PLUMB FIX COUNT

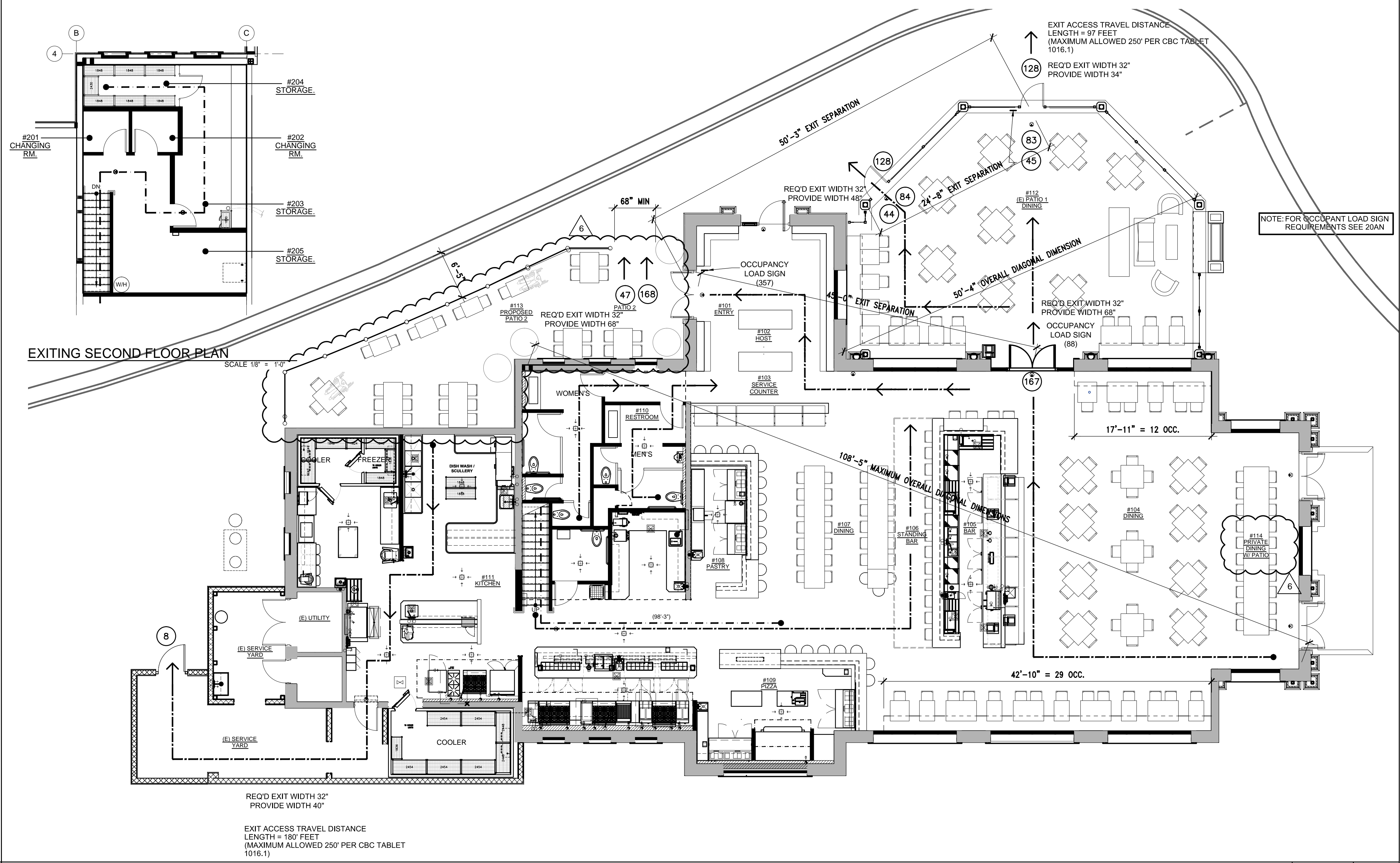
SCALE 3

INTERIOR OCCUPANT LOAD TABLE					
ROOM #	ROOM NAME	AREA	OCC	LOAD FACTOR	OCCUPANTS
101	ENTRY	216 SF	A-2	5	43
102	HOST	56 SF	B	5	11
103	SERVICE AREA	170 SF	B	5	34
104	DINING	1,513 SF	A-2	15	101
105	BAR	351 SF	B	100	4
106	STANDING BAR	150 SF	B	5	30
107	DINING	618 SF	A-2	15	42
108	PANTRY BAR	167 SF	B	100	2
109	PIZZA BAR	308 SF	B	100	4
110	KITCHEN	1,411 SF	B	200	8
111	RESTROOMS	480 SF	B		100
114	PRIVATE DINING	354 SF	A-2	15	23
	BANQUETTE	61 SF	1 PER 1.5 SF		41
201	CHANGING RM.	32 SF	B		50
202	CHANGING RM.	32 SF	B		50
203	STORAGE	196 SF	S-2		200
204	LIQUOR STORAGE	72 SF	S-2		200
205	STORAGE	233 SF	S-2		200
	WALLS & MISC	778 SF			
	TOTAL SF	7,198 SF			
	TOTAL INTERIOR OCCUPANTS				343

EXTERIOR OCCUPANT LOAD TABLE					
ROOM #	ROOM NAME	AREA	OCC	LOAD FACTOR	OCCUPANTS
112	PATIO 1	1,325 SF	A-2	15	89
113	PATIO 2	712 SF	A-2	15	47
	TOTAL PATIO OCCUPANTS				136

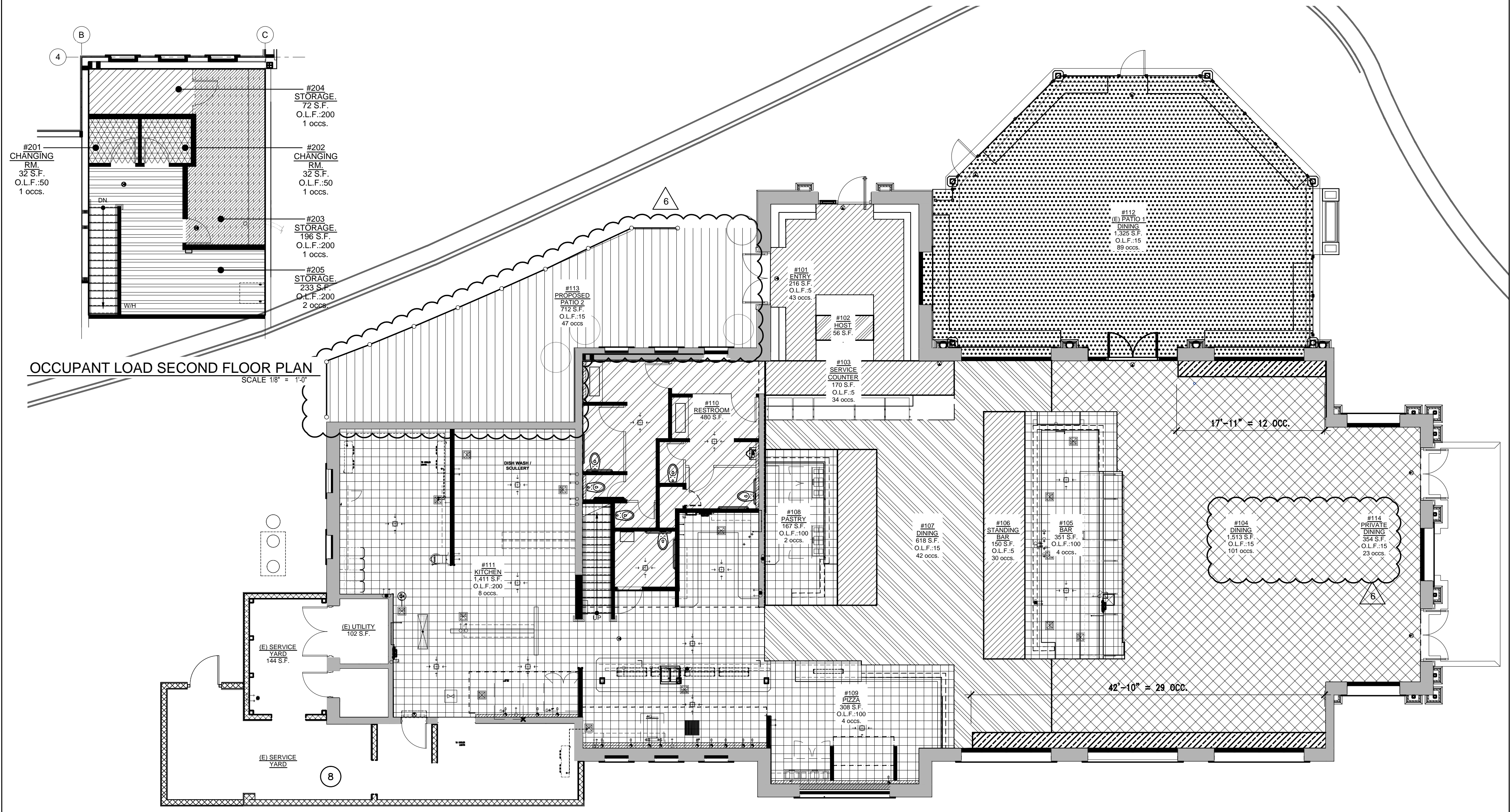
OCCUPANT LOAD TABLE

SCALE 4



EXITING FIRST FLOOR PLAN

SCALE 1
1/8" = 1'-0"



OCCUPANT LOAD FIRST FLOOR PLAN

SCALE 2
1/8" = 1'-0"

m B A

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SAN DIEGO, CA 92117
858.623.0557



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PROJECT: RESTAURANT TENANT IMPROVEMENT 951 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

PROJECT:

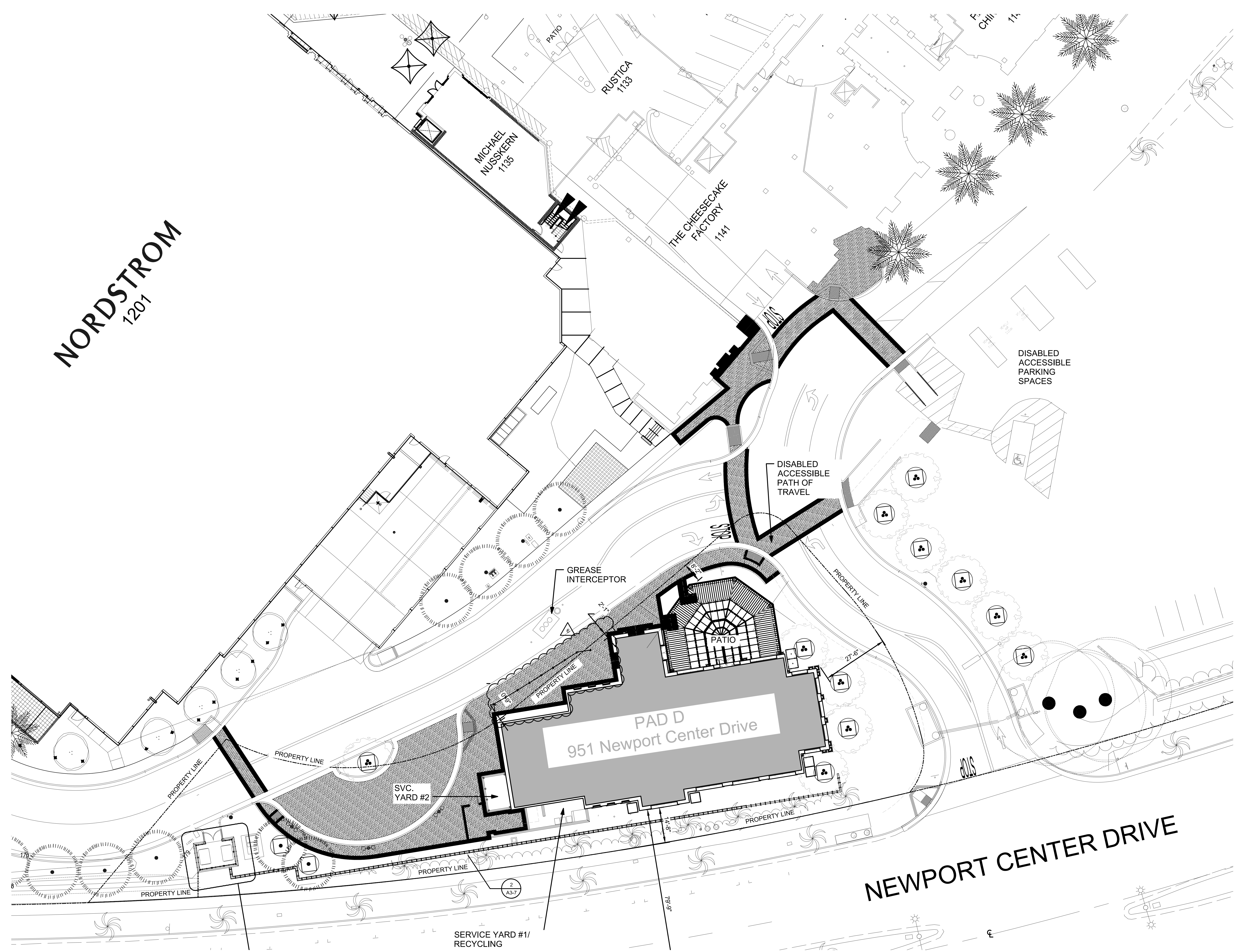
SHEET TITLE: FIRST AND SECOND EXITING PLANS

REVISIONS

- 1 02.05.14 CITY RESUBMITTAL
- 2 03.06.14 CITY RESUBMITTAL
- 3 03.17.14 CONSTRUCTION SET
- 4 04.09.14 REVISED
- 5 SERVICE YARD EXPANSION
- 6 07.28.14 PATIO 2 ADDITIONS

Date 01.21.14
Scale AS NOTED
Drawn CT
Job CUCINA ENOTECA
Sheet No.

EX-1



NORDSTROM
1201

MICHAEL
NUSSKERN
1135

RUSTICA
1133

THE CHEESECAKE
FACTORY
1141

F. CHILLY
114

PAD D
951 Newport Center Drive

SVC.
YARD #2

SERVICE YARD #1/
RECYCLING

GREASE
INTERCEPTOR

PATIO

DISABLED
ACCESSIBLE
PATH OF
TRAVEL

DISABLED
ACCESSIBLE
PARKING
SPACES

NEWPORT CENTER DRIVE



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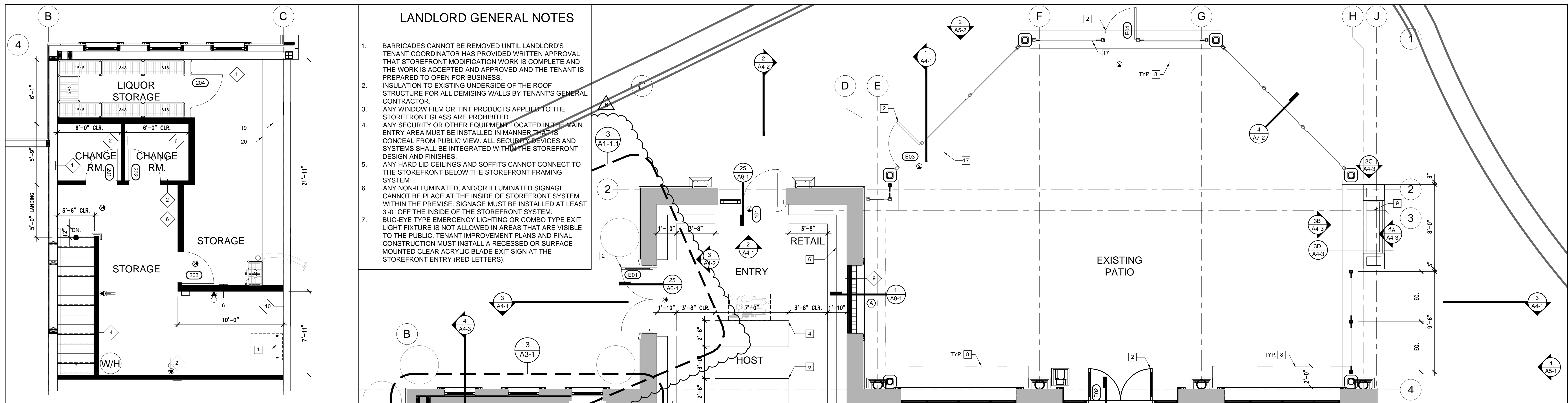
PROJECT:

SHEET TITLE:
SITE PLAN

REVISIONS

1	02.05.14	CITY RESUBMITTAL
2	03.06.14	CITY RESUBMITTAL
3	03.17.14	CONSTRUCTION SET
4	04.09.14	REVISED
5		SERVICE YARD EXPANSION
6	07.28.14	PATIO 2 ADDITIONS

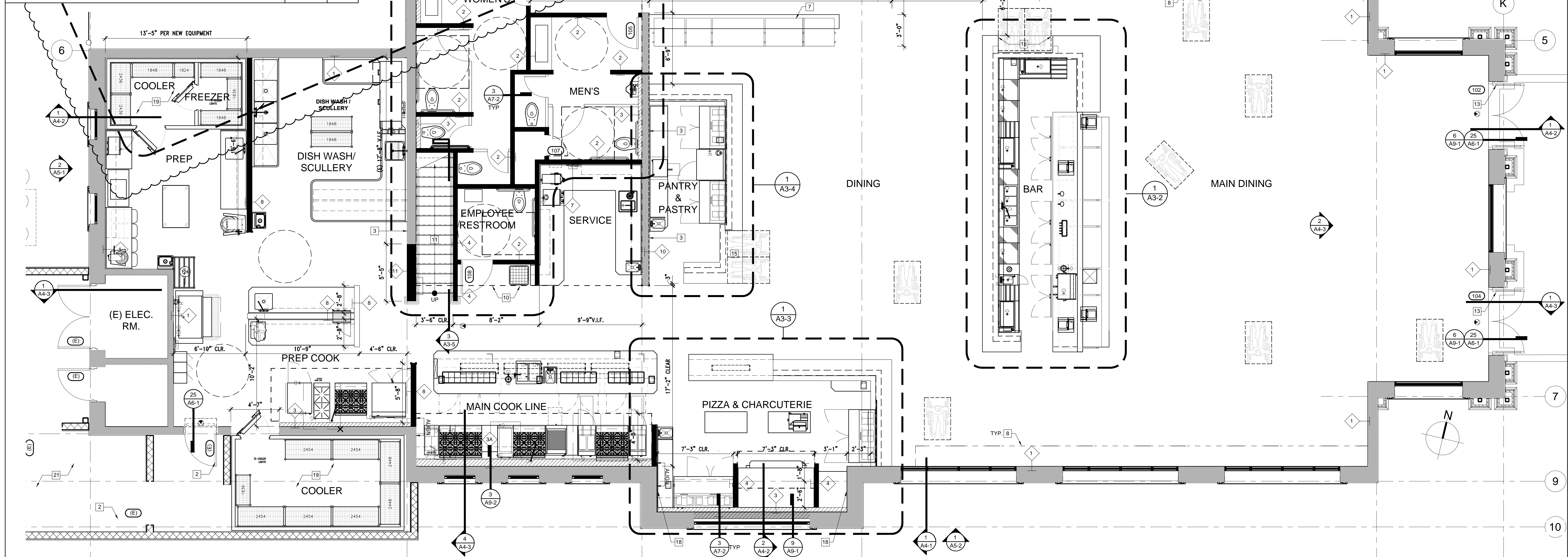
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Job CUCINA ENOTECA
Sheet No.



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0" 2

LANDLORD GENERAL NOTES

- BARRICADES CANNOT BE REMOVED UNTIL LANDLORD'S TENANT COORDINATOR HAS PROVIDED WRITTEN APPROVAL THAT STOREFRONT MODIFICATION WORK IS COMPLETE AND THE WORK IS ACCEPTED AND APPROVED AND THE TENANT IS PREPARED TO OPEN FOR BUSINESS.
- INSULATION TO EXISTING UNDERSIDE OF THE ROOF STRUCTURE FOR ALL DEMISING WALLS BY TENANT'S GENERAL CONTRACTOR.
- ANY WINDOW FILM OR TINT PRODUCTS APPLIED TO THE STOREFRONT GLASS ARE PROHIBITED.
- ANY SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN MANNER THAT IS CONCEAL FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITH THE STOREFRONT DESIGN AND FINISHES.
- ANY HARD LID CEILING AND SOFFITS CANNOT CONNECT TO THE STOREFRONT BELOW THE STOREFRONT FRAMING SYSTEM.
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FIRST FLOOR PLAN
SCALE 1/4" = 1'-0" 1

<p>EXISTING WALL (EXPOSED WD. STUD)</p> <p>EXISTING WD. FRAME DEMISING WALL NEW 5/8" TYPE "X" GYP. BD. OVER EXPOSED SIDE</p> <p>FLOOR TO STRUCTURE JOIST (TO 8'-0" A.F.F.) 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EA. SIDE 2A: SAME AS ABOVE W/ 6" 20 GA METAL STUDS</p> <p>FURRED OUT WALL 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. ON ONE SIDE 3A: SAME AS ABOVE W/ 6" 20 GA METAL STUDS</p>	<p>FLOOR TO UNDERSIDE OF STRUCTURE WALL (TO 16'-6" A.F.F.) 6" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. ON ONE SIDE</p> <p>BAR'S DIE WALL (UNDER BAR COUNTERTOP) 6" 20 GA METAL STUDS @ 16" O.C. PROVIDE BRACING AS REQUIRED.</p> <p>FLOOR TO STRUCTURE JOIST (TO 8'-0" A.F.F.) 6" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EA. SIDE 2A: SAME AS ABOVE W/ 6" 20 GA METAL STUDS</p> <p>PASTRY WALL 3-5/8" 20 GA METAL STUDS @ 16" O.C. PROVIDE BACKING AS REQUIRED FOR UPPER CABINETS</p>	<p>FLOOR TO STRUCTURE (TO ±10'-6" AFF) 3 5/8" 20 GA METAL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EA. SIDE.</p> <p>EXTERIOR INFILL LOW WALL 2x WOOD STUDS @ 16" O.C. MATCH (E) WIDTH & EXT. FINISH</p> <p>EXISTING STRUCTURAL WALL NEW 5/8" PLYWOOD FOR ART WORK</p> <p>NEW STRUCTURAL WALL PER STRUCTURAL DRAWINGS TO ALIGN WITH (E)</p>
--	---	--

PARTITION LEGEND

<p>(E) ROOF ACCESS STAIR</p> <p>EXISTING DOOR WITH PANIC HARDWARE</p> <p>(E) SHEAR WALL, SEE STRUC. DWGS.</p> <p>34" HIGH HOST COUNTER, OWNER TO PROVIDE G.C. TO INSTALL</p> <p>WINE COOLER, REFER TO FOOD SERVICE DWGS</p> <p>LINE OF WINE RACK, BY OTHERS</p> <p>LINE OF SERVICE STATION</p> <p>(N) FIXED BANQUET SEATING</p>	<p>OPEN FIRE PIT (DEFERRED SUBMITAL)</p> <p>LINE OF 2ND FLOOR ABOVE</p> <p>(N) STAIR, REFER TO STRUC. DWGS.</p> <p>(N) KITCHEN HOOD, REFER TO FOOD SERVICE DRAWINGS</p> <p>RELOCATED DOORS</p> <p>MIN 60"x60" CLR SPACE</p> <p>34" HIGH COUNTER</p> <p>LOCATIONS OF INTERNATIONAL SYMBOL OF ACCESSIBILITY</p> <p>TACTILE EXIT SIGN WITH THE WORD "EXIT". SEE DETAIL 6 AN</p>	<p>HOT ROLLED STEEL</p> <p>UPPER CABINET, FORMICA COLOR: GREY</p> <p>LOWER CABINETS, FORMICA COLOR: GREY</p> <p>FOR SERVICE YARD EXPANSION SEE SHEET A3-7</p>
---	--	---

KEY NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT IN PLACE EXISTING EQUIPMENT, FIXTURES, DOORS, WINDOWS, CEILING, FLOORING AND WALLS NOT DEMO.
- FOR KITCHEN AND BAR EQUIPMENT SEE FOOD SERVICE DRAWINGS
- FOR DOOR AND WINDOW SCHEDULE SEE SHEET A6-1.
- FOR STRUCTURAL INFORMATION SEE STRUCTURAL DRAWINGS

GENERAL NOTES

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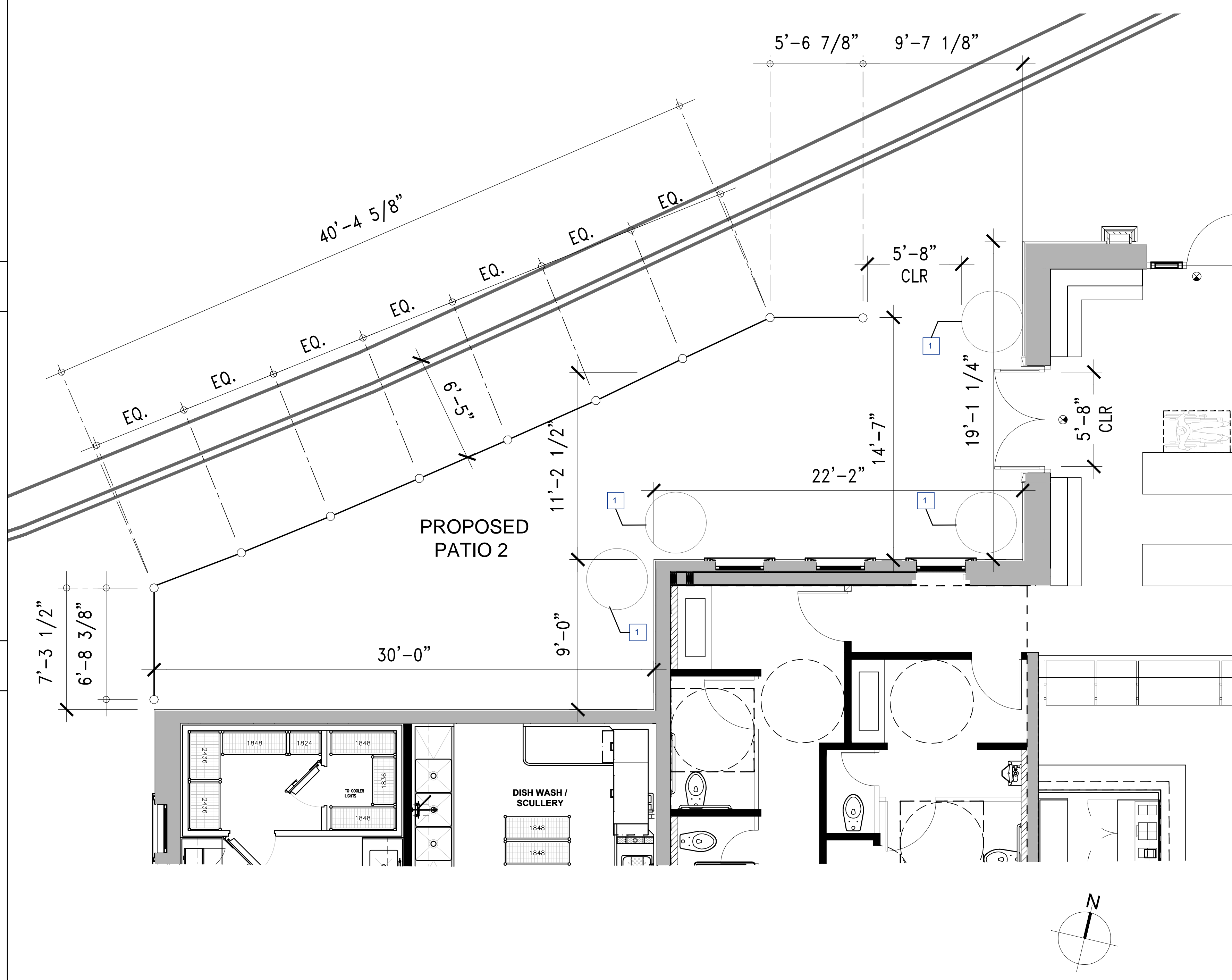
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FIRST AND SECOND FLOOR PLANS

REVISIONS
1 02.05.14 CITY RESUBMITTAL
2 03.06.14 CITY RESUBMITTAL
3 03.17.14 CONSTRUCTION SET
4 04.09.14 REVISED
5 SERVICE YARD EXPANSION
6 07.28.14 PATIO 2 ADDITIONS
Date 01.21.14
Scale AS NOTED
Drawn CT
Job CUCINA ENOTECA
Sheet No. A1-1



ENLARGED PATIO 2

SCALE
1/4" = 1'-0"

3

KEYNOTES

1 MOVABLE PLANTER

m B A

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PROJECT:

SHEET TITLE:

PATIO 2 ENLARGED FLOOR PLANS

REVISIONS

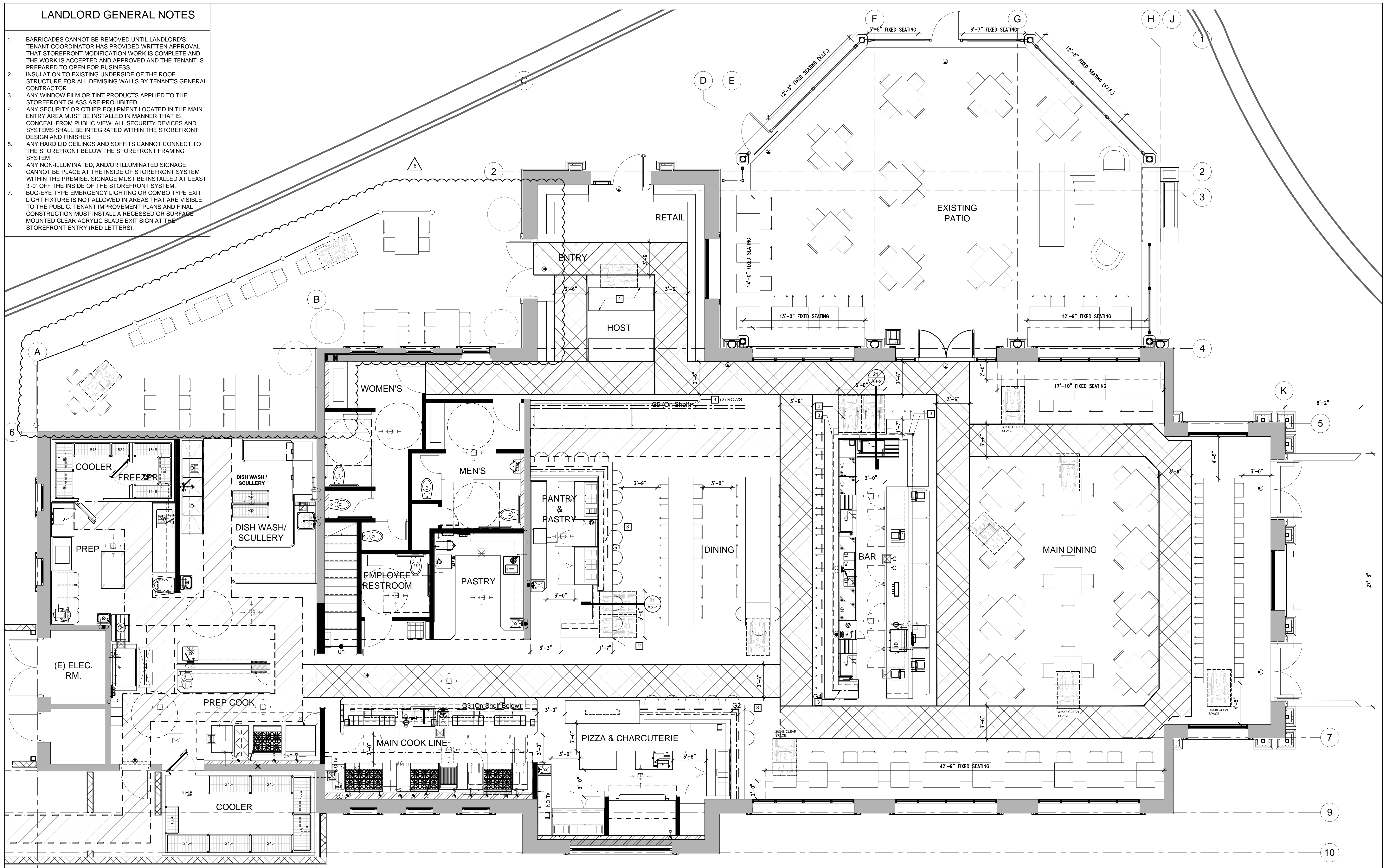
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2	03.06.14 CITY RESUBMITTAL
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Date 01.21.14
Scale AS NOTED
Drawn CT
Job CUCINA ENOTECA

Sheet No.
A1-1.1

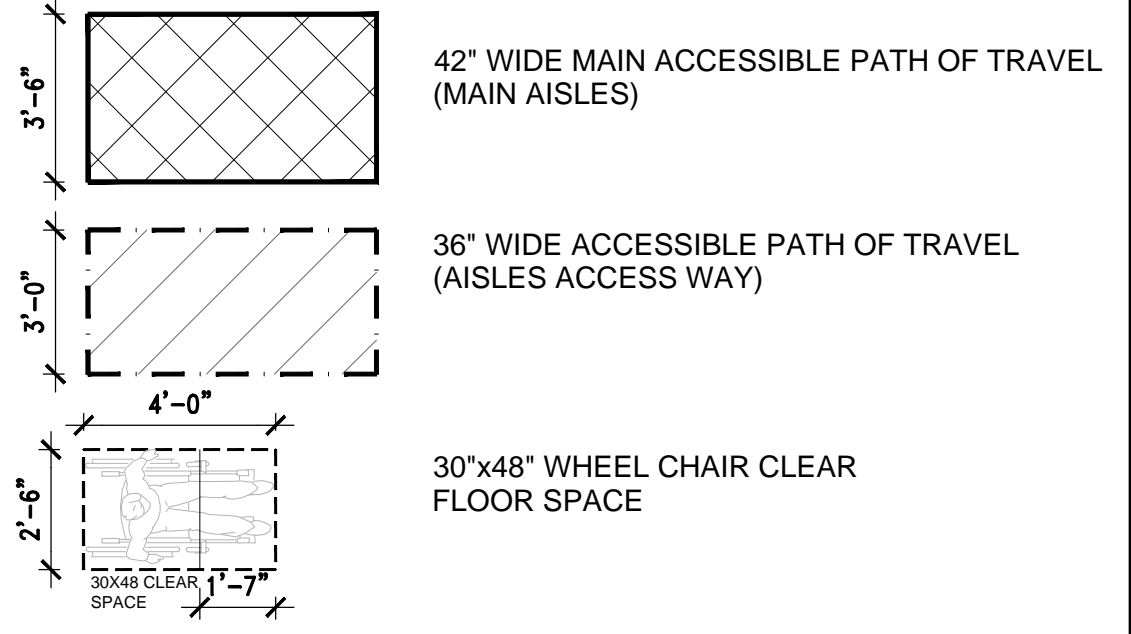
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FIRST FLOOR FINISH PLAN

SCALE
1/4" = 1'-0" 1



FLOOR LEGENDS

- KEY NOTES**
1. MAXIMUM HEIGHT 34" ACCESSIBLE RECEPTION COUNTER
 2. ACCESSIBLE BAR COUNTER HEIGHT AT 34" HIGH MAX.
 3. UNDER COUNTER CONTINUOUS LINEAL L.E.D., LIGHT FIXTURE TYPE 'G', REFER TO ELECTRICAL DWGS.

KEY NOTES

- GENERAL NOTES**
1. FOR ACCESSIBLE COUNTERS AND TABLES KNEE SPACE = 27" HIGH, 30" WIDE AND 19" DEEP. PER SECTION 1122B.3 FIG11B-13.
 2. FOR ACCESSIBLE TABLE TOPS = 28" TO 34" HIGH AND 30" WIDE MIN.
 3. PER SECTION (1122B.4).
 4. FOR ACCESSIBLE COUNTER TOPS = 28" TO 34" HIGH MAX. AND 60" WIDE MIN.
 5. ACCESSIBLE SEATING WILL BE PROVIDED PER SECTION 1122B.1
 6. WHEELCHAIR ACCESS SHOULD BE PROVIDED IN ALL AREAS WHERE A DIFFERENT TYPE OF FUNCTIONAL ACTIVITY OCCURS PER SECTION (1104B.5.3).

GENERAL NOTES

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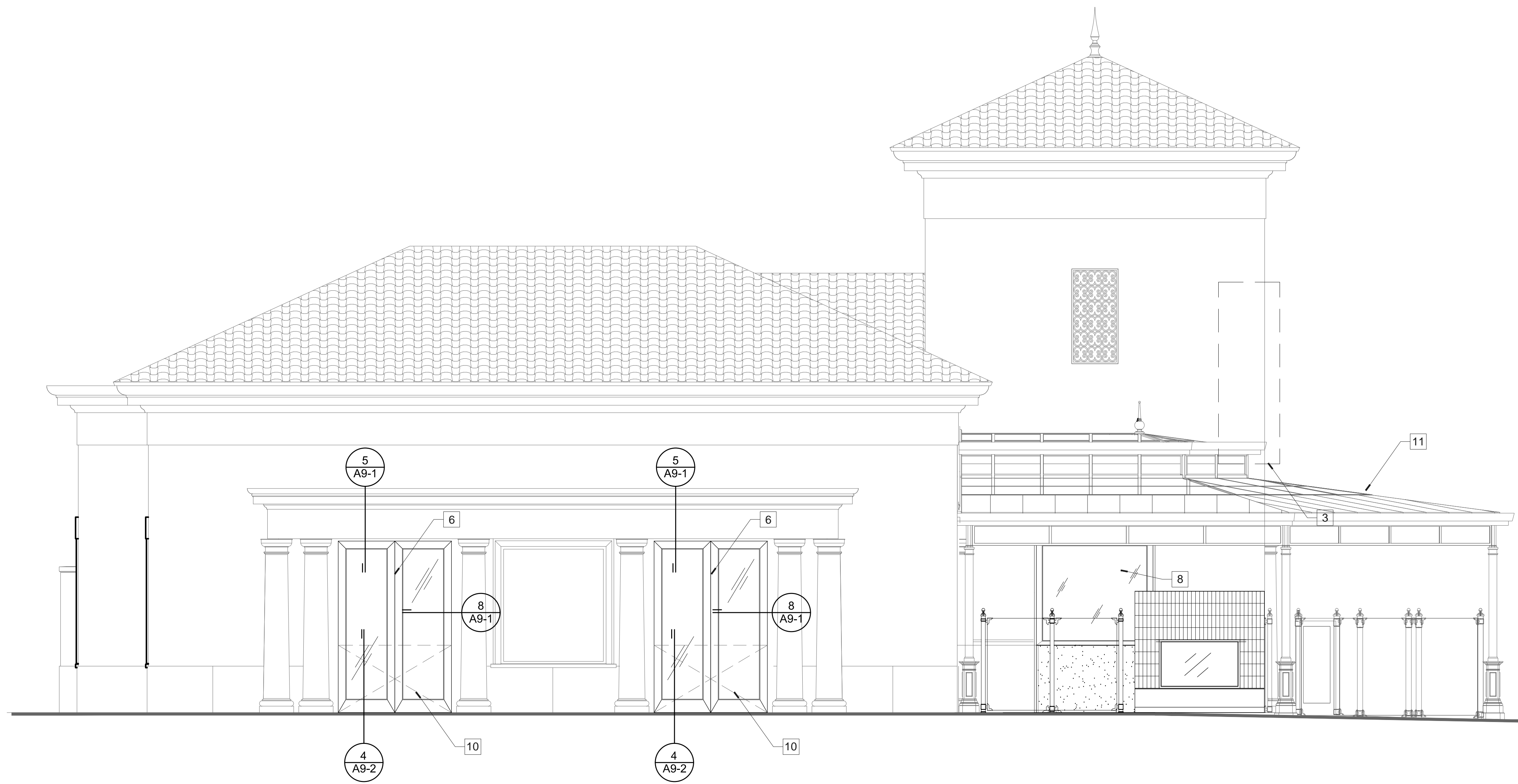
SHEET TITLE:
FIRST FLOOR SEATING PLAN

REVISIONS

1	02.05.14 CITY RESUBMITTAL
2	03.06.14 CITY RESUBMITTAL
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6	07.28.14 PATIO 2 ADDITIONS

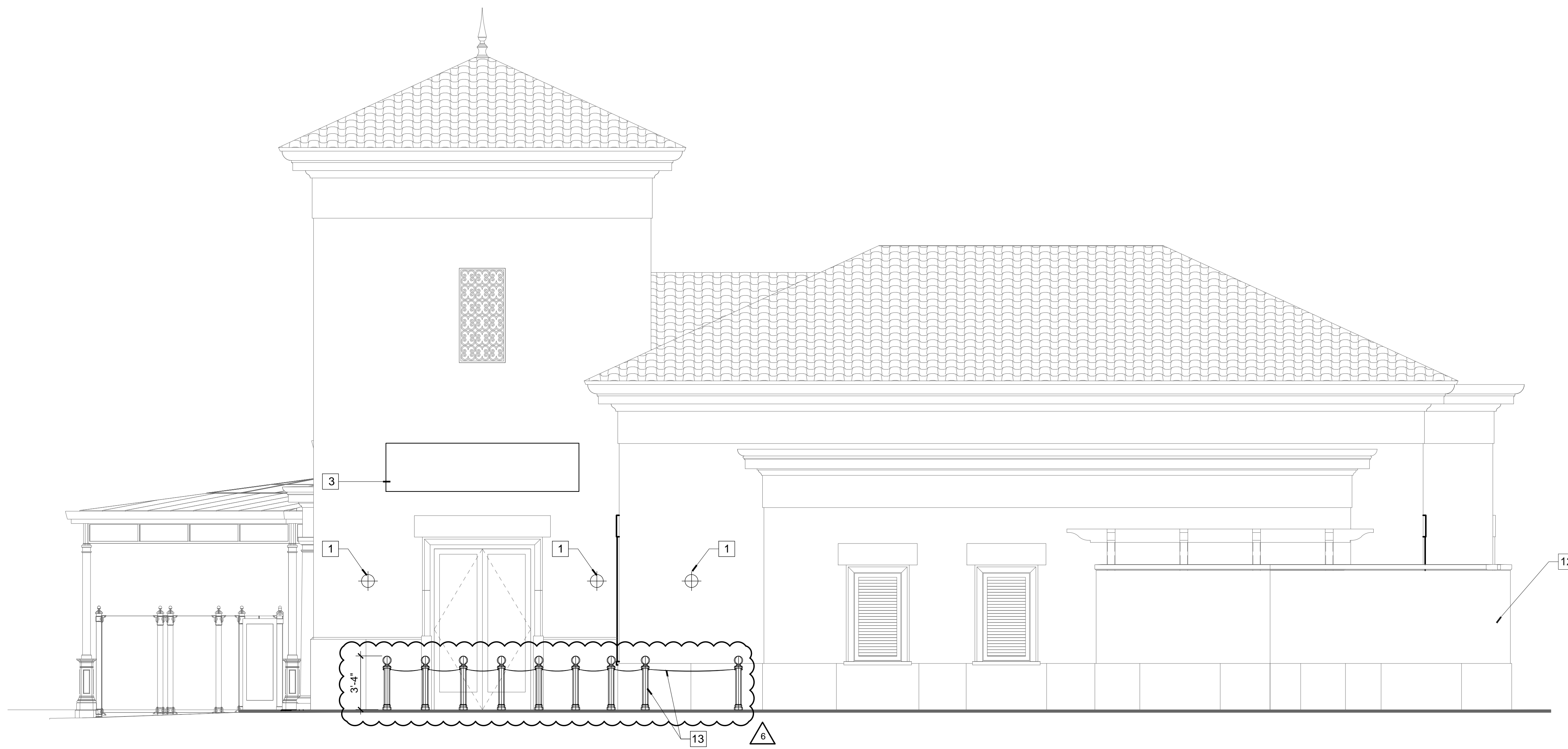
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Job: CUCINA ENOTECA
Sheet No.:

A1-3



EXTERIOR ELEVATION

SCALE
1/4"=1'-0" 1

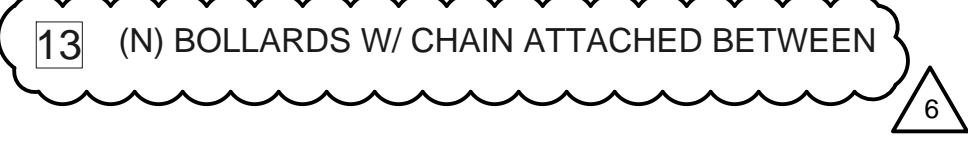


EXTERIOR ELEVATION

SCALE
1/4"=1'-0" 2

KEY NOTES

- 1 (N) EXTERIOR LIGHTS
SEE LIGHTING PLAN
- 2 NOT USED
- 3 SIGNAGE LOCATION
(SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT)
- 4 (N) PIVOT DOOR
- 5 PROVIDE (N) FIXED SHUTTERS MATCH (E)
(SEE LANDLORD DETAILS 9, 10, 11 A9-1)
- 6 RELOCATE (E) DOORS MODIFY OPENING AS
REQUIRED
- 7 (N) DOORS TO MATCH (E)
- 8 (N) FIXED WINDOW
- 9 INFILL AREA BELOW (N) BI-FOLD WINDOWS MATCH (E)
FINISHES
- 10 REMOVE AREA UNDER (E) WINDOWS BEING REMOVED
- 11 PATIO UNDER SEPARATE PERMIT
- 12 (N) WALL SEE SHEET A3-7
- 13 (N) BOLLARDS W/ CHAIN ATTACHED BETWEEN



GENERAL NOTES

-
- 1. ALL NEW EXTERIOR FINISHES TO MATCH EXISTING

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PROJECT:

(E) EXTERIOR ELEVATIONS

SHEET TITLE:

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Sheet No.

A5-1

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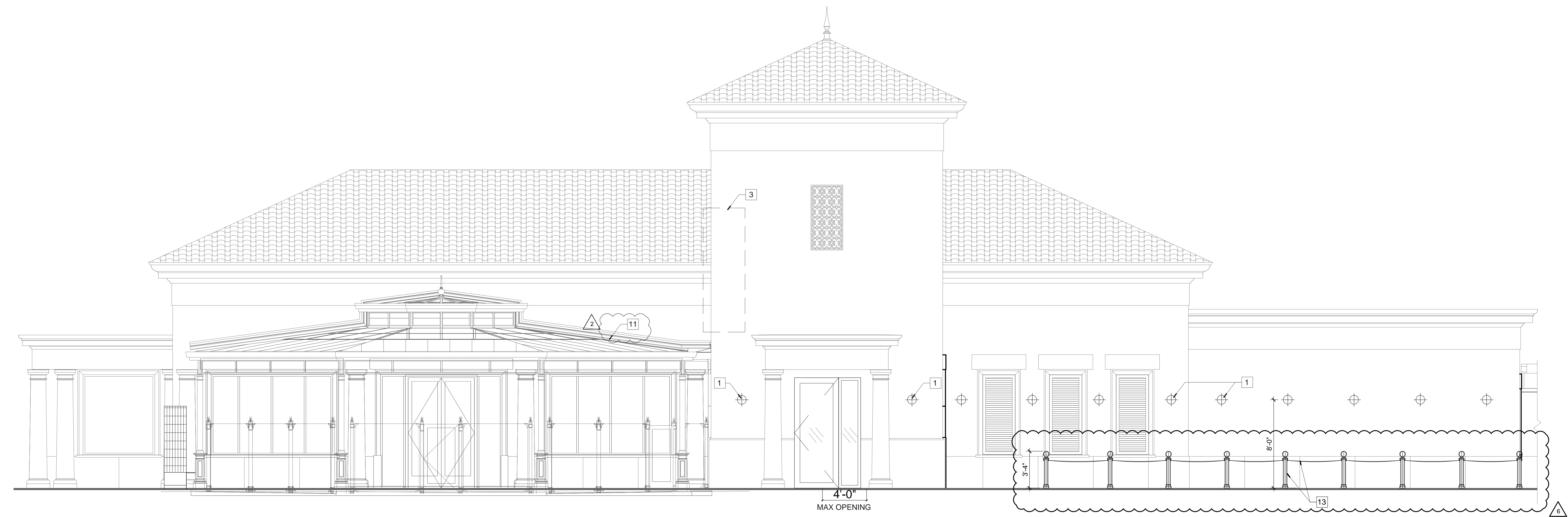
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A5-2



EXTERIOR ELEVATION

SCALE 1
1/4"=1'-0"



EXTERIOR ELEVATION

SCALE 2
1/4"=1'-0"



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR **ACTION LETTER**

Application No. **Staff Approval No. SA2014-020 (PA2014-145)**
Applicant **Irvine Company**
Site Address **21133 and 21155 Newport Coast Drive**
Legal Description **Parcel 2, Parcel Map 2000-160**

On **October 3, 2014**, the Community Development Director approved Staff Approval No. SA2014-020 to allow site improvements and upgrades to existing outdoor dining areas at an existing shopping center, and found the proposed changes to be minor, and in substantial conformance with previously approved Planning Application No. PA00-0071. This approval is based on the following findings and is subject to the following conditions.

PROJECT SUMMARY

A staff approval for a determination of substantial conformance with Planning Application No. PA00-0071 which permitted the construction of a shopping center in the Newport Ridge Planned Community. The proposal involves the conversion of an existing service area to nonexclusive outdoor public space, a new trash enclosure, enlarged outdoor patio area for exclusive use by two (2) tenant spaces, hardscape and landscape improvements, and a net reduction of two (2) parking spaces.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** PC53 (Newport Ridge)
- **General Plan:** CN (Neighborhood Commercial)

BACKGROUND

Planning Application No. PA00-0071 was conditionally approved September 12, 2000, by the Planning Commission of the County of Orange for the construction of a shopping center consisting of 102,959 square feet of retail commercial uses (standalone 55,232 square-foot supermarket and three (3) retail/food service buildings totaling 47,727 square feet) and a 541 space parking lot (Attachment No. CD 3). The approval consisted of a site development permit for the principal development and proposed uses, a coastal development permit for the portion of the site lying in the Newport Coast Planned Community, and a use permit to allow the access way from Newport Coast Drive to be 45 feet in length instead of 90 feet required by code (Attachment No. CD 4).

On September 27, 2000, a resident filed an appeal of the Planning Commission approval identifying concerns regarding the access way on Ridge Park Road, relocation of the market, hours of deliveries, and overflow of school parking. The Board of Supervisors of the County of Orange denied the appeal on December 5, 2000, and upheld the Planning Commission approval (Attachment No. CD 5).

On March 13, 2001, the Current Planning Services Division (CPSD) of the County of Orange determined that changes to the approved shopping center plan (CP01-0014) were in substantial compliance with the original action by the Planning Commission. These changes included an additional 701 square feet of floor area (102,959 + 701 = 103,660 square feet) and minor revisions to the parking layout. Although there were no changes to the 541 parking spaces proposed, the minimum parking requirement increased from 515 to 519 spaces (103,660/200) (Attachment No. CD 6).

On June 14, 2004, the CPSD of the County of Orange determined that changes to the sign program (CP04-0018) were in substantial compliance with the original action by the Planning Commission (Attachment No. CD 7).

PROPOSED CHANGES

The proposed improvements to the shopping center generally occur in the two (2) outdoor courtyards separating the three (3) retail/food service buildings. The proposal includes converting the existing service area (between 21155 and 21157 Newport Coast Drive) to outdoor public space for nonexclusive use with new hardscape and landscaping. The existing trash enclosures are proposed to be relocated and rebuilt in the parking lot. A total of four (4) spaces will be removed to accommodate the new trash enclosure with two (2) new spaces provided adjacent to the remodeled outdoor space, resulting in a net loss of two (2) spaces. To the east (between 21123 and 21133 Newport Coast Drive), the proposal involves new hardscape, landscaping, the addition of an outdoor fireplace, and a trellis above the existing fountain. In addition, two (2) existing outdoor dining areas are proposed to be expanded and upgraded with steel and glass windscreens.

FINDINGS

Pursuant to Section 20.54.070, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

- A. *Are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The Newport Coast Shopping Center is located within the Newport Ridge Planned Community (PC 53) Zoning District and the proposed improvements are consistent with all applicable standards of development.
2. The net loss of two (2) parking spaces will result in a total of 537 parking spaces on site which exceeds the 519 spaces required for the shopping center.
3. Expansion of existing outdoor dining areas does not result in the provision of additional parking on site because no additional floor area results from the change.
4. The proposed improvements are consistent with the findings and conditions approved by Planning Application No. PA00-0071.

Finding:

- B. Do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. An Initial Study/Addendum was prepared for the original approval of the shopping center and reviewed along with previously certified Final Environmental Impact Report 517 (for the original approval of the Newport Ridge Planned Community) and Negative Declaration 96-0166 (for a residential development crossing boundary lines in the Newport Coast Planned Community). The resulting CEQA determination was that the shopping center would create no substantial change from the previous environmental analysis.
2. The proposed improvements do not involve a feature that was a basis for or subject of findings of exemptions in FEIR 517 or Negative Declaration 96-0166.
3. The proposed improvements do not conflict with the general plan designation or zoning, will not affect geological conditions, water quality, transportation, circulation, air quality, noise, recreation, biological and/or cultural resources, or public services.

Finding:

- C. Do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed improvements do not involve a feature that was specifically addressed in the staff report, meeting minutes, or subject to a condition of approval for Planning Application No. PA00-0071.

Finding:

- D. Do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The conversion of an existing service area to outdoor space, the relocation of the trash enclosures, and upgrades to the hardscape and landscaping does not result in an expansion or change in operational characteristics of the shopping center.
2. The size of outdoor dining areas proposed to be upgraded and expanded was not established by the conditions of approval for the shopping center. The original approval permitted retail and food service uses and specified building floor area, which will not be affected.
3. The proposed expansion of outdoor dining area is minor in nature and will not affect the availability of parking.
4. Deliveries to the retail and food service uses will not be affected by the proposed improvements. Deliveries to the site will continue to be required to comply with Condition No. 40 of the original Planning Application approval.

DETERMINATION

This staff approval has been reviewed and a determination has been made that the proposed changes to the shopping center are minor, and in substantial conformance with the approved Planning Application No. PA00-0071.

CONDITIONS OF APPROVAL

All previous findings and conditions of approval of Planning Application No. PA00-0071 shall remain in full force and effect as stated in Attachment Nos. CD 3 and CD 4, with the addition of the following conditions:

1. The development authorized by this Staff Approval shall be in substantial conformance with the approved project plans and Planning Application No. PA00-0071.
2. A building permit shall be obtained prior to commencement of construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.

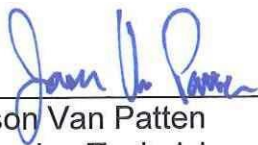
3. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Newport Coast Shopping Center including, but not limited to, SA2014-020 (PA2014-145). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By:



Jason Van Patten
Planning Technician

JM/jvp

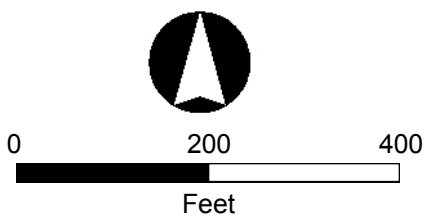
Attachments: CD 1 Vicinity Map
CD 2 Applicant's Project Description
CD 3 Planning Commission Minutes dated September 12, 2000
CD 4 Conditions of Approval
CD 5 Notice of Determination dated December 5, 2000
CD 6 Determination of Substantial Compliance dated March 13, 2001
CD 7 Determination of Substantial Compliance dated June 14, 2004
CD 8 Project Plans

Attachment No. CD 1

Vicinity Map



Newport
Beach
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

Attachment No. CD 2

Applicant's Project Description



PA2014-145 for SA2014-015
21133 and 21155 Newport Coast Drive
Irvine Company

CAA PLANNING

September 11, 2014

Ms. Brenda Wisneski
Deputy Community Development Director
City of Newport Beach
100 Civic Center Drive
Newport Beach, CA 92663

Subject: Staff Approval Application
Site Improvements, Newport Coast Shopping Center
21133 / 21155 Newport Coast Drive

Dear Ms. Wisneski:

On behalf of Irvine Company, CAA Planning, Inc. (CAA) submits the enclosed application for a Staff Approval for planned site improvements at the Newport Coast Shopping Center. The improvements consist of the relocation of two existing trash enclosures, the relocation of the existing grease interceptor, upgrades to an existing non-exclusive outdoor pedestrian courtyard, and the construction of a new non-exclusive outdoor pedestrian courtyard.

Background

The Newport Coast Shopping Center (Center) is located at the intersection of San Joaquin Hills Road and Newport Coast Drive, within the Newport Ridge Planned Community (NRPC), adopted by the Orange County Board of Supervisors in 1998. Formerly known as the Newport Ridge Retail Center, the Center was approved in 2001 for the development of 102,959 square feet of retail/restaurant space, and a parking requirement of 515 spaces.

The Center is currently developed with 103,712 square feet of commercial and retail uses, with an existing parking inventory of 537 spaces, resulting in a 22 space surplus. In addition to various commercial and retail uses, the site includes a trash enclosure and grease interceptor adjacent to a suite occupied by Starbucks, and an outdoor pedestrian courtyard located between two buildings at the corner of Newport Coast Drive and San Joaquin Hills Road.

Project

The project site has an existing service corridor for trash collection, utility services access, grease interceptor access, and deliveries in an area between 21155 Newport Center Drive and 21157 Newport Center Drive. The applicant proposes to relocate the trash enclosures and grease interceptor currently located adjacent to the Starbucks suite, remove existing enclosure walls, and replace with planters and an outdoor area for non-exclusive seating. Deliveries will be unaffected by the proposed changes. Upon relocation of the trash enclosures and grease interceptor, the previously maintained parking lot entry point will be replaced with two new parking stalls and the current concrete sidewalk will be removed and replaced with pavers.



Ms. Brenda Wisneski
August 26, 2014
Page 2 of 2

The trash enclosure and grease interceptor are proposed to be relocated to the edge of a middle parking aisle, and anticipated to occupy four parking spaces. As stated above, the Center currently exceeds the parking requirement by 22 spaces. The proposed location of the trash enclosure and grease interceptor requires the loss of four parking spaces; however, two new parking spaces are proposed for the existing parking lot entry, upon relocation of the trash enclosure and grease interceptor. This adjusts the total parking space count at 535 spaces, which exceeds the parking requirement by 20 spaces.

The current outdoor patio space between the buildings at the corner Newport Coast Drive and San Joaquin Hills Road is proposed to be upgraded, and includes new landscaping. The existing entry way is proposed to be re-designed by removing the round raised planters and replacing them with a fireplace. The existing restaurant patios will be expanded with a small planter to create a continuous design and an additional patio will be added in front of the restaurants, a small planter will be added adjacent to the patios. The pavers in the area will be adjusted to grade due to the hardscape changes.

Conclusion

The proposed project will result in a net loss of two parking spaces for the Center. However, the Center will benefit greatly from the new We believe that a finding of substantial conformance can be made, as the relocation of a trash enclosure and grease interceptor, the upgrade of an existing out-door patio, and the construction of a new out-door patio remains consistent with the approved Site Development Permit. If you have any questions, please do not hesitate to contact me at 949-581-2888.

Sincerely,

CAA PLANNING, INC.

A handwritten signature in blue ink that reads "Paul Schaffner".

for Shawna L. Schaffner
Chief Executive Officer

Attachments: Application w/Fee
Authorization Letter
Plans (2-Full Size, 4 -11 x 17)
CD-ROM

c: Aaron Fry

Attachment No. CD 3

Planning Commission Minutes dated September 12, 2000

PLANNING COMMISSION MINUTES

Date: September 12, 2000

Time: 1:33 P.M.

Item 2.: Public Hearing – Planning Application No. PA00-0071 for Site Development Permit, Coastal Development Permit and Use Permit, EIR 517, of Vons - a Safeway Company.

Executive Officer Mathews introduced the project.

Planner IV Melton gave the staff presentation. He stated that the applicant is requesting to construct a retail shopping center on a 10.8-acre site in Planning Area 12 of the Newport Ridge Planned Community and Planning Area 8 of the Newport Coast Planned Community. He noted that the principal commercial use is a Vons Pavilion Supermarket. Mr. Melton stated that a total of 541 parking spaces are being provided for the commercial center. He stated that the parking spaces' being provided exceeds the County parking requirements. Mr. Melton pointed out on the exhibit the project location, surrounding uses and boundary streets. He discussed egress and ingress into the commercial center. He pointed out a portion of the site that is in a coastal zone. He discussed the County and Coastal appeal process. He noted that Planning Area 8 of the Newport Coast PC was residential, but limited commercial use was a Principal Permitted Use and therefore, that portion of the project in the coastal zone was not an appealable project. Mr. Melton stated that the proposed project is consistent with the County Development Standards. He stated that a Use Permit was required because an accessway from Newport Coast Drive was 45 feet in length and that the Zoning Code requirement was 90 feet.

Mr. Melton stated that staff did receive input from residents expressing 5 concerns. He said the Planning Commission was given copies of the letters, faxes and emails received to date. He said the areas of concern expressed was:

1. The access to the site on Ridge Park Road;
2. Additional screening between the project and residential area;
3. Hours of business operation and the hours of Vons truck delivery;
4. Location of the Vons loading dock and trash area; and,
5. Potential impacts of additional traffic on schoolchildren walking to the school site located on the other side of Newport Coast Drive.

Mr. Melton addressed these concerns in the staff report and reiterated his responses to the concerns. He pointed out three access sites to the site. He pointed out the area shown as "future development" owned by The Irvine Company and noted that development could be residential or commercial. He noted that the application today is for Vons and the inline retail buildings. Mr. Melton pointed out the new school location on Newport Coast Drive.

Mr. Melton said that he handed out to the Planning Commission a letter from the Irvine Company noting a meeting with residents of the adjacent residential area, Mark and Alicia Frenza. Mr. Melton said that as a result of that meeting, the Irvine Co. was proposing revisions to Condition 22 and 36, and a new condition 40. He said these revisions appear to address the major concerns of the area residents. Mr. Melton noted that this site has always been intended as a commercial site. He stated that staff received a letter of support for the proposed project from Mr. Doug Woodyard, a resident of the Saint Laurent residential area.

Thomas Mathews, Director of PDSD, requested a clarification on the number of conditions of approval.

Mr. Melton stated that the six conditions indicated in the Irvine Co. letter have been incorporated into the project approval by the revisions to condition 22 and 36 and the addition of condition 40. He stated that the project has a total of 40 conditions of approval.

Commissioner Goacher referred to condition #36 and asked Mr. Mathews if they were comfortable with getting involved in the hours of operation.

Mr. Mathews responded that applying the hours of operation lets everyone know where we stand. He stated that if everyone involved agrees, then ground rules have been established.

Keith Eyrich, project applicant, representing The Irvine Company, gave a brief presentation. He stated that The Irvine Company and the Vons Company worked very hard with the residents to resolve issues. He stated that they met with the homeowners association twice and met with Mr. and Mrs. Frenza in their home to address their concerns as stated in their letter. Mr. Eyrich stated that Vons is the only supermarket in the Newport Coast area.

Robert Sparran, representing Vons Company, stated that they have owned the property since 1993 and have been waiting for enough residents to move into the area to develop this Vons Pavilion. He stated that they have received numerous letters asking when they would be developing this site. Mr. Sparran stated that he felt that the size of the Vons Pavilion was appropriate for this neighborhood.

2:25 P.M.: The Chairman opened the public hearing.

Daniel Wanpole, Vice President of the Newport Ridge Homeowners Association, stated that they had one minor concern. He stated that the concern was the entrance off Newport Coast Drive. He stated that the speed limit on this road was 65 MPH and that he had a concern normal 90 feet of stacking distance being reduced to 45 feet. He requested that staff look at this carefully. Mr. Wanpole stated that he didn't want to see residential development on the site owned by The Irvine Company, he preferred

commercial development. He noted that when he purchased his home he was told that this site would be commercial.

Wayne Redfearn stated that the school district changed the school site since he purchased his home. He stated that the California Highway Patrol is recommending parking on Ridge Park road so parents can walk their children across the Newport Coast Drive to school. He expressed safety and noise concerns. He stated that there is a lot of activity along Ridge Park road and with large trucks entering the retail center and with the Fire Station there, it provides an opportunity for a real disaster to occur. Mr. Redfearn requested that no access be taken of Ridge Park road and that Vons has a fully enclosed loading dock.

Thomas Still presented his business background to the Commission. He stated that he is fully aware that this site will be commercially developed. He expressed concern with the school site and truck traffic on Ridge Park road. He stated that the street is narrow and has a center divider and provides a left turn into the shopping center. He requested that right turns in and out of the shopping be allowed only. He also requested that the loading dock be fully contained. Mr. Still's stated that this combination leads to a disaster waiting to happen. He suggested that deliver hours be a conditioned to prohibit deliveries during morning and afternoon school hours when children are coming and going from school.

Alicia de Frenza stated that she supported the shopping center. She thanked Vons Company and The Irvine Company for meeting with her and her husband. She stated that they listened and made reasonable concessions. Ms. Frenza stated that there is a petition that was delivered to The Irvine Company signed by 40 homeowners and she wanted everyone to know that she had no part in this petition. She asked whom she should deliver a copy of this petition to because she wanted it to become part of the record and wanted the Commission to have a copy. Ms. Frenza requested that traffic be looked at in this area in the future. She stated that the school only provides 10 parking spaces and noted that on the directive of the CHP parents should park along Ridge Park road.

Commissioner Long asked if the school would be posted with a speed limit. She stated that when she is approaching a school zone there are signs with speed limited posted. She stated that more parking space are needed.

Ms. Frenza responded yes the school speed limit would be posted but traffic was really fast on Ridge Park road.

David Ellis, President of St. Laurent Homeowners Association, stated his backyard over looks the project site. He discussed a meeting with the association, Vons and The Irvine Company that was held in August. Mr. Ellis stated that he had submitted a letter requesting conditions regarding hours of operation, left turn only, and limiting hours of delivery. He stated that the school site has been relocated from it original location to the present location and he felt this was a bad decision. He stated he was concerned with 6, 7 and 8 year old crossing a freeway with 65-MPH traffic.

James Land stated that safety would remain a concern at this site for years to come. He stated that he was informed when he purchased his home that this site would be commercially developed. He stated that the parking is not adequate for the size of the commercial center being proposed. He asked the Commission to designate a specific use for the remaining area if possible.

Bruce Rohn, St. Laurent homeowner, stated that he doesn't agree with this project as other residents have stated. He stated that this is a beautiful residential area and he did not want to see Vons when he drives in and out of his neighborhood. Mr. Rohn's suggested a stop sign at the entrance to Ridge Park road.

Mr. Redrearn stated that he has been involved with the school and is trying to solve congestion at Ridge Park road. He discussed alternate drop-off sites, additional parking and a bridge over Ridge Park road.

Mr. Eyrich stated that there are no development plans for the remains parcel at present.

Commissioner Goacher asked about the lighting.

Mr. Eyrich responded that they would follow County standards. He stated that they would confine the lighting to the site. He noted that there is a condition of approval addressing lighting and he was familiar with this condition.

Commissioner Long asked about school zone signs.

Pete Prasida stated that there is a vehicle code requirement to be posted for speed and enforced in any school zone and this school would also be posted. He noted that the driveway onto Ridge Park road from the shopping center would be signalized.

Commissioner Nielsen asked is 45 feet was enough space in the stack area.

Mr. Prasida stated that the entry is wide and 45 feet is enough space for the trucks. He noted that delivery trucks do not like to make deliveries during peak hours.

Commissioner Goacher asked if Grant Anderson of the County Traffic Engineering agreed with the previous comments.

Mr. Anderson responded yes.

Commissioner Nielsen discussed the 10 parking spaces provided by the school.

Carol Hoffman, representing The Irvine Company, stated that school opens in January but the PTA has already started and is looking at parents concerns with parking and traffic. She stated that it has been decided that a bridge over Ridge Park road was not viable, the school didn't want the student to leave the school and be cross directly into the

shopping center. Ms. Hoffman stated that per the principal of the school that parking on Ridge Park road and crossing to the school was not an official recommendation by the CHP. She stated that no one had any idea how this got started, she stated that the school did not seek any information from the CHP. Ms. Hoffman discussed school-crossing guards, fire station signals. She stated that the school site is the ideal location for the number of children the school would serve. She noted that there is a park on the southeast corner where parents can park and drop of children. Ms. Hoffman stated that she hoped that the homeowners association would not lock the park so that the school couldn't make use of it.

Commissioner Fisk asked if there would be additional parking on adjacent streets. He inquired about the Fire Station signal.

Mr. Melton stated that the traffic signal at the Fire Station would be controlled by the Fire Station. He explained yellow and red flashing lights. He stated that the commercial center has provided adequate parking for it size per the County parking regulations. He discussed the size of the parking spaces.

Mr. Grant Anderson said that parking was permitted on Ridge Park Road.

Mr. Eyrich discussed painting red curbs on Ridge Park road.

Mr. Sparran discussed alternate sites for the school and explained why these other sites were not feasible. He stated that Vons is located at the least offensive location. He noted that it is located as far away from the residential area as possible. He stated that in his opinion the speed was so great on Ridge Park road because cars are coming down the hill toward the shopping center and there is nothing there so there is no reason for the cars to slow down.

Commissioner Fisk asked if the drivers of the delivery trucks are aware that coming off of Newport Coast road that they would have to make a sharp left turn.

Mr. Eyrich stated that the Vons drivers are well schooled in delivering products. He stated that Vons drivers are instructed to make deliveries with the least amount of issues. He stated that the drivers would become quite familiar with this route. He stated that he couldn't speak for the other vendors.

Rock Jackson, representing Vons Companies, stated that there is a manual that the drivers have that tell them where they have to turn.

3:20 P.M.: No one else wishing to be heard, the Chairman closed the public hearing.

Commissioner 's Fisk and Long stated that they met with residents and the applicant prior to today's public hearing. Commissioner Fisk stated that he was please to see the applicant and the residents work so closely together. He stated that he felt that the

applicant made the project as pleasing as possible. He stated that his only concern was the entrance off of Newport Coast Drive and the left turn into the loading dock.

Commissioner McBurney stated that he felt that the deceleration lane and the stacking distance were adequate. He stated that if Vons finds at a later date that the area too tight they could eliminate a few parking spaces to increase the stacking area.

Commissioner Goacher stated that he felt that traffic would move more slowly because of the signals and signage. He noted that the school was not part of this application and the Commission couldn't speak to that. He stated that he felt that the site plan was appropriate.

Commissioner Nielsen stated that this is an excellent plan. He suggested that The Irvine Company work on the suggestion of red curbing along Ridge Park road. He stated that the trucks might slow down traffic on Ridge Park road. He noted that trucks usually move a lot slower than cars. He suggested that the residents work as hard on resolving the school issues as they did on this project.

Commissioner Fisk asked for a clarification on the conditions.

Mr. Melton stated that staff was not adding 6 conditions to the conditions of approval. He stated that the 6 conditions requested have been condensed into revisions in conditions of approval #22 and #36 with a new condition of approval #40. He stated that there are a total of 40 conditions of approval.

Action: 3:35 P.M.: The motion of Fisk, seconded by McBurney, to conditionally approve Planning Application No. PA00-0071 as recommended in the Current Planning Division report, dated September 12, 2000, and the revisions to conditions 22 and 36, and new condition 40, to read as shown below, was carried by unanimous vote.

Condition 22.

- A. Prior to the issuance of precise grading permits, the applicant shall prepare a detailed landscape plan for privately maintained areas which shall be reviewed and approved by the Manager, Subdivision and Grading in consultation with the Manager, Current Planning Services Division. Said plan shall include provisions for hydro seeding with native mix groundcover and wildflowers on the area of the site plan shown as "Future Development". The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans, adopted planned community regulations, scenic corridor and specific plan requirements, Grading and Excavation Code erosion control requirements, Subdivision Code, Zoning Code, and conditions of approval, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures) and Board Resolution 90-1341 (Water Conservation Implementation Plan). Said plan shall be reviewed and approved by the Manager, Subdivision and Grading.

- B. Prior to the issuance of certificates of use and occupancy, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.
- C. Prior to the issuance of any certificates of use and occupancy, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Building Inspection Services

Condition 36.

The operating hours of the market shall be not earlier than 6 a.m., and not later than 12 midnight. In the event Vons, or subsequent owner(s), desires to open for business earlier than 6 a.m., or to remain open for business later than 12 midnight, Vons shall be required to return to the Planning Commission for approval of a Site Development Permit, per Chapter X of the Newport Ridge Planned Community regulations, for further review and hearing.

Condition 40.

- A. Prior to the issuance of final certificate of use and occupancy for the market, the applicant shall submit a truck delivery plan to the Manager, Current Planning Services Division for review and inclusion in the approved project file. The applicant shall agree to operate the center in conformity with this plan. This plan shall indicate that all semi trucks and other delivery trucks serving the market building which are owned by the operator of the market or an affiliate shall access the center via Newport Coast Drive, not Ridge Park Road, and shall exit the center onto Ridge Park Road only to the left (toward Newport Coast Drive). The owner/operator of the market shall use reasonable efforts to notify all vendors making deliveries to the market to access the center via Newport Coast Drive, not Ridge Park Road, and to exit the center onto Ridge Park Road only to the left (toward Newport Coast Drive) and to require such vendors to comply with this requirement.

The plan shall also indicate that the applicant shall post permanent signage at the Ridge Park Road access to the center notifying all exiting traffic that all delivery trucks, including semi trucks, exiting the center onto Ridge Park Road shall exit only to the left (toward Newport Coast Drive). Such signage shall be installed prior to the issuance of final certificate of use and occupancy for the market building.

- B. The plan shall also indicate that the delivery hours for Vons semi trucks shall be limited to the hours of 7:00 a.m. to 10 p.m. Monday through Saturday, and 9:00 a.m. to 9:00 p.m. on Sundays and holidays.

- C. The applicant shall include in all of its leases and occupancy agreements for space in the center the following provisions: "Tenant acknowledges that (i) all delivery trucks serving the center and exiting onto Ridge Park Road are required to exit to the left (toward Newport Coast Drive) and (ii) no delivery trucks serving the center shall enter the center by making a left turn into the center from Ridge Park Road. Tenant shall use reasonable efforts to notify all vendors making deliveries to its store of this requirement and to require such vendors to comply with this requirement." Applicant shall include similar provisions in any Rules and Regulations adopted for the center.

Attachment No. CD 4

Conditions of Approval



Appendix A
Findings
PA000071

1 GENERAL PLAN PA000071

That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.

2 ZONING PA000071 (Custom)

The use, activity or improvement proposed by the application is consistent with the provisions of the Orange County Zoning Code and the purpose and intent of the Newport Ridge Planned Community (NRPC), in that while the NRPC acknowledges that the physical land planning and design components for Planning Area 12 may cross over the common boundary shared with Newport Coast Planned Community (NCPC) Planning Area 8, there is no separate provision or discussion regarding the development of the affected portion of PA 8 within the NCPC. Therefore, pursuant to Orange County Zoning Code Section 7-9-20 (c) "Indeterminate applicability" the Director has made the determination that the land use regulations of the Newport Ridge Planned Community are the applicable development regulations for the entire project area.

3 COMPATIBILITY PA000071

That the location, size, design and operating characteristics of the proposed use will not create unusual noise, traffic or other conditions or situations that may be objectionable, detrimental, or incompatible with other permitted uses in the vicinity.

4 GENERAL WELFARE PA000071

That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.

5 PUBLIC FACILITIES PA000071

That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).

6

COASTAL DEVELOPMENT
PERMIT 1

PA000071

That the development project proposed by the application conforms with the certified Local Coastal Program.

7

COASTAL DEVELOPMENT
PERMIT 2

PA000071

That the project conforms with the public access and public recreation policies of the California Coastal Act.

8

COASTAL DEVELOPMENT
PERMIT 3

PA000071

That the approval of this application will result in no modification to the requirements of the certified land use plan.

9

COASTAL DEVELOPMENT
PERMIT 4

PA000071

That the approval of the application will result in a project which is in full compliance with the requirements of the certified land use plan.

10

EIR AND ADDENDUM

PA000071

(Custom)

That the decision-maker has considered Final EIR 517, previously certified on February 26, 1991, previously finalized ND No. 96-0166 and Addendum PA000071 prior to project approval. Together they are approved for the proposed project based upon the following findings:

- a. Together, these documents are adequate to satisfy the requirements of CEQA by the decision-maker;
 - b. The additions, clarifications and/or changes to the original document caused by the Addendum, do not raise new significant issues which were not addressed by the EIR; and
 - c. The approval of the EIR and Addendum for the proposed project reflect the independent judgment of the Lead Agency.
-

11

FISH & GAME - EXEMPT

PA000071

That pursuant to Section 711.4 of the California Fish and Game Code, this project is exempt from the required fees as it has been determined that no adverse impacts to wildlife resources will result from the project.

12

NCCP NOT SIGNIFICANT

PA000071

That the proposed project will not have a significant unmitigated impact upon Coastal Sage Scrub habitat and therefore, will not preclude the ability to prepare an effective subregional Natural Communities Conservation Planning (NCCP) Program.

13

PARKING MODIFICATION 1

PA000071

That the applicable off-street parking requirements are excessive or inappropriate due to the nature of the specific use involved or because of special circumstances applicable to the property.

14

PARKING MODIFICATION 2

PA000071

That the proposed off-street parking facilities comply with the intent of Section 7-9-145.1 "Off-Street Parking Regulations" of the Orange County Zoning Code.

15

PARKING AND CIRCULATION

PA000071

That the access, parking and circulation facilities will not result in excess traffic safety hazards.

16

ALTERNATIVE DEVELOPMENT
STANDARDS

PA000071

(Custom)

That the alternate development standard for a 45 feet accessway length from Newport Coast Drive will result in an equivalent or better project in terms of adverse impacts and public benefits to the immediate and surrounding community.

17

SAN JOAQUIN HILLS
TRANSPORTATION CORRIDOR

PA000071

That the subject project lies within the area of benefit of the San Joaquin Hills Transportation Corridor. In order to find this project consistent with the General Plan and to ensure that the traffic impacts have been adequately mitigated, it is necessary to adopt a condition requiring the developer to participate in the fee program adopted by the Board of Supervisors.



Appendix B Conditions of Approval PA000071

1 CP CP NA BASIC/ZONING REG PA000071

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance of approval of the project regarding any other applicable ordinance, regulation or requirement.

2 CP CP NA BASIC/TIME LIMIT PA000071

This approval is valid for a period of 24 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.

3 CP CP NA BASIC/PRECISE PLAN PA000071

Except as otherwise provided herein, this permit is approved as a precise plan. If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, PDS, for approval. If the Director, PDS, determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.

4 CP CP NA BASIC/COMPLIANCE PA000071

Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.

5 CP CP NA BASIC/OBLIGATIONS PA000071

Applicant shall defend at his/her sole expense any action brought against the County because of issuance of this permit. Applicant shall reimburse the County for any court costs and attorneys fees that the County may be required to pay as a result of such action. The County may, at its sole discretion, participate in the defense of any action, but such participation shall not relieve applicant of his/her obligations under this condition.

6 CP CP NA BASIC/APPEAL EXACTIONS PA000071

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

7 SG SG GB DRAINAGE STUDY PA000071

Prior to the issuance of any grading permits, the following drainage studies shall be submitted to and approved by the Manager, Subdivision and Grading:

- A. A drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; and
 - B. When applicable, a drainage study evidencing that proposed drainage patterns will not overload existing storm drains; and
 - C. Detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
-

8 SG SG GB DRAINAGE IMPROVEMENTS PA000071

A. Prior to the issuance of any grading permits, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading:

- 1) Design provisions for surface drainage; and
- 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and
- 3) Dedicate the associated easements to the County of Orange, if determined necessary.

B. Prior to the issuance of any certificates of use and occupancy, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction.

9 F F GBU FIRE HYDRANTS PA000071

A. Prior to the issuance of any grading permit, the applicant shall submit a fire hydrant location plan for the review and approval of the Fire Chief.

B. Prior to the issuance of a building permit, the applicant shall submit to the Fire Chief evidence of the on-site fire hydrant system and indicate whether it is public or private. If the system is private, the system shall be reviewed and approved by the Fire Chief prior to issuance of the building permit. Provisions shall be made by the applicant for the repair and maintenance of the system, in a manner meeting the approval of the Fire Chief.

C. Prior to the issuance of any certificate of use and occupancy, all fire hydrants shall have a

blue reflective pavement marker indicating the fire hydrant location on the street or drive per the Orange County Fire Authority Standard as approved by the Fire Chief. These markers are to be maintained in good condition by the property owner.

10 F F B WATER AVAILABILITY PA000071

Prior to the issuance of a building permit, the applicant shall provide evidence of adequate fire flow. The Orange County Fire Authority Water Availability for Fire Protection form shall be signed by the applicable water district and submitted for approval to the Orange County Fire Authority. If sufficient water to meet fire flow requirements is not available, an automatic fire extinguishing system may be required in each structure affected by the insufficient fire flow.

11 F F RBU AUTOMATIC FIRE SPRINKLER PA000071

A. Prior to the recordation of a subdivision map, a note shall be placed on the map stating that all commercial structures over 6,000 square feet; all multifamily residential structures; all detached, single-family structures exceeding 5,500 square feet, and, all structures exceeding Fire Authority access requirements shall be protected by an automatic sprinkler system, in a manner meeting the approval of the Fire Chief.

B. Prior to the issuance of a building permit, the applicant shall submit plans for any required automatic fire sprinkler system in any structure to the OCFA for review and approval.

C. Prior to the issuance of a certificate of use and occupancy, this system shall be operational in a manner meeting the approval of the Fire Chief.

12 F F RG FIRE ACCESS ROADS PA000071 (Custom)

Prior to issuance of any grading permits, the applicant shall submit and obtain approval of plans for all roads, streets and courts, public or private, from the Fire Chief in consultation with the Manager, Subdivision and Grading Services. The plans shall include the plan view, sectional view, and indicate the grade and width of the street or court measured flow line to flow line. All proposed fire apparatus turnarounds shall be clearly marked when a dead-end street exceeds 150 feet or when otherwise required. Applicable CC&R's, or other approved documents, shall contain provisions which prohibit obstructions such as speed bumps/humps, control gates or other modifications within said easement without prior approval of the Fire Chief.

13 F F BU STREET MARKINGS PA000071

A. Prior to the issuance of a building permit, the applicant shall submit plans and obtain approval from the Fire Chief for fire lanes on required fire access roads less than 36 feet in width. The plans shall indicate the locations of red curbing and signage. A drawing of the proposed signage with the height, stroke and color of lettering and the contrasting background color shall be submitted to and approved by the Fire Chief.

B. Prior to issuance of any certificate of use and occupancy, the fire lanes shall be installed in accordance with the approved fire lane plan in a manner meeting the approval of the Fire Chief. The CC&R's, or other approved documents, shall contain a fire lane map and provisions which prohibit parking in the fire lanes. The method of enforcement shall be documented.

14 F F GBU FUEL MODIFICATION PA000071 (Custom)

If deemed necessary by the Fire Authority, prior to the issuance of a grading permit, the applicant shall obtain the approval of the Fire Chief of a conceptual fuel modification plan and program.

15 F F B COMBUSTIBLE CONSTRUCTION LETTER PA000071

Prior to the issuance of a building permit for combustible construction, the builder shall submit a letter to the Fire Chief on company letterhead stating that water for fire-fighting purposes and the all weather fire protection access roads shall be in place and operational before any combustible material is placed on-site.

16 F F SGB HAZARDOUS MATERIALS PA000071 (Custom)

Prior to the issuance building permits for Vons, and prior to the issuance of tenant improvements permits for the inline retailers stores, the applicant shall submit to the Fire Chief a list of the quantities of all hazardous, flammable and combustible materials, liquids or gases to be stored, used, or handled on site. These liquids and materials shall be classified according to the Uniform Fire Code using the "Orange County Fire Authority Chemical Classification Handout". The submittal shall provide a summary sheet listing each hazard class, the total quantity of chemicals stored per class, and the total quantity of chemicals used in that class. All forms of materials are to be converted to units of measure in pounds, gallons, and cubic feet.

17 F F G COMBUSTIBLE GAS MITIGATION PA000071

Prior to the issuance of any grading permit, the applicant shall submit and obtain approval of the Fire Chief for a combustible gas/methane assessment and mitigation plan.

18 F F B BUILDING USE LETTER PA000071

Prior to the issuance of a building permit, the applicant shall submit a detailed letter of intended use for each building on-site to the Fire Chief for review and approval.

19 F F SB ARCHITECTURAL BUILDING PLANS PA000071 (Custom)

Prior to the issuance of a building permit, the applicant shall submit plans for the review and approval of the Fire Chief as indicated on the OCFA Plan Submittal Criteria form. Call the OCFA at (714) 744-0403 for a copy the Fire Safety Site/Architectural Notes to be placed on the plans prior to submittal.

20 SG SG G GEOLOGY REPORT PA000071

Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager, Subdivision and Grading, for approval. The report shall include the information and be in the form as required by the Grading Manual.

21 SG SG G GRADING DEVIATION PA000071

Prior to the issuance of any grading permits, if the applicant submits a grading plan which the Manager, Subdivision and Grading, determines to show a significant deviation from the grading shown on the approved tentative map, specifically with regard to slope heights, slope ratios, pad elevations or pad configuration, the Subdivision Committee shall review the plan for a finding of substantial conformance. If the Subdivision Committee fails to make such a finding, the applicant shall process a revised tentative map; or, if a final map has been recorded, the applicant shall process a new tentative map or a site development permit application per Orange County Zoning Code Sections 7-9-139 and 7-9-150. Additionally, the applicant shall process a new environmental assessment for determination by the decision making entity.

22 SG SG/BI GU PRIVATE LANDSCAPING PA000071 (Custom)

A. Prior to the issuance of precise grading permits, the applicant shall prepare a detailed landscape plan for privately maintained areas which shall be reviewed and approved by the Manager, Subdivision and Grading in consultation with the Manager, Current Planning Services Division. Said plan shall include provisions for hydro seeding with native mix groundcover and wildflowers on the area of the site plan shown as "Future Development". The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans, adopted planned community regulations, scenic corridor and specific plan requirements, Grading and Excavation Code erosion control requirements, Subdivision Code, Zoning Code, and conditions of approval, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures) and Board Resolution 90-1341 (Water Conservation Implementation Plan). Said plan shall be reviewed and approved by the Manager, Subdivision and Grading.

B. Prior to the issuance of certificates of use and occupancy, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.

C. Prior to the issuance of any certificates of use and occupancy, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Building Inspection Services

23 EP BP B LIGHT AND GLARE PA000071

Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct rays are confined to the property in a manner meeting the approval of the Manager, Building Permit Services.

24 BP BP B ACOUST NON-RESIDENTIAL PA000071

Except when the interior noise level exceeds the exterior noise level, the applicant shall sound attenuate all nonresidential structures against the combined impact of all present and projected noise from exterior noise sources to meet the interior noise criteria as specified in the Noise Element and Land Use/Noise Compatibility Manual.

Prior to the issuance of any building permits, the applicant shall submit to the Manager, Building Permit Services, an acoustical analysis report prepared under the supervision of a County-certified acoustical consultant which describes in detail the exterior noise environment and the acoustical design features required to achieve the interior noise standard and which indicates that the sound attenuation measures specified have been incorporated into the design of the project.

25 BP BP BG NOISE GENERATION PA000071

Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control).

26 BP BP G CONSTRUCTION NOISE PA000071

A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building Permits Services, that:

- (1) All construction vehicles or equipment, fixed or mobile, operated within 1,000' of a dwelling shall be equipped with properly operating and maintained mufflers.
- (2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control).
- (3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings.

B. Notations in the above format, appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition.

27 SG SG B ROAD FEE PROGRAM PA000071 (Custom)

Prior to the issuance of building permits, the applicant shall pay fees for the San Joaquin Hills Transportation Corridor, in a manner meeting the approval of the Manager, Subdivision and Grading.

28 SG SG G SIGHT DISTANCE PA000071

Prior to the issuance of any grading permits, the applicant shall provide adequate sight distance per Standard Plan 1117 at all street intersections, in a manner meeting the approval of the Manager, Subdivision and Grading. The applicant shall make all necessary revisions to the plan to meet the sight distance requirement such as removing slopes or other encroachments from the limited use area in a manner meeting the approval of the Manager, Subdivision and Grading Services.

29 SG SG U STREET IMPROVEMENTS PA000071 (Custom)

Prior to issuance of the first use and occupancy permit, the developer shall construct a right turn lane at the following locations and dedicate to the County of Orange the necessary right of way to accomplish this:

- a) Southbound Newport Coast Drive at the access to the site,
- b) Eastbound San Joaquin Hills Road at the access to the site,

all in a manner meeting the approval of the Manager, Subdivision and Grading Services.

30 SG SG U TRAFFIC SIGNAL PA000071 (Custom)

Prior to issuance of the first use and occupancy permit, the applicant shall modify the existing Fire Station traffic signal to serve the access to the site, as a four way traffic signal, in a manner meeting the approval of the Manager Subdivision and Grading Services.

31 SG SG B TRAFFIC SIGNAL EASEMENT PA000071 (Custom)

Prior to the issuance of the first building permits, the applicant shall dedicate a traffic signal maintenance easement to the County of Orange at the project site access and Ridge Park Road, in a manner meeting the approval of the Manager, Subdivision and Grading Services.

32 SG SG RB ACCESS EASEMENT PA000071 (Custom)

Prior to the recordation of a subdivision map, or prior to the issuance of the first building permit, whichever comes first, the applicant shall delineate on the subdivision map a two way reciprocal access, parking and pedestrian easement to all parcels within the map and place a note on the final map reserving the easement for the benefit of all parcels on the map, in a manner meeting the approval of the Manager, Subdivision and Grading.

33 SG SG GB POLLUTANT RUNOFF PA000071

Prior to issuance of precise grading or building permits, whichever comes first, the applicant shall submit and obtain approval from Manager, Subdivision and Grading, of a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine, structural and non-structural measures specified in the Countywide NPDES Drainage Area Management Plan (DAMP) Appendix G. The WQMP shall detail s implementation of BMPs whenever they are applicable to a project, specify the long term maintenance responsibilities (specifying the developer, parcel owner, maintenance association, lessee, etc.);, and, shall reference the location(s) of structural BMPs.

34 SG SG G NPDES PERMIT PA000071

Prior to issuance of any grading permits, the applicant shall submit evidence to the Manager, Subdivision and Grading, that the applicant has obtained coverage under the NPDES statewide General Construction Activity Stormwater Permit from the State Water Resources Control Board.

35 CP CP B SIGN PROGRAM PA000071 (Custom)

Prior to the issuance of building permits for any permanent signs (wall, monument or other) the applicant shall submit a Changed Plan for a Sign Program. Said Sign Program shall be consistant with the previously approved Newport Ridge Planned Community Sign Program.

36 CP CP NA MARKET HOURS PA000071 (Custom)

The operating hours of the market shall be not earlier than 6 a.m., and not later than 12 midnight. In the event Vons, or subsequent owner(s), desires to open for business earlier than 6 a.m., or to remain open for business later than 12 midnight, Vons shall be required to return to the Planning Commission for approval of a Site Development Permit, per Chapter X of the Newport Ridge Planned Community regulations, for further review and hearing.

37 CP CP NA FUTURE DEVELOPMENT PA000071 (Custom)

Prior to the issuance of building permits on that portion of the site plan shown as "Future Development", the developer shall obtain approval of a Site Development Permit per Chapter X of the Newport Ridge Planned Community regulations.

38 EH EH G GAS MITAGATION 1 PA000071 (Custom)

Prior to the issuance of a grading permit the project proponent and the landfill owner/operator shall provide documentation that the existing landfill gas monitoring and implementation program is adequate regarding landfill gas movement at the landfill boundary, meeting the approval of the Manager, Subdivision & Grading Services Division with concurrence of the County of Orange Health Care Agency/Environmental Health as the solid waste Local Enforcement Agency (LEA).

39 EH EH B GAS MITIGATION 2 PA000071 (Custom)

Prior to the issuance of the first building permit, the project proponent shall demonstrate to the Planning & Development Services Department, Building Plan Check Section's satisfaction, with concurrence of the County of Orange Health Care Agency/Environmental Health as the solid waste Local Enforcement Agency (LEA), that the following design features have been incorporated into the project:

- a. No structures located within 250 feet from the refuse limits;
- b. A landfill gas barrier (foundation shielding) installed in the foundations of all enclosed structures within the project site;
- c. Passive venting foundations for all buildings. The passive venting systems shall be designed so that they can be upgraded to active systems if required by the regulatory agencies; and,
- d. Proper sealing of all utility trenches, conduits, vaults, manholes, etc.

A completion report for the installation and monitoring of the above system shall be prepared by the project proponent and submitted to the County of Orange Health Care Agency/Environmental Health as the solid waste Local Enforcement Agency (LEA) for approval.

40 CP CP U DELIVERY TRUCK PLAN PA000071 (Custom)

- A. Prior to the issuance of final certificate of use and occupancy for the market, the applicant shall submit a truck delivery plan to the Manager, Current Planning Services Division for review and inclusion in the approved project file. The applicant shall agree to operate the center in conformity with this plan. This plan shall indicate that all semi trucks and other delivery trucks serving the market building which are owned by the operator of the market or an affiliate shall access the center via Newport Coast Drive, not Ridge Park Road, and shall exit the center onto Ridge Park Road only to the left (toward Newport Coast Drive). The owner/operator of the market shall use reasonable efforts to notify all vendors making deliveries to the market to access the center via Newport Coast Drive, not Ridge Park Road, and to exit the center onto Ridge Park Road only to the left (toward Newport Coast Drive) and to require such vendors to comply with this requirement.

The plan shall also indicate that the applicant shall post permanent signage at the Ridge Park Road access to the center notifying all exiting traffic that all delivery trucks, including semi trucks, exiting the center onto Ridge Park Road shall exit only to the left

(toward Newport Coast Drive). Such signage shall be installed prior to the issuance of final certificate of use and occupancy for the market building.

- B. The plan shall also indicate that the delivery hours for Vons semi trucks shall be limited to the hours of 7:00 a.m. to 10 p.m. Monday through Saturday, and 9:00 a.m. to 9:00 p.m. on Sundays and holidays.
- C. The applicant shall include in all of its leases and occupancy agreements for space in the center the following provisions: "Tenant acknowledges that (i) all delivery trucks serving the center and exiting onto Ridge Park Road are required to exit to the left (toward Newport Coast Drive) and (ii) no delivery trucks serving the center shall enter the center by making a left turn into the center from Ridge Park Road. Tenant shall use reasonable efforts to notify all vendors making deliveries to its store of this requirement and to require such vendors to comply with this requirement." Applicant shall include similar provisions in any Rules and Regulations adopted for the center.

Attachment No. CD 5

Notice of Determination dated December 5, 2000



County of Orange NOTICE OF DETERMINATION

Project Charge No. PP53974

TO: County Clerk, County of Orange
FROM: Planning and Development Services Department
SUBJECT: Filing of Notice of Determination in Compliance with Section 21108 or 21152 of the Public Resources Code

Project Title: Newport Ridge Retail Center - PA 000071	Type of Document: Previous FEIR & Negative Declaration	
State Clearinghouse Number: None	Previously certified or adopted? If yes, provide document number and certification date : EIR No. 517 & ND 960166	
Contact Persons: Project Manager - Bill Melton CEQA Project Manager - Lyn Ahrens		Telephone: (714)834-2541 (714)834-5154
Owner: Vons - A Safeway Company	Applicant: Martin Potts & Associates	
Project Location: 21132 San Joaquin Hills Road, Newport Coast (Newport Coast Drive @ San Joaquin Hills Rd)		
Project Description: Development of a retail center (103,000 square feet building area) on 10.82 acres; includes an anchor tenant building (Pavilions Supermarket) and three smaller in-line tenant retail buildings		

Notice is hereby given that the County of Orange as lead agency, Site Planning Section , has made the following determination on the above-described project:

- The project was approved by Board of Supervisors on 12/5/2000
- The project will have a significant effect on the environment.
 - An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
 - A Negative Declaration was prepared fore this project pursuant to the provisions of CEQA.
- Mitigation Measures were incorporated into the project through conditions of approval and project design.
- For this project a Statement of Overriding considerations was adopted.
- Findings were made pursuant to CEQA Guidelines 15091 (Statement of Facts and Findings).
- A copy of the EIR 517 and the record of the project approval is on file and be examined at:

Planning & Development Services Department,
Environmental & Project Planning Services Division ,
300 N. Flower, Room 321
Santa Ana, California 92702-4048.
(714) 834-5550.

Signature: W. V Melton
Title: Planner IV

Date: 12/5/00

Fish & Game Fee Filing - \$850.00 **POSTED** Previously Paid Receipt No. (See Attached): 01315 (2/26/91)

FILED
DEC 06 2000

POSTED
DEC 06 2000

GARY L. GRANVILLE, Clerk-Recorder
By RS DEPUTY

GARY L. GRANVILLE, Clerk-Recorder
By RS DEPUTY

Recorded in Official Records, County of Orange
Gary Granville, Clerk-Recorder

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Attachment No. CD 6

Determination of Substantial Compliance dated March 13, 2001



County of Orange

MEMO

FILE: PA00-0071
CP01-0014

DATE: March 13, 2001
TO: RECORD/FILE/APPLICANT
FROM: Chad G. Brown, Chief, CPSD/Site Planning Section
SUBJECT: Changed Plan CP01-0014 For Project No. PA00-0071
Newport Ridge Retail Center
APPLICANT: Irvine Retail Properties Group

The subject Changed Plan has been reviewed by Bill Melton of the Current Planning Services Division and the determination has been made, as authorized by the Conditions of Approval, that the proposed changes are in substantial compliance with the original approval action by the Planning Commission.

The proposed changes are as follows:

1. Revisions to building architecture by the addition of tower elements to the retail buildings (buildings 100A, 100B and 200). The revision increases the total building site square footage (including the Von's store, which was not changed) by 701 square feet from 102,959 to 103,660 square feet.
2. Addition of head in parking spaces in front of buildings 100A and 100B. This revision caused the relocation of the main circulation driveway in front of these buildings and associated revisions to the projects central parking area. Total number of parking spaces remains the same at 541 spaces.
3. Revisions to the planter islands in the main parking field resulting in some parking spaces being lengthened from 18'-6" to 19'. The minimum parking space length of 16' with 2' of overhang was maintained where parking spaces overhangs the planters.
4. Relocation of a trash container enclosure in the parking area adjacent to south side of building 200 so as to accommodate an electrical transformer for building 200.

Chad G. Brown

NOTES:

This approval applies to discretionary actions related to the Orange County Zoning Code.

Approval of this changed plan does not include other approvals required to comply with County procedure.

Attachment No. CD 7

Determination of Substantial Compliance dated June 14, 2004



County of Orange

MEMO

FILE: CP04-0018
PA00-0071

DATE: June 14, 2004

TO: RECORD/FILE/APPLICANT

FROM: John B. Buzas, Manager, Current & Advance Planning Services Division

SUBJECT: Changed Plan CP04-0018 For Project No. PA00-0071 (also CP00-0062)

APPLICANT: Southwest Sign Company and
Irvine Retail Properties Company
(Attn: Madison Marquette Retail Services)

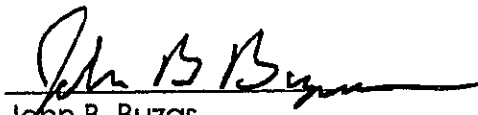
The subject Change Plan has been reviewed by John Buzas of the Current & Advance Planning Services Division and the determination has been made, as authorized by the Conditions of Approval, that the proposed changes are in substantial compliance with the original approval action by the Planning Commission.

The proposed changes are as follows:

The proposed modification to the sign program at Newport Coast (Newport Ridge) is intended to provide improvements to the property by adding an additional monument sign at the driveway entrance on Newport Coast Drive, which will identify the project entrance and several tenants in the project. Also on the monument signs the maximum letter height has been changed to 18" to accommodate the letter size of the Pavilions logo that has a larger P and S than the rest of their lettering.

CONDITION:

A building permit is required for signs greater than six (6) square feet in area and all wall signs.


John B. Buzas

NOTES:

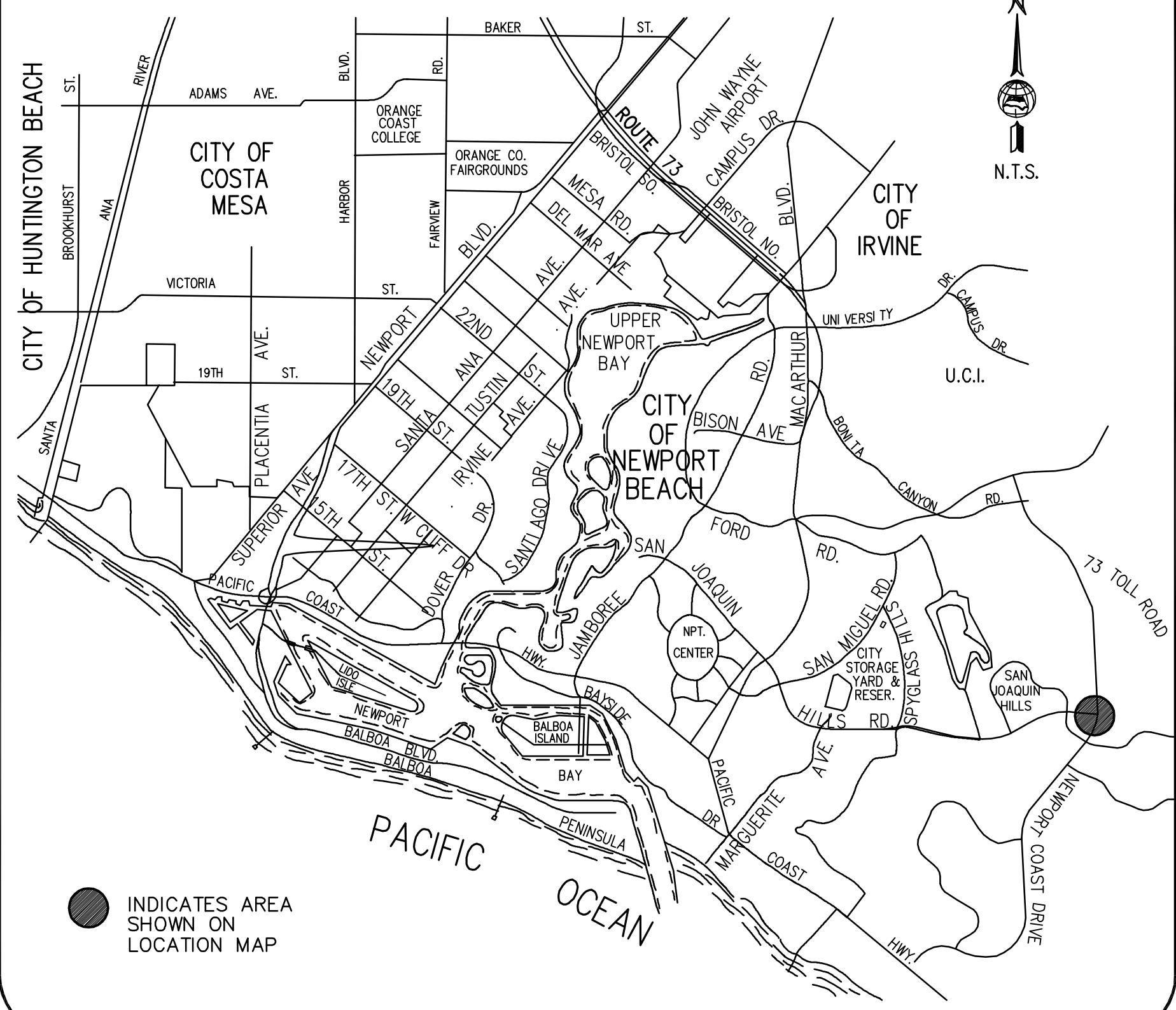
This approval applies to discretionary actions related to the Orange County Zoning Code.

Approval of this changed plan does not include other approvals required to comply with County procedure.

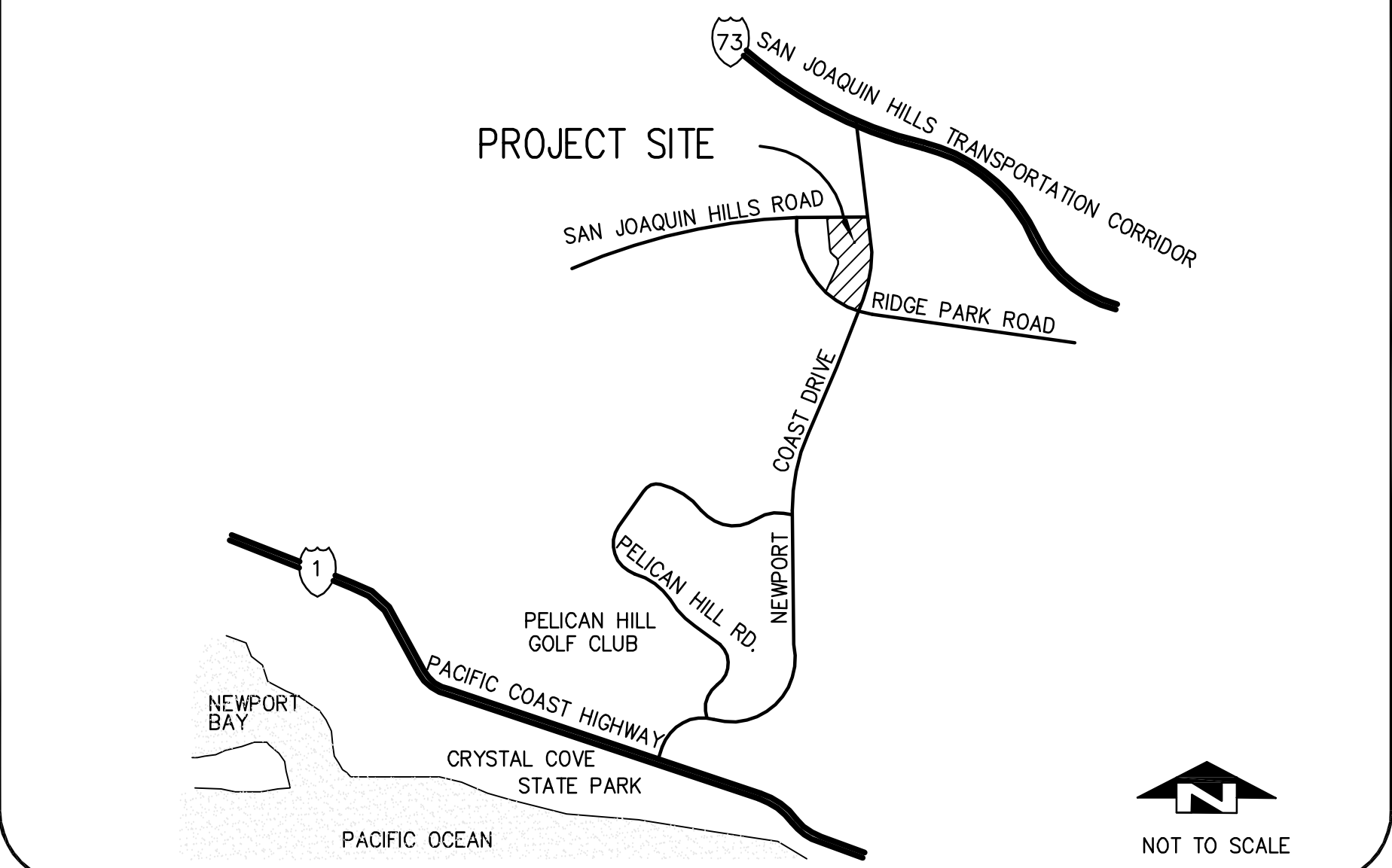
Attachment No. CD 8

Project Plans

VICINITY MAP



LOCATION MAP



GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC)...

ESTIMATED EARTH QUANTITIES

Table with columns: RAW EXCAVATION, EXCAVATION, EMBANKMENT, REMEDIAL GRADING, etc.

- 1. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO REVIEW THE GRADING PLANS AND SOILS REPORT THOROUGHLY PRIOR TO SITE MOBILIZATION...

GRADING NOTES

- 1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.

CONSTRUCTION NOTES AND QUANTITIES

Table with columns: NO., DESCRIPTION, QUANTITY, UNIT. Includes Demolition Notes and Precise Grading Construction Notes.

NOTE TO CONTRACTOR: CONTRACTOR SHALL SATISFY HIMSELF AS TO THE PRECISE GRADING QUANTITY AS SHOWN ON THIS PLAN AS PART OF HIS BID.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR(S)

- 1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS...

REMOVAL OF UNSUITABLE SOILS

SEE ---- SOILS REPORT FOR THE LIMITS AND DEPTHS OF UNSUITABLE SOILS REMOVALS

EROSION CONTROL NOTES

- 1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.

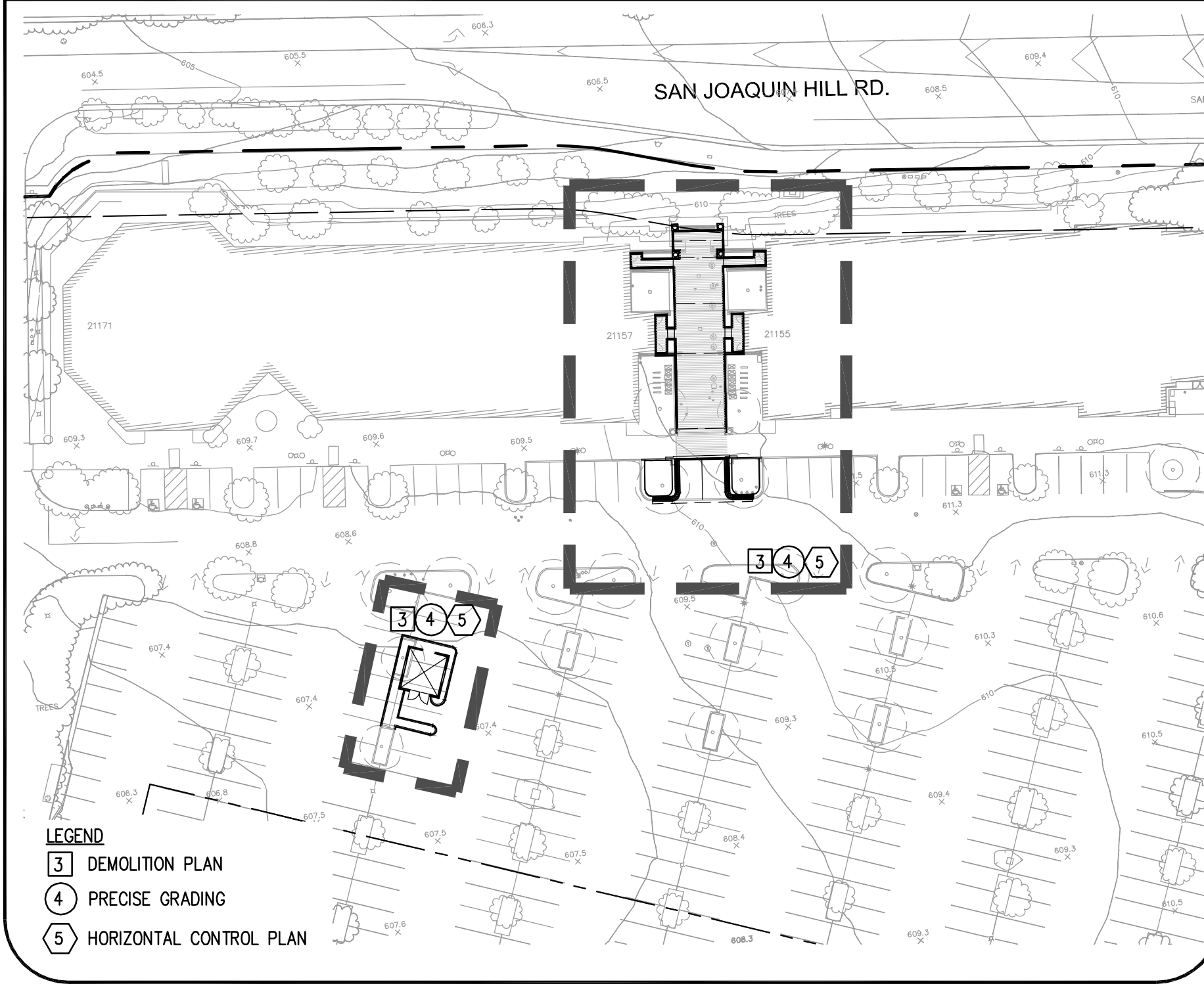
REQUIRED INSPECTION

- 1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES...

MONUMENT NOTE

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

INDEX MAP



A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.

JOB ADDRESS

21155 NEWPORT COAST DRIVE, NEWPORT BEACH, CA 92657

SHEET INDEX

Table listing sheet numbers for Grading Plans, Landscape Construction Plans, etc.

IMPORTANT NOTICE

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID...



PARKING SUMMARY

THESE IMPROVEMENTS DO NOT CHANGE THE CURRENT TOTAL PARKING COUNT FROM THIS SITE.

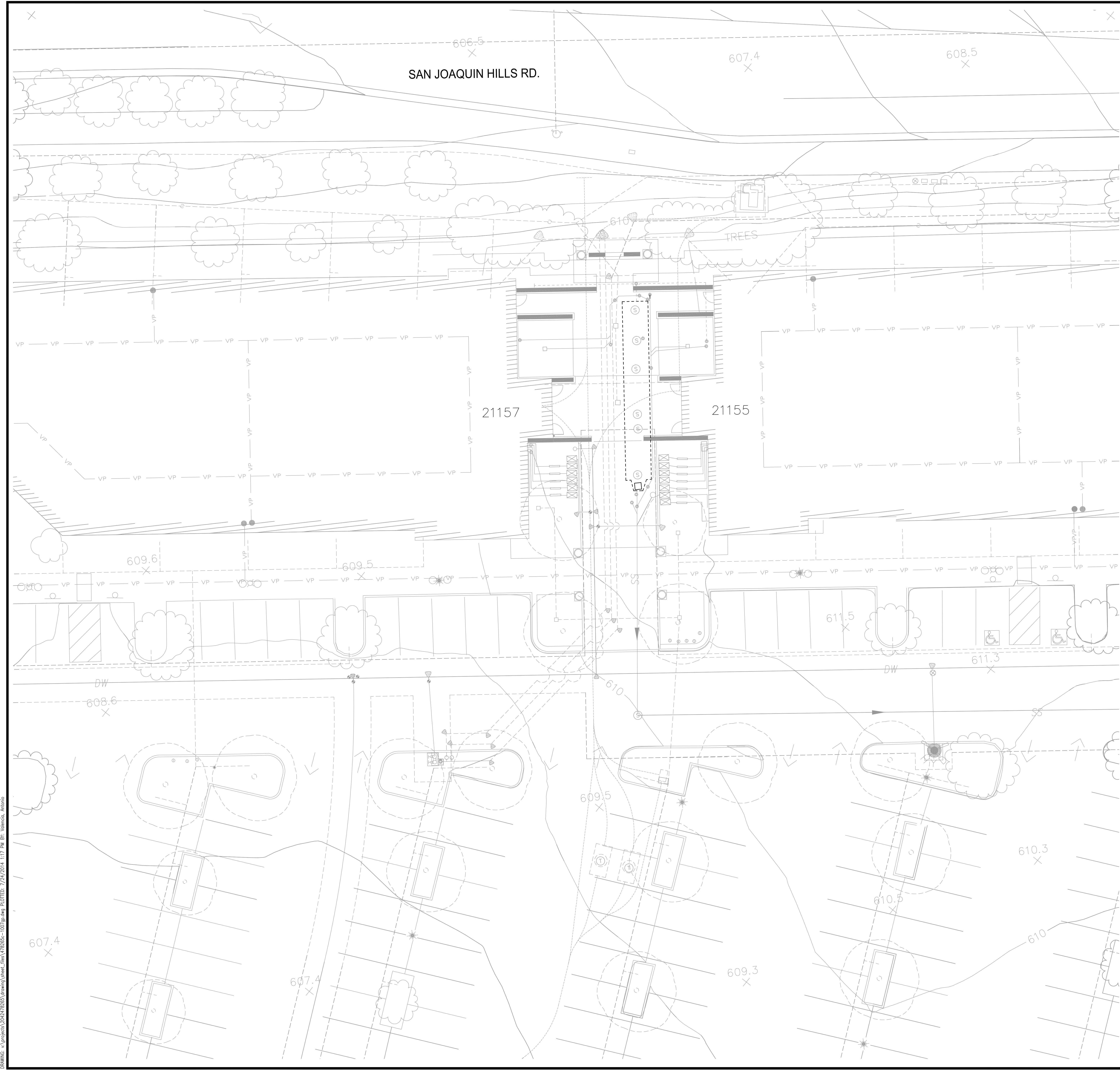
GRADING LEGEND

Table defining symbols for existing and proposed features like finished grade, flow line, catch basin, etc.

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Vertical text on the right margin: 1ST CITY SUBMITTAL - JULY 24, 2014

Bottom section containing project details: City of Newport Beach, Geotechnical Firm (NMG Geotechnical, Inc.), Developer (Irvine Company), Stantec logo, Basis of Bearings, and Title Sheet information.



LEGEND

- AC ASPHALT/CONCRETE
- CONC. CONCRETE
- DCBA DOUBLE CHECK BACKFLOW ASSEMBLY
- EPB ELECTRIC PULLBOX
- EP EDGE OF AC PAVING
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- GV GAS VALVE
- GM GAS METER
- GW GUY WIRE
- GP GUARD POST
- LS LANDSCAPE
- PP POWER POLE
- SMH SEWER MANHOLE
- TSPB TRAFFIC SIGNAL FULLBOX
- TMH TELEPHONE MANHOLE
- T.E. TRASH ENCLOSURE
- WM WATER METER
- WV WATER VALVE
- XXXX.XX TC EXISTING TOP OF CURB ELEVATION
- XXXX.XX FS EXISTING FINISH SURFACE ELEVATION
- G UNDERGROUND GAS
- SD UNDERGROUND STORM DRAIN
- SS UNDERGROUND SANITARY SEWER
- E UNDERGROUND ELECTRICAL
- W UNDERGROUND WATER LINE
- OV OVERHEAD ELECTRIC
- SL STREET LIGHT
- M MANHOLE
- S SIGN
- SC SEWER CLEANOUT
- WV WATER VALVE
- GI GREASE INTERCEPTOR
- PP POWER POLE
- GI GRATE INLET
- BW BLOCK WALL
- BC BUILDING COLUMN

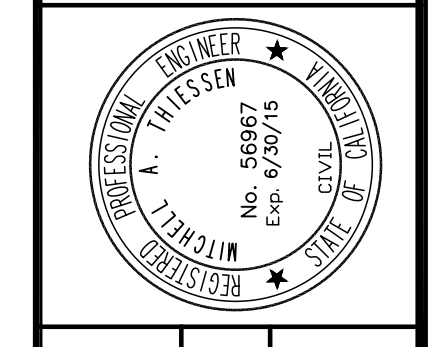
NO.	DATE	REVISIONS
7		
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1		

DEVELOPER:	IRVINE COMPANY
JOB NO.:	2042478266
DATE APPROVED:	
DATE PRINTED:	

101 INNOVATION	Since 1864
IRVINE, CA 92618	949.752.2279
CONTACT: BOB LISLE	
SOILS ENGINEER: NMG GEOTECHNICAL	
IRVINE, CALIFORNIA 92614	(949) 442-2442

PREPARED BY:

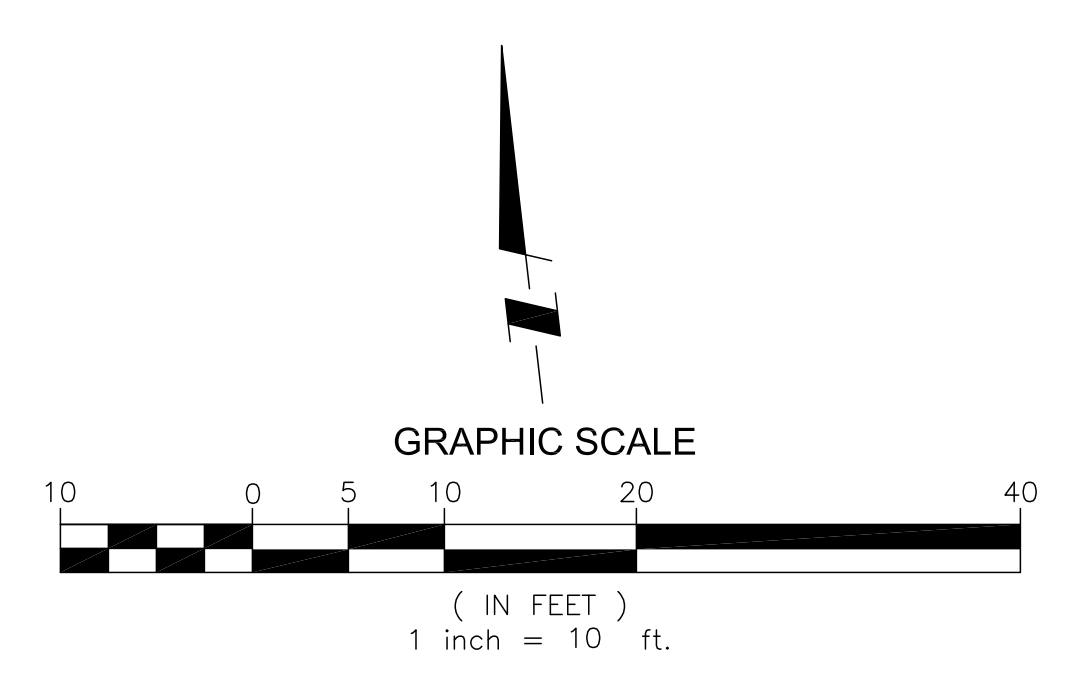
39000 COAST DRIVE, SUITE 100
IRVINE, CA 92618
949.972.6000
stantec.com



NEWPORT COAST SHOPPING CENTER
21155 NEWPORT COAST DRIVE
EXISTING TOPO PLAN
CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

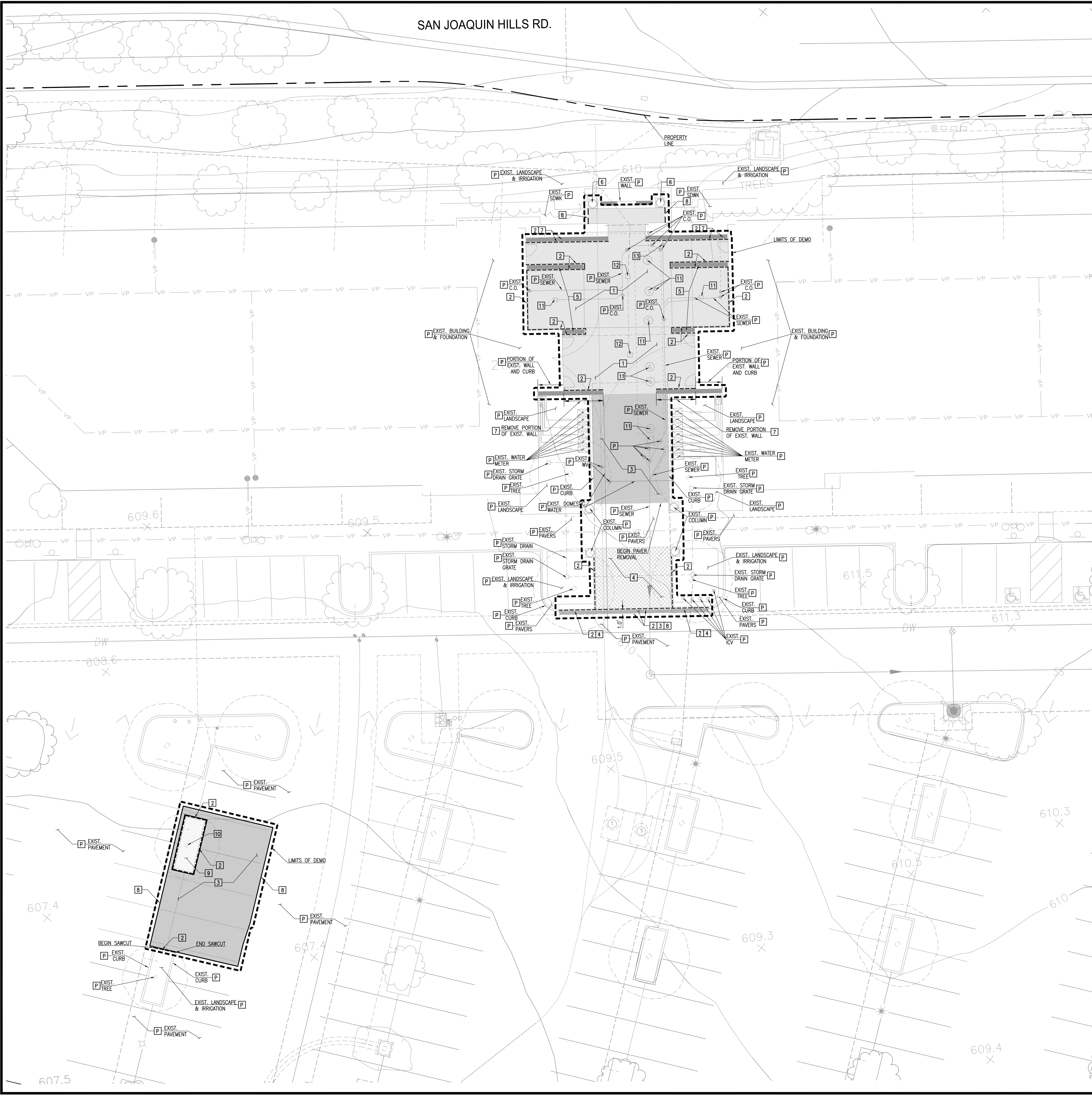
PLAN CHECK NO.	
PERMIT NO.	
SHEET	2
OF	7

FOR REFERENCE ONLY



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SAN JOAQUIN HILLS RD.



NOTES

- IF ANY EXISTING UTILITY IS EXPOSED DURING DEMOLITION THE CONTRACTOR SHALL SURVEY THE UTILITY AND PROVIDE THE ENGINEER WITH AN AUTOCAD FILE OF THE HORIZONTAL, VERTICAL, SIZE AND MATERIAL TYPE. THIS FILE WILL ALSO BE PROVIDED TO THE OWNER.
- IF ANY UNKNOWN LATERALS ARE UNCOVERED DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED. THE CONTRACTOR SHALL AS-BUILT THE LATERAL UPSTREAM TO THE END POINT AND PROVIDE THE ENGINEER WITH HORIZONTAL, VERTICAL, PIPE SIZE AND MATERIAL IN AN AUTOCAD FORMAT.
- CONTRACTOR TO OBTAIN SEPARATE ENCROACHMENT PERMIT FOR ANY WORK WITHIN CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL COORDINATE WITH CENTER MANAGEMENT TO MOVE AND STORE EXISTING PLANTER POTS.

DEMOLITION NOTES

- P - PROTECT IN PLACE EXISTING ITEM INDICATED
- 1 - REMOVE AND DISPOSE OF EXISTING CONCRETE PAVING
- 2 - REMOVE AND DISPOSE OF EXISTING CONCRETE CURB
- 3 - REMOVE AND DISPOSE OF EXISTING ASPHALT MATERIAL
- 4 - REMOVE AND SALVAGE EXISTING PAVERS. STORE FOR RE-USE.
- 5 - REMOVE AND DISPOSE OF EXISTING WALL AND TRASH ENCLOSURE ROOF.
- 6 - REMOVE AND DISPOSE EXISTING COLUMNS.
- 7 - REMOVE AND DISPOSE OF EXISTING WALL
- 8 - SAWCUT PAVEMENT/CURB/CURB AND GUTTER/SIDEWALK
- 9 - REMOVE EXISTING LANDSCAPE AND IRRIGATION SYSTEM.
- 10 - REMOVE AND DISPOSE EXISTING TREE (DISPOSITION BY OWNER).
- 11 - EXIST GREASE INTERCEPTOR TO BE REMOVED BY C.O.N.B. PERMIT NO. X2014-1643 SEE SEPARATE PERMIT AND PLAN.
- 12 - REMOVE AND DISPOSE OF EXISTING DRAINS
- 13 - REMOVE AND DISPOSE OF EXISTING SEWER CLEAN OUT

LEGEND

--- LIMIT OF DEMO

MONUMENT NOTE

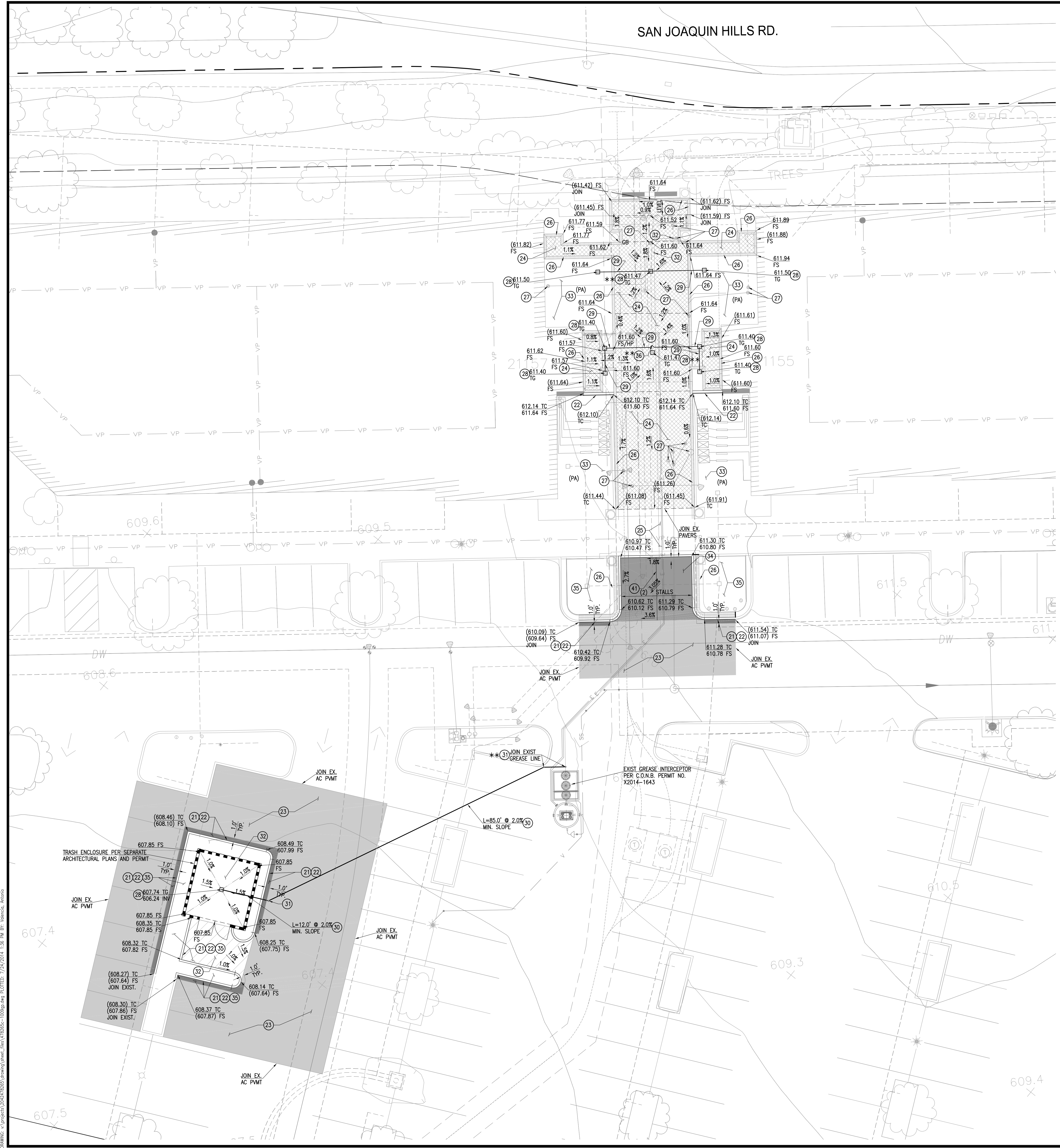
ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTES TO CONTRACTOR

- PAVEMENT IMPROVEMENTS (AG/SIDEWALK/CURB & GUTTER/ETC.) WITHIN THE LIMITS OF WORK/DEMO SHALL BE REMOVED AND PROPERLY DISPOSED WHERE IDENTIFIED ON PLAN.
- REMOVE EXISTING FACILITIES WITHIN LIMITS OF REMOVAL AS IDENTIFIED ON PLAN. FACILITIES NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED IN PLACE. (OR CONFIRM DISPOSITION WITH ENGINEER).
- CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITY AGENCIES AND NEWPORT COAST SHOPPING CENTER MANAGEMENT TO REMOVE, PLUG OR PROTECT EXISTING FACILITIES. RE-USE OF SOME FACILITIES MAY BE POSSIBLE FOR FUTURE DEVELOPMENT.
- 4 X 8 PLYWOOD BARRICADES SHALL BE CONSTRUCTED TO PROHIBIT PUBLIC ACCESS TO PROJECT AREA.
- ALL VEGETATION, TRASH AND DEBRIS SHOULD BE CLEARED FROM THE GRADING AREA AND HAULED AWAY FROM THE SITE. THE GEOTECHNICAL CONSULTANT SHOULD BE PRESENT TO OBSERVE THE DEMOLITION OF ALL SUBSURFACE STRUCTURES, FOOTINGS AND UTILITY LINES.
- BACKFILL SHALL BE PERFORMED IN CONFORMANCE WITH SOILS ENGINEER'S RECOMMENDATIONS.
- AT THE COMPLETION OF THE DEMOLITION, THE CONTRACTOR SHALL SUPPLY INFORMATION ON THE RESULTING CONDITION OF THE UTILITIES TO THE OWNER OR ENGINEER.
- CONTRACTOR TO BE FAMILIAR WITH EXISTING STRUCTURES AT THE LIMITS OF DEMOLITION AND PROTECT/STABILIZE EXISTING STRUCTURES TO REMAIN IN PLACE.
- VEHICLES REMOVING DEMOLITION DEBRIS FROM THE SITE SHALL OBTAIN APPROVAL FOR HAUL ROUTE FROM THE CITY ENGINEER.
- FOR ELECTRICAL, LANDSCAPE, IRRIGATION, STORM DRAIN, SEWER AND WATER REMOVALS SEE INDIVIDUAL IMPROVEMENT PLANS (WHERE APPLICABLE).

JOB NO: 2042478266		DATE APPROVED: 7/24/2014		DATE PRINTED: 7/24/2014	
DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE		SOILS ENGINEER: NMG GEOTECHNICAL 9901 FUCHS FERRONIA IRVINE, CA 92618 (949) 442-2442		REVISIONS	
PREPARED BY: Stantec MICHIGELL A. THESSEN R.C.E. 56987 (CPR: 6/20/15)		NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE DEMOLITION PLAN		CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT	
PLAN CHECK NO.		PERMIT NO.		SHEET 3 OF 7	
DATE: 7/24/2014 1:17 PM BY: jlabadie.dalton		GRAPHIC SCALE 10 0 5 10 20 40 (IN FEET) 1 inch = 10 ft.		1ST SUBMITTAL - JULY 24, 2014	

SAN JOAQUIN HILLS RD.

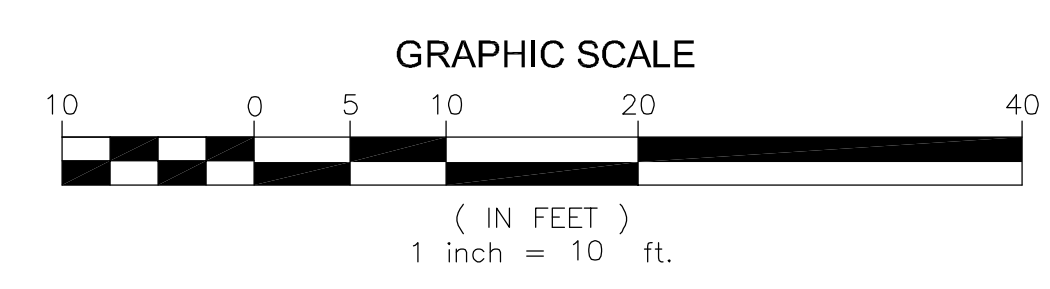


- PRECISE GRADING CONSTRUCTION NOTES**
- (21) CONSTRUCT FULL DEPTH AC.
 - (22) CONSTRUCT 6" TYPE "B" CURB PER CITY OF NEWPORT BEACH STD PLAN NO. 182-L.
 - (23) COLD PLANE EXISTING PAVEMENT 0.2" MINIMUM WITH VARIABLE LIFT A.C. OVERLAY.
 - (24) INSTALL NEW/SALVAGED PAVERS (PER DETAIL C SHEET 7). SEE LANDSCAPE PLAN FOR COLOR TEXTURE, FINISH.
 - (25) REMOVE, CUT & REPLACE EX. PAVERS AS NEEDED TO PROVIDE SMOOTH TRANSITION TO PROP. IMPROVEMENTS.
 - (26) CONSTRUCT CONCRETE PAVER EDGE AT PLANTER PER DETAIL A ON SHEET 7.
 - (27) ADJUST EXISTING UTILITY TO GRADE.
 - (28) INSTALL 12" SQUARE INLET PER DETAIL B ON SHEET 7.
 - (29) INSTALL 6" PVC SDR35 (1% MIN SLOPE) WITH BEDDING PER CITY OF NEWPORT BEACH STD PLAN NO. 106-L.
 - (30) INSTALL 4" PVC SDR35 FOR GREASE WASTE CONNECTION BEDDING PER NEWPORT BEACH STD PLAN NO. 106-L.
 - (31) CONSTRUCT SEWER CLEANOUT PER CITY OF NEWPORT BEACH STD PLAN NO. 406-L.
 - (32) CONSTRUCT 6" CONCRETE OVER 8" BASE W/ #3 @ 18" E.W.
 - (33) REPLACE PLANTS AND IRRIGATION AS REQUIRED DUE TO CONSTRUCTION. SEE LANDSCAPE PLANS FOR PLANT SELECTION, SPACING AND OTHER SPECIFICATIONS.
 - (34) CONSTRUCT 3" A.C. OVER 6" A.B. PAVEMENT.

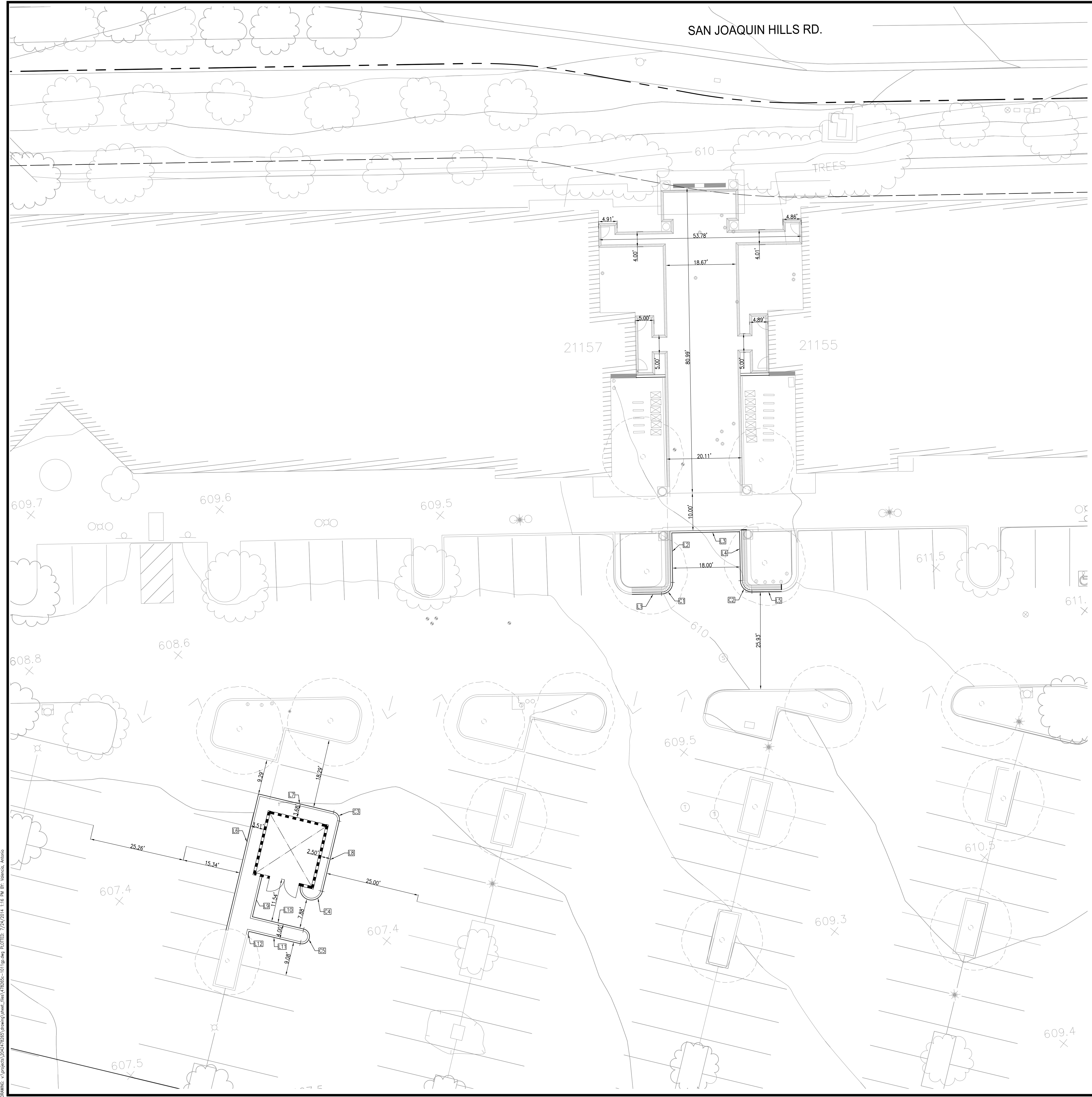
- SIGNING STRIPING CONSTRUCTION NOTES**
- (41) STRIPE "CURB GREEN" PARKING STALL PER CITY OF NEWPORT BEACH STD PLAN NO. 805-L-A AND 805-L-B.

- NOTES**
1. IF ANY EXISTING UTILITY IS EXPOSED DURING CONSTRUCTION THE CONTRACTOR SHALL SURVEY THE UTILITY AND PROVIDE THE ENGINEER WITH AN AUTOCAD FILE OF THE HORIZONTAL, VERTICAL, AND MATERIAL TYPE. THIS FILE WILL ALSO BE PROVIDED TO THE OWNER.
 2. ALL UTILITIES BEING CONSTRUCTED WILL BE SURVEYED FOR X/Y/Z COORDINATES PRIOR TO BURIAL. AN AUTOCAD FILE OF THE AS-BUILT UTILITIES WILL BE PROVIDED TO THE ENGINEER.
 3. IF ANY UNKNOWN LATERALS ARE UNCOVERED DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED. THE CONTRACTOR SHALL AS-BUILT THE LATERAL UPSTREAM TO THE END POINT AND PROVIDE THE ENGINEER WITH HORIZONTAL, VERTICAL, PIPE SIZE AND MATERIAL IN AN ACAD FORMAT.
 4. CONTRACTOR SHALL NOTIFY ENGINEER AT COMPLETION OF PRECISE GRADING OF PLANTERS AND BEFORE PLANTING HAS COMMENCED IN ORDER TO REVIEW SWALES AND GRADES IN PLANTERS AND LAWN AREAS. ALL PLANTERS SHALL STRAIGHT GRADE TO DRAIN TOWARD GRATES IF NO SPECIFY FLOW LINE IS SHOWN.
 - ** 5. CONTRACTOR TO VERIFY LOCATION (HORIZONTAL AND VERTICAL) AND MATERIAL TYPE OF EXISTING UTILITIES AT POINT OF CONNECTION (2) WEEKS PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES OR ISSUES OF CONSTRUCTABILITY.

<p>DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE</p> <p>SOILS ENGINEER: NMG GEOTECHNICAL 1946 FLORENCE IRVINE, CALIFORNIA 92614 (949) 442-2442</p>	<p>PREPARED BY: Stantec BRUCE COCHRAN DRIVE, SUITE 100 IRVINE, CA 92618 949.973.6000 stantec.com</p> <p>MITCHELL A. THESSEN R.C.E. 56987 (EXP. 6/30/15)</p>	<p>JOB NO.: 2042478266</p> <p>DATE APPROVED: 4</p> <p>DATE PRINTED: 2</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 5%;">DATE</th> <th style="width: 5%;">REVISIONS</th> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> </table>	NO.	DATE	REVISIONS	7			6			5			4			3			2			1		
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<p>NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE</p> <p>PRECISE GRADING PLAN</p> <p>CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT</p>		<p>PLAN CHECK NO. _____</p> <p>PERMIT NO. _____</p> <p>SHEET <u>4</u> OF <u>7</u></p>	<p>1ST SUBMITTAL - JULY 24, 2014</p>																								

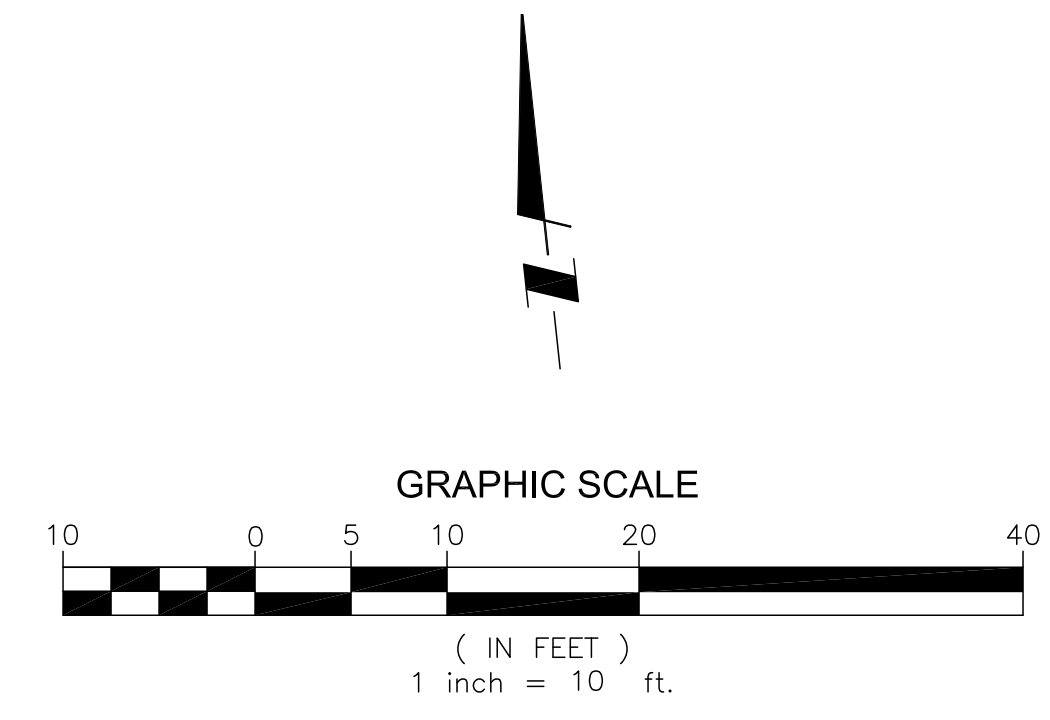


SAN JOAQUIN HILLS RD.



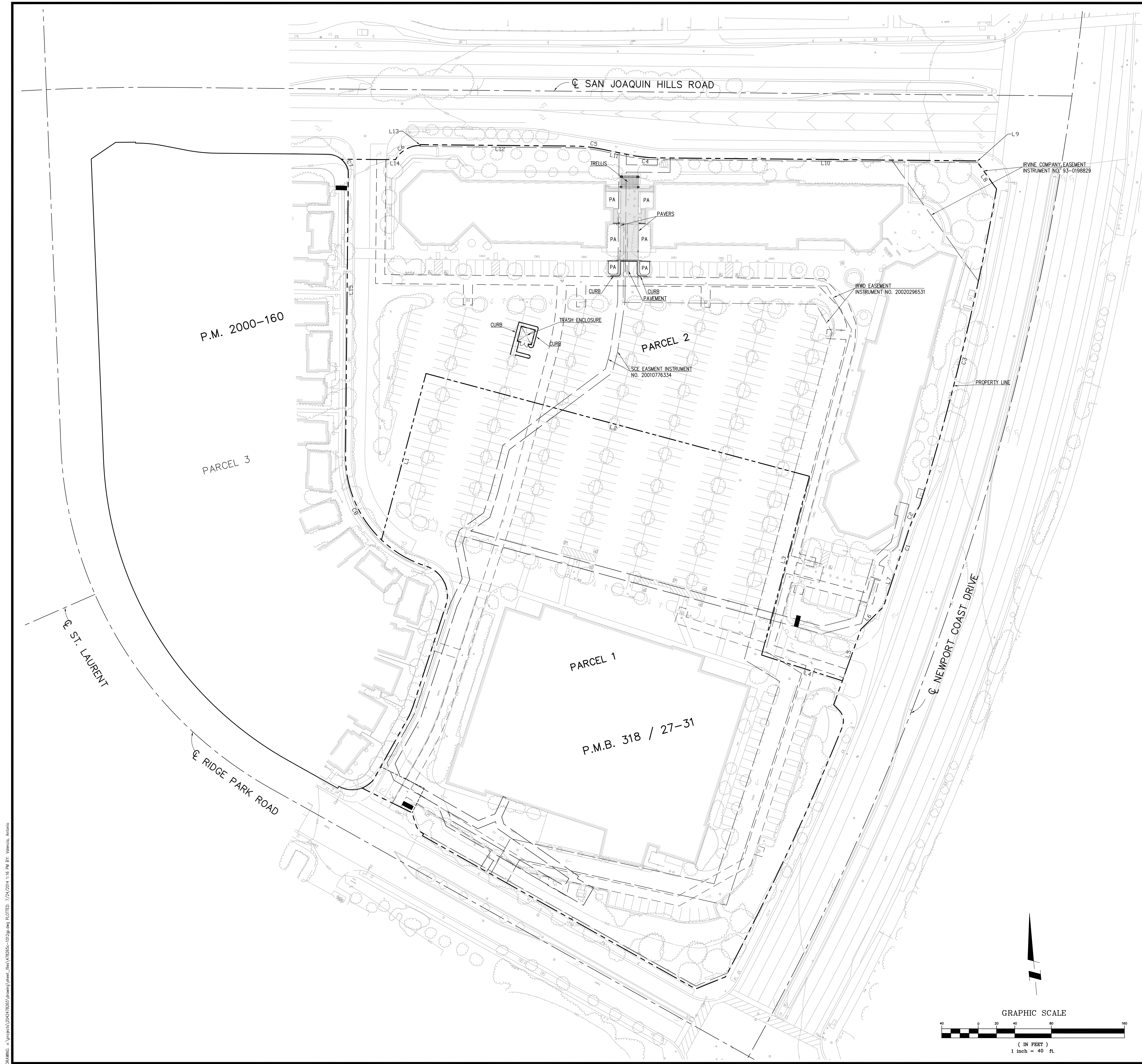
LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	7.80'	S84°17'07"E
L2	13.15'	N5°31'54"E
L3	18.00'	S84°28'01"E
L4	13.00'	N5°33'18"E
L5	7.85'	N84°14'38"W
L6	37.18'	N19°59'14"E
L7	20.51'	N70°00'46"W
L8	19.16'	N20°00'00"E
L9	10.88'	N20°00'00"E
L10	14.00'	S70°00'00"E
L11	14.00'	S70°00'00"E
L12	1.00'	N20°00'00"E

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	TANGENT
C1	4.72'	3.00'	90°10'59"	3.01'
C2	4.70'	3.00'	89°47'57"	2.99'
C3	3.14'	2.00'	90°00'46"	2.00'
C4	9.42'	3.00'	180°00'00"	INFINITY
C5	6.28'	2.00'	180°00'00"	INFINITY



DEVELOPER: IRVINE COMPANY 101 INNOVATION STREET, IRVINE, CA 92618 CONTACT: BOB LISLE	JOB NO: 2042478266	DATE APPROVED: 7/24/2014	DATE PRINTED: 7/24/2014	NO. 1	DATE
	SOILS ENGINEER: NIG GEOTECHNICAL 9915 FIDUCIARY, IRVINE, CA 92618 (949) 442-2442	JOB NO: 2042478266	DATE APPROVED: 7/24/2014	DATE PRINTED: 7/24/2014	NO. 2
Stantec 3000 COAST DRIVE, SUITE 100 IRVINE, CA 92618 949.973.6000		PREPARED BY: MITCHELL A. THESSEN R.C.E. 56967 (EXP. 6/30/15)		PROFESSIONAL SEAL MITCHELL A. THESSEN No. 56967 Exp. 6/30/15	
NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE HORIZONTAL CONTROL PLAN CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT					
PLAN CHECK NO.					
PERMIT NO.					
SHEET 5					
OF 7					
1ST SUBMITTAL - JULY 24, 2014					

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LINE TABLE			CURVE TABLE			
LINE #	LENGTH	BEARING	CURVE #	DELTA	RADIUS	TANGENT
L1	188.47'	S20°00'10"W	C1	0°33'51"	2931.00'	28.87'
L2	434.50'	N69°59'50"W	C2	11°31'25"	164.50'	33.09'
L3	202.47'	N20°00'10"E	C3	6°57'16"	2934.50'	356.18'
L4	92.82'	N67°19'56"W	C4	11°19'36"	160.62'	31.75'
L5	60.02'	N24°49'15"E	C5	11°02'03"	145.12'	27.95'
L6	34.98'	N50°05'39"E	C6	60°21'42"	31.00'	32.66'
L7	56.13'	N2318'53"E	C7	38°31'25"	23.00'	15.46'
L8	36.75'	N30°37'12"W	C8	47°04'04"	126.00'	103.51'
L9	0.86'	N5°32'59"E				
L10	350.36'	N84°27'24"W				
L11	30.59'	N73°08'48"W				
L12	170.00'	N84°27'24"W				
L13	1.00'	S5°26'47"W				
L14	59.40'	N84°29'42"W				
L15	310.85'	S5°32'34"W				

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUE FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING
 NRPD 644-3717. C.V.C. SECTION NO. 22562

FIRE LANE
 NO PARKING IN RED ZONES
 VIOLATING VEHICLES WILL BE CITED AND/OR TOWED AT VEHICLE OWNER'S EXPENSE.
 NRPD 644-3717 C.V.C. 22500.1 C.V.C. 658A

PRIVATE PROPERTY
 UNAUTHORIZED OR IMPROPERLY PARKED VEHICLES WILL BE TOWED AWAY AT OWNER'S EXPENSE.
 NRPD 949.644.3681 C.V.C. SECTION NO. 22658A.

EXISTING ENTRY SIGN DETAIL 'A'

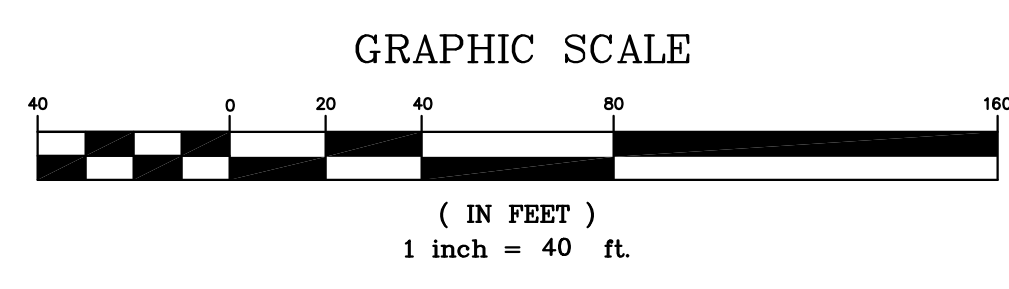
LEGEND
 ■ INDICATES LOCATION OF EXISTIN ENTRY SIGN PER DETAIL "A" HEREON

MONUMENT NOTE
 ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SAN JOAQUIN HILLS ROAD BEING "N 84°27'24" W" PER PARCEL MAP NO. 2000-160, P.M.B. 318 / 27-31.

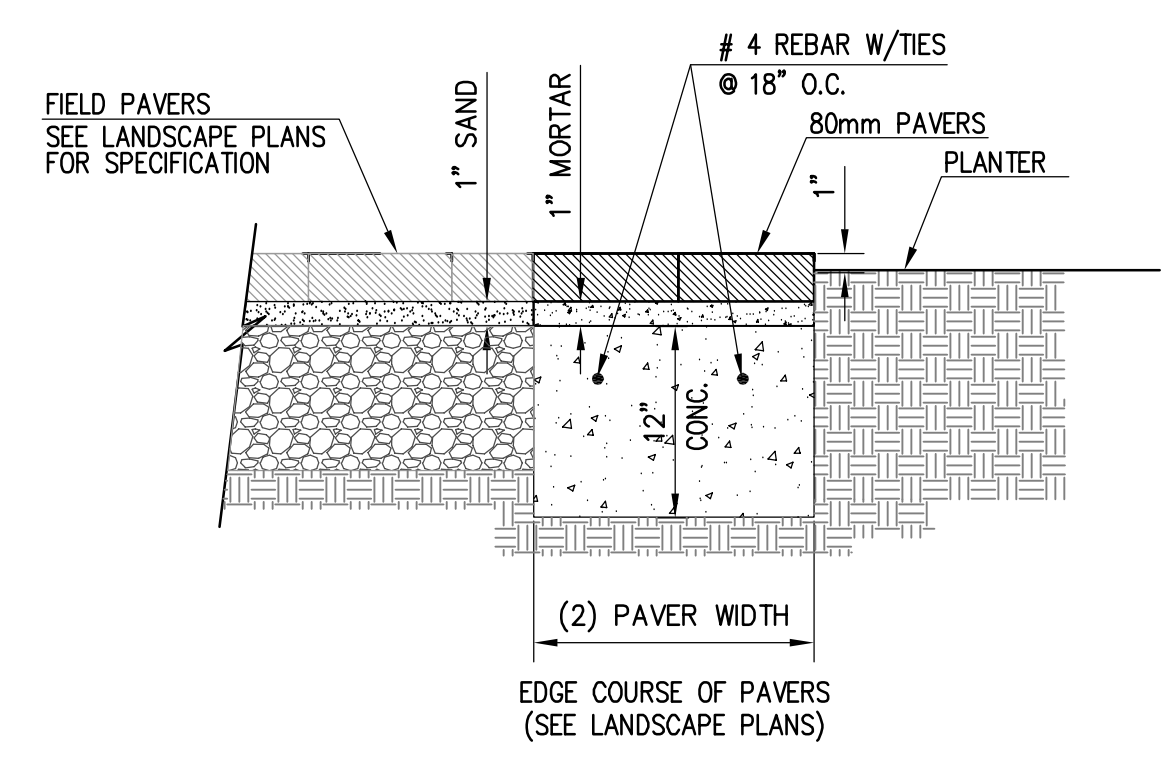
TOPOGRAPHY
 TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED UPON AERIAL PHOTOGRAPHY FLOWN ON APRIL 29, 2014 BY ROBERT J. LUNG AND ASSOCIATES. BUILDING OVERHANGS, INCLUDING ROOFS, EAVES, CANOPIES AND BALCONIES, WERE LOCATED BY AERIAL PHOTOGRAPHY AND MAY NOT REPRESENT BUILDING FOOTPRINTS AT GROUND LEVEL.

BENCH MARK:
 OCBM 3T-8-92 ELEVATION 602.431'
 (NGVD 29 / 1992 ADJUSTMENT)

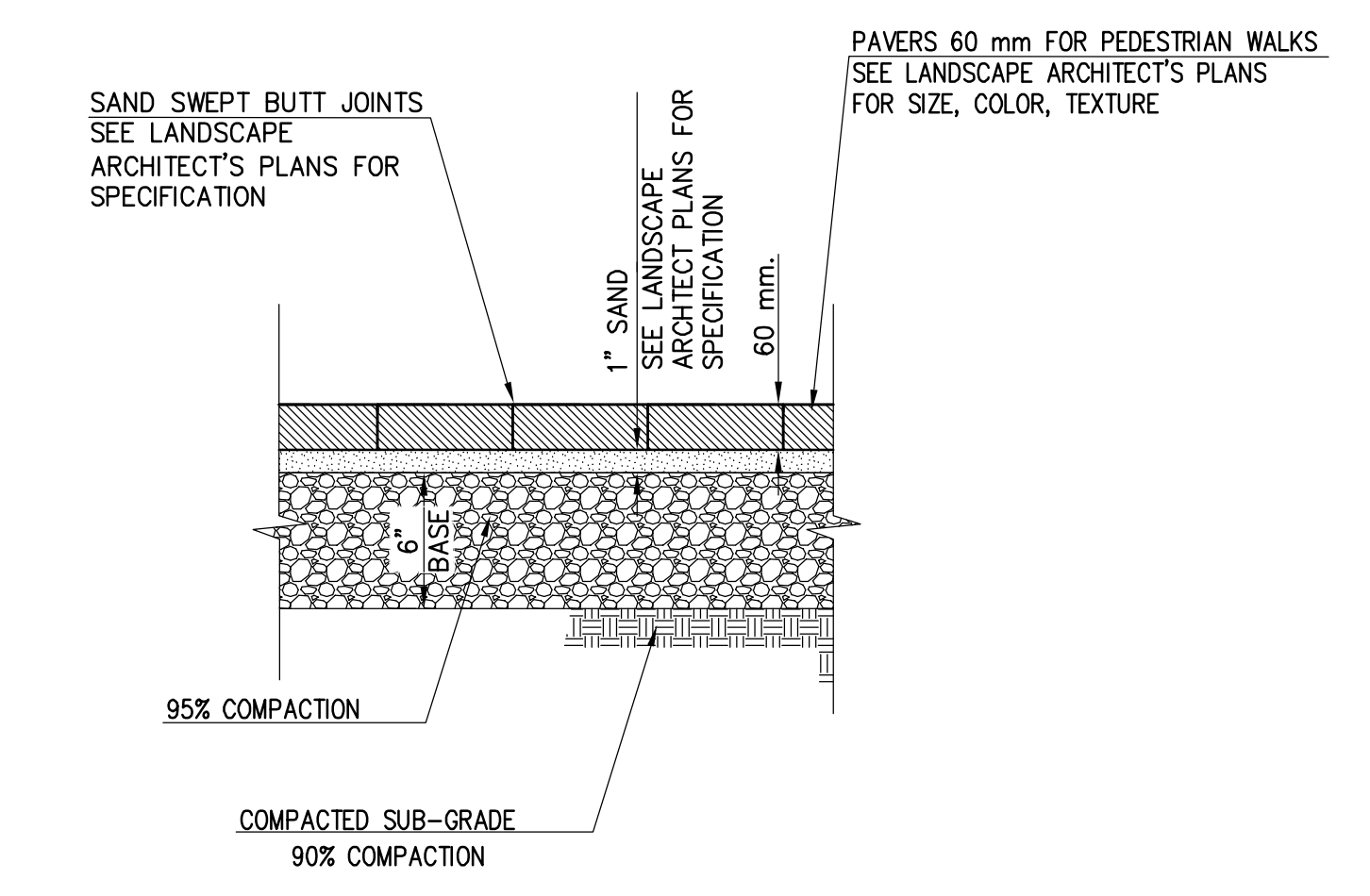
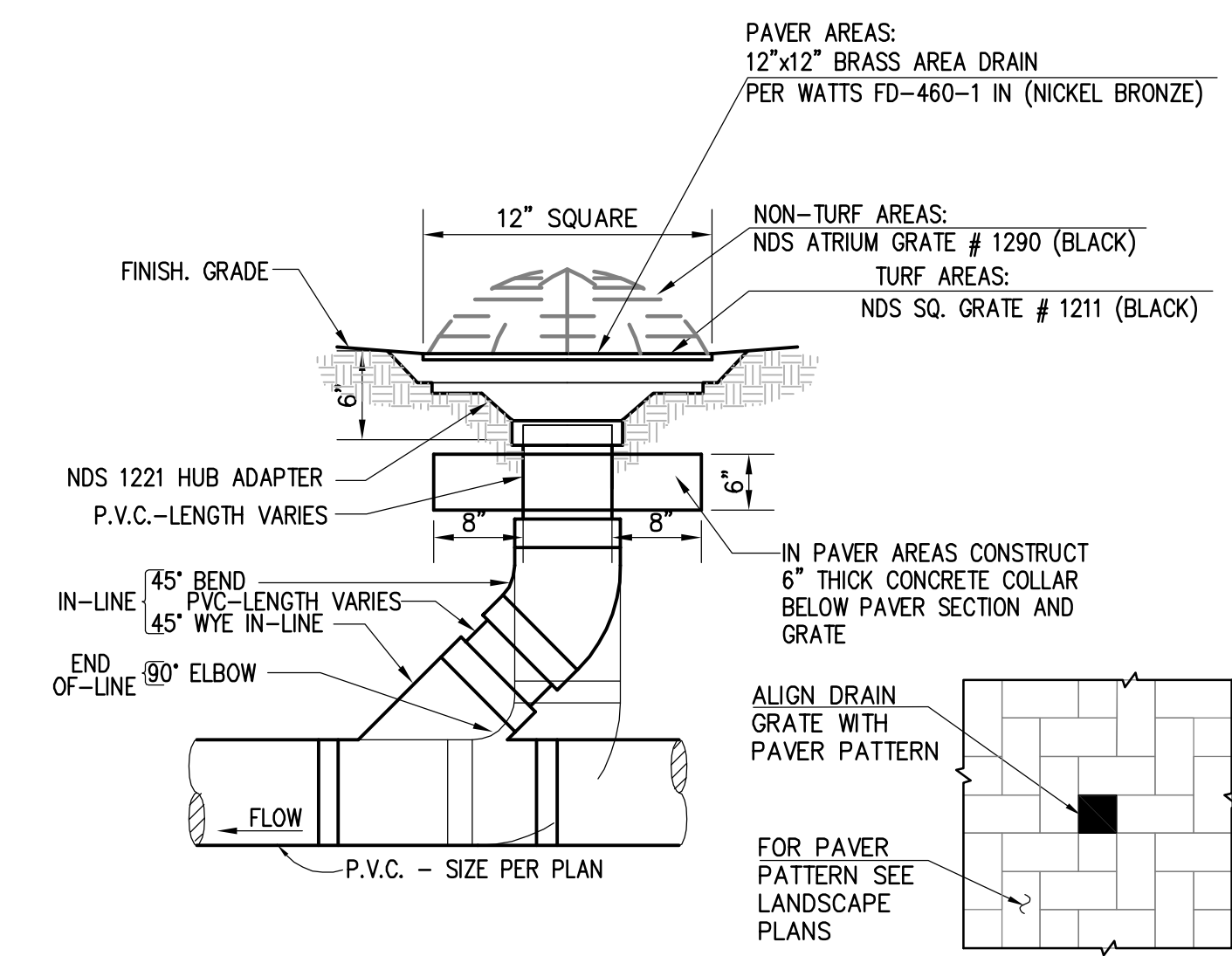


DEVELOPER: IRVINE COMPANY 101 INNOVATION STREET 1804 IRVINE, CA 92614 CONTACT: BOB LISLE 949.723.2279	SOILS ENGINEER: NMG GEOTECHNICAL 17991 FITCH CALIFORNIA IRVINE, CALIFORNIA 92614 (949) 442-2442	JOB NO: 2042478266	DATE APPROVED:	DATE PRINTED:
		SHEET 6	NO. 7	DATE
		PREPARED BY: Stantec 38 TECHNOLOGY DRIVE, SUITE 100 IRVINE, CA 92618 949.923.6000 stantec.com		
		NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE SITE SURVEY CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT		
PLAN CHECK NO.		PERMIT NO.		SHEET 6 OF 7
1ST SUBMITTAL - JULY 24, 2014				

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PAVERS EDGE AT PLANTER (A)
NOT TO SCALE



NO.	DATE	REVISIONS
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JOB NO: 2042478266

DATE APPROVED: []

DATE PRINTED: []

DEVELOPER: IRVINE COMPANY
101 INNOVATION
IRVINE, CA 92618
CONTACT: BOB LISLE

SOILS ENGINEER: NMG GEOTECHNICAL
IRVINE, CALIFORNIA 92614
(949) 442-2442

PREPARED BY: **Stantec**
3800 CALICO DRIVE, SUITE 100
IRVINE, CA 92618
949.973.6000
stantec.com

MITCHELL A. THESSER R.C.E. 56867 (C.P. 6/20/15)

PROFESSIONAL ENGINEER
MITCHELL A. THESSER
No. 56867
Exp. 6/20/15

NEWPORT COAST SHOPPING CENTER
21155 NEWPORT COAST DRIVE
DETAILS

CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

PLAN CHECK NO. _____

PERMIT NO. _____

SHEET 7 OF 7

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

Construction Materials and Finish Schedule

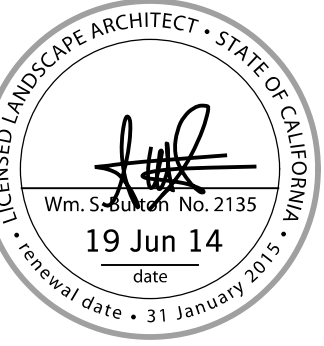
Symbol	Item	Description, Color And Finish	Detail/Sheet
A	Interlocking Concrete Paving	Single soldier course band - 4' x 8' Holland paver (80mm) Color: *Dusk/Canyon Brown Blend* Available through Orco Block, 800 655 6726 *Contractor to confirm color and finish matches existing prior to installation	Refer to: Civil Engineer's documents
B	Interlocking Concrete Paving	Double soldier course band - 4' x 8' Holland paver (80mm) Color: *Dusk/Canyon Brown Blend* Available through Orco Block, 800 655 6726 *Contractor to confirm color and finish matches existing prior to installation	Refer to: Civil Engineer's documents
C	Interlocking Concrete Paving	Runningband - 4' x 8' Holland paver (80mm) Color: *Dusk/Canyon Brown Blend* Available through Orco Block, 800 655 6726 *Contractor to confirm color and finish matches existing prior to installation *Contractor to align with existing	Refer to: Civil Engineer's documents
D	Concrete Curb	Integral color concrete Color: Match existing Finish: Match existing	Refer to: Civil Engineer's documents

Construction Key Notes

Symbol	Description	Detail/Sheet
1	Interlocking Concrete Paving	Refer to: H / LC-5.01 and Civil Engineer's documents
2	Wood Trellis to Remain and Accept New Columns to Match Existing	Similar to existing
3	Concrete Curb	Refer to: Civil Engineer's documents
4	Column to Match Existing	
5	Existing Paving to Remain	Contractor to protect in place
6	Existing Column to Remain	Contractor to protect in place

Construction Legend

Symbol	Description
CL	Centerline
EQ	Equal
PA	Planting Area
EPA	Existing Planting Area
POB	Point of Beginning
PCR	Point of Curb Return
PT	Point of Tangency
PL	Property Line
--	Approximate line of Interface Between Existing and New Paving
∩	Align with Adjacent Surface
⊥	Align Perpendicular
--	Expansion Joint with Sealant



Newport Coast Retail Starbucks Patio

Landscape Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
19 Jun 14 | Owner Review

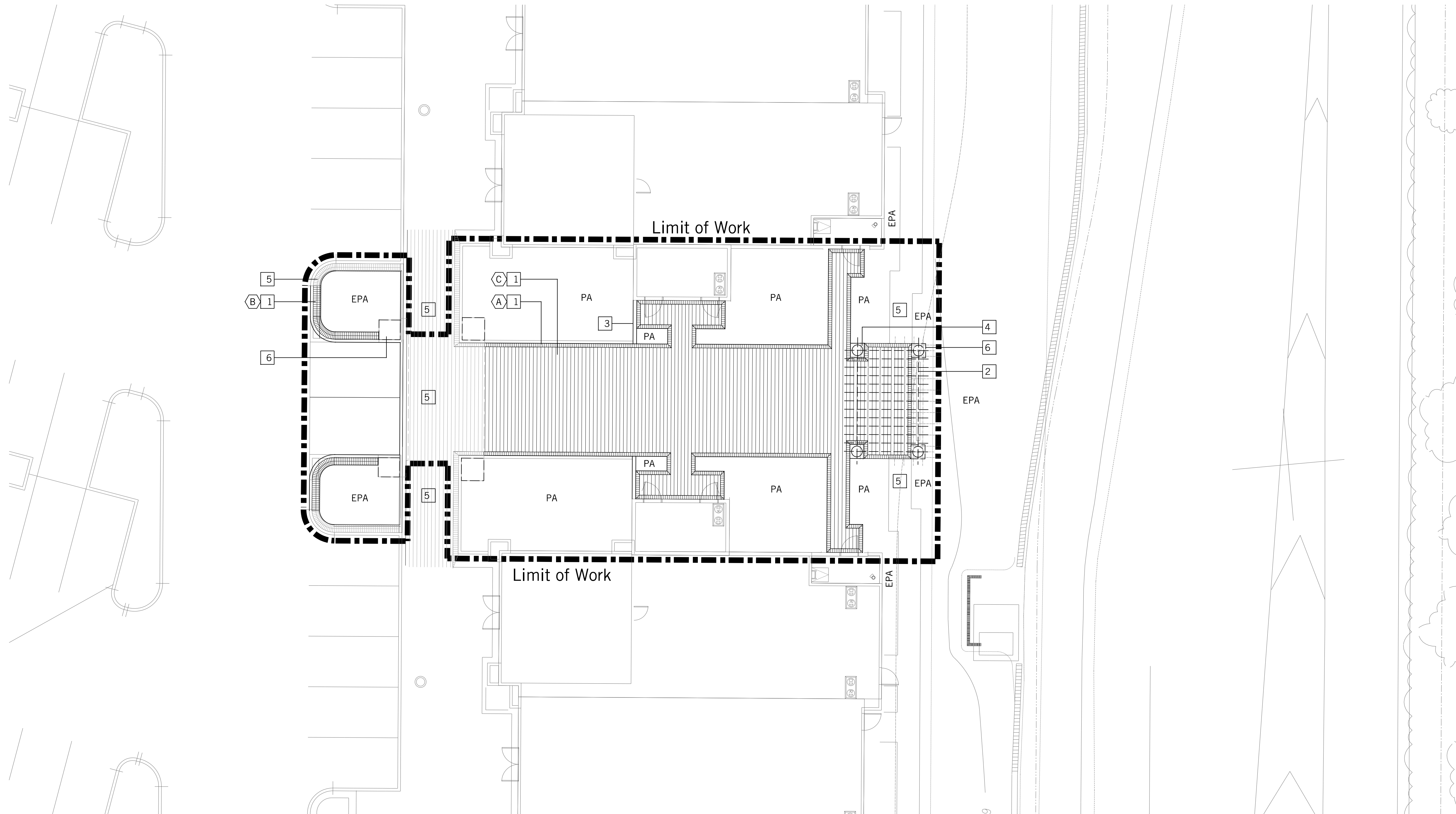
Scale No Scale
Project 12.088

Landscape Construction
Notes & Legends

Sheet

LC-0.01

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

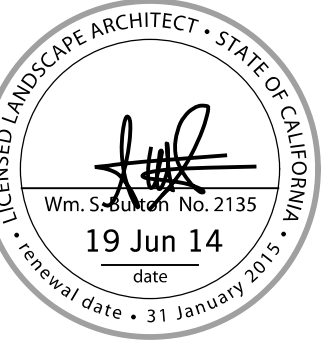


Construction Legend

Symbol	Description
CL	Centerline
EQ	Equal
PA	Planting Area
POB	Point of Beginning
PCR	Point of Curb Return
PT	Point of Tangency
PL	Property Line
R	Radius
⤴	Align with Adjacent Surface
⊥	Align Perpendicular
---	Expansion Joint
- -	Expansion Joint with Sealant
—	Score Joint

Construction Key Notes

Symbol	Description	Detail/Sheet
1	Interlocking Concrete Paving	Refer to: H / LC-5.01 and Civil Engineer's documents
2	Wood Trellis to Remain and Accept New Columns to Match Existing	Similar to existing
3	Concrete Curb	Refer to: Civil Engineer's documents
4	Column to Match Existing	
5	Existing Paving to Remain	Contractor to protect in place
6	Existing Column to Remain	Contractor to protect in place



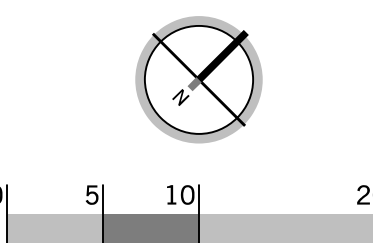
Newport Coast Retail Starbucks Patio

Landscape Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
19 Jun 14 | Owner Review



Scale 1" = 10'-0"
Project 12.088

Landscape Construction Plan

Sheet

LC-1.01

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT IS PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

Plant Legend

Trees

Symbol	Botanical name	Common Name	Size	Quantity
	Existing Palm to Remain			
	Olea europea - natural multi / matching (18' x 18')	Olive	Field Dug	

Shrubs, Perennials, and Annuals

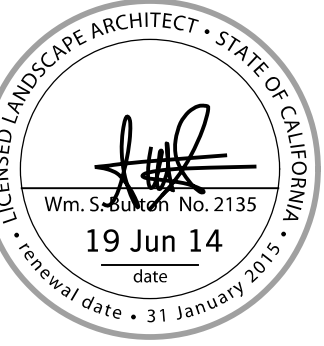
Symbol	Spacing	Botanical name	Common Name	Size	Quantity
		Existing shrub to remain			
	2'-6" OC	Ligustrum j. 'Texanum' - shrub	Wax-leaf Privet	15 gal	60
	2'-6" OC	Rhamphiolepis i. 'Clara'	Indian Hawthorn	5 gal	24
	2'-6" OC	Rosa spp. Flower Carpet' - shrub	White Carpet Rose	5 gal	70

Pot / Amenity Legend

Symbol	Description	Material	Quantity
	2 Seater Sofa - TBD		2
	Lounge Chair - TBD		4
	Side Table - TBD		4
	Dining Table - TBD		19
	Dining Chair - TBD		38
	Custom 8' x 12' Cantilevered Umbrella - TBD		2

Notes

- All plant material 1 gallon and larger excluding palms to be supplied by D.L.Cunningham, Inc. (Attn: Rob Cunningham 949.261.7191)



Newport Coast Retail Starbucks Patio

Landscape Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
19 Jun 14 | Owner Review

Scale No Scale
Project 12.088

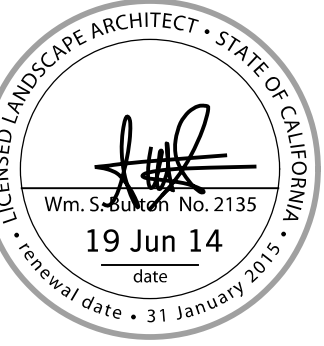
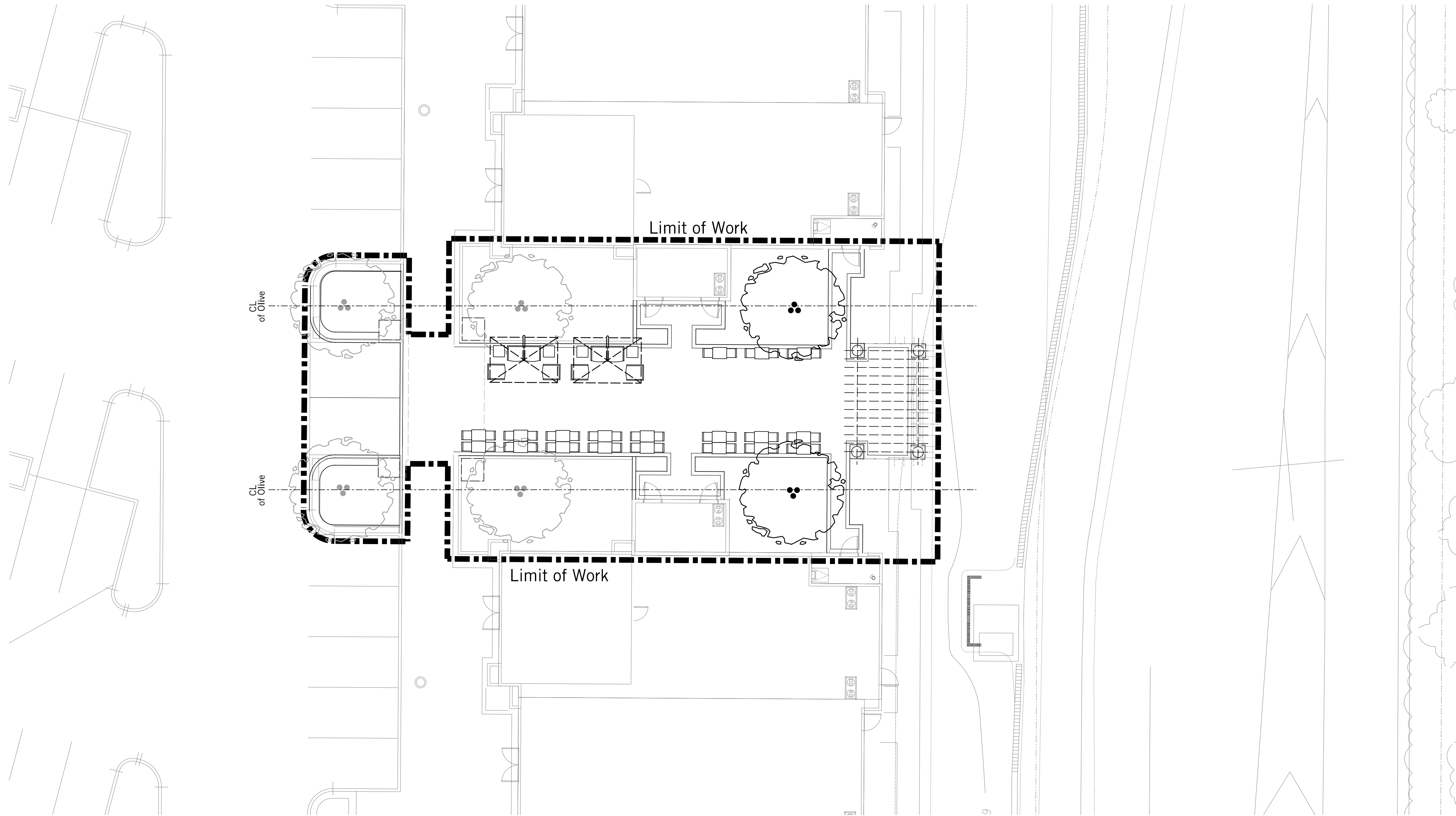
Landscape Planting
Notes & Legends

Sheet

LP-0.01

Note:
Total irrigated area shown on these drawings is 956 s.f. (.02 acres)
All landscape and irrigated areas shown on these drawings
are to be privately maintained.

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT IS PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.



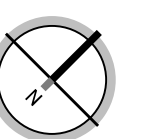
**Newport Coast
Retail Starbucks
Patio**

Landscape
Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
19 Jun 14 | Owner Review



0 5 10 20
Scale 1" = 10'-0"
Project 12.088

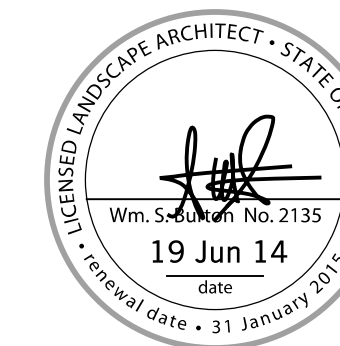
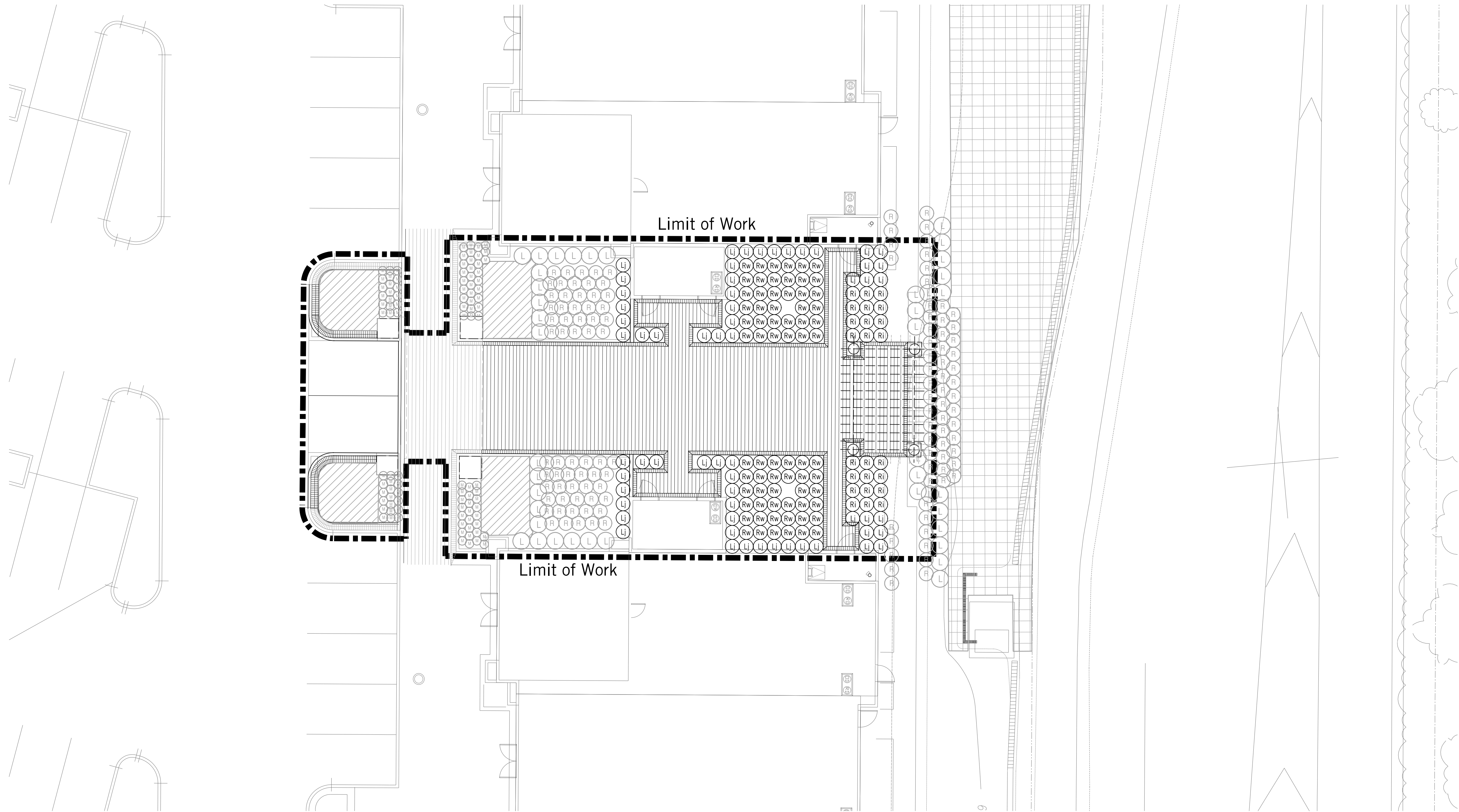
Landscape Planting Plan
Tree and Vine

Sheet

LPT-1.01

Note:
Total irrigated area shown on these drawings is 956 s.f. (.02 acres)
All landscape and irrigated areas shown on these drawings
are to be privately maintained.

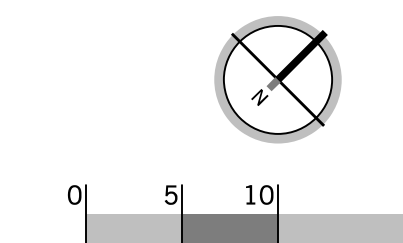
THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT IS PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.



**Newport Coast
 Retail Starbucks
 Patio**
 Landscape
 Improvement Plans

Project Location:
 Newport Beach Ca
 Client:
 Irvine Company

Date | Revision
 19 Jun 14 | Owner Review



Scale 1" = 10'-0"
 Project 12.088

Landscape Planting Plan
 Shrub and Groundcover

Sheet

LPS-1.01

Note:
 Total irrigated area shown on these drawings is 956 s.f. (.02 acres)
 All landscape and irrigated areas shown on these drawings
 are to be privately maintained.

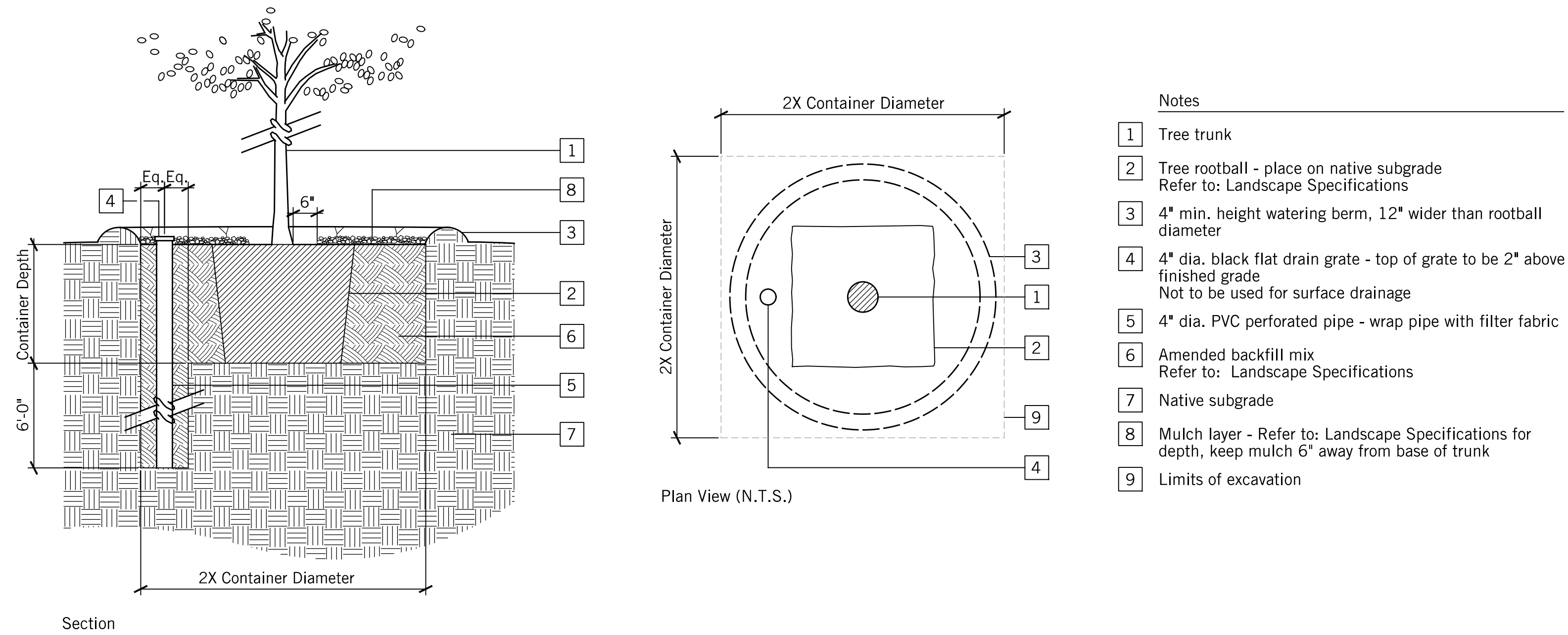
THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT IS PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

Not Assigned

B

Not Assigned

D



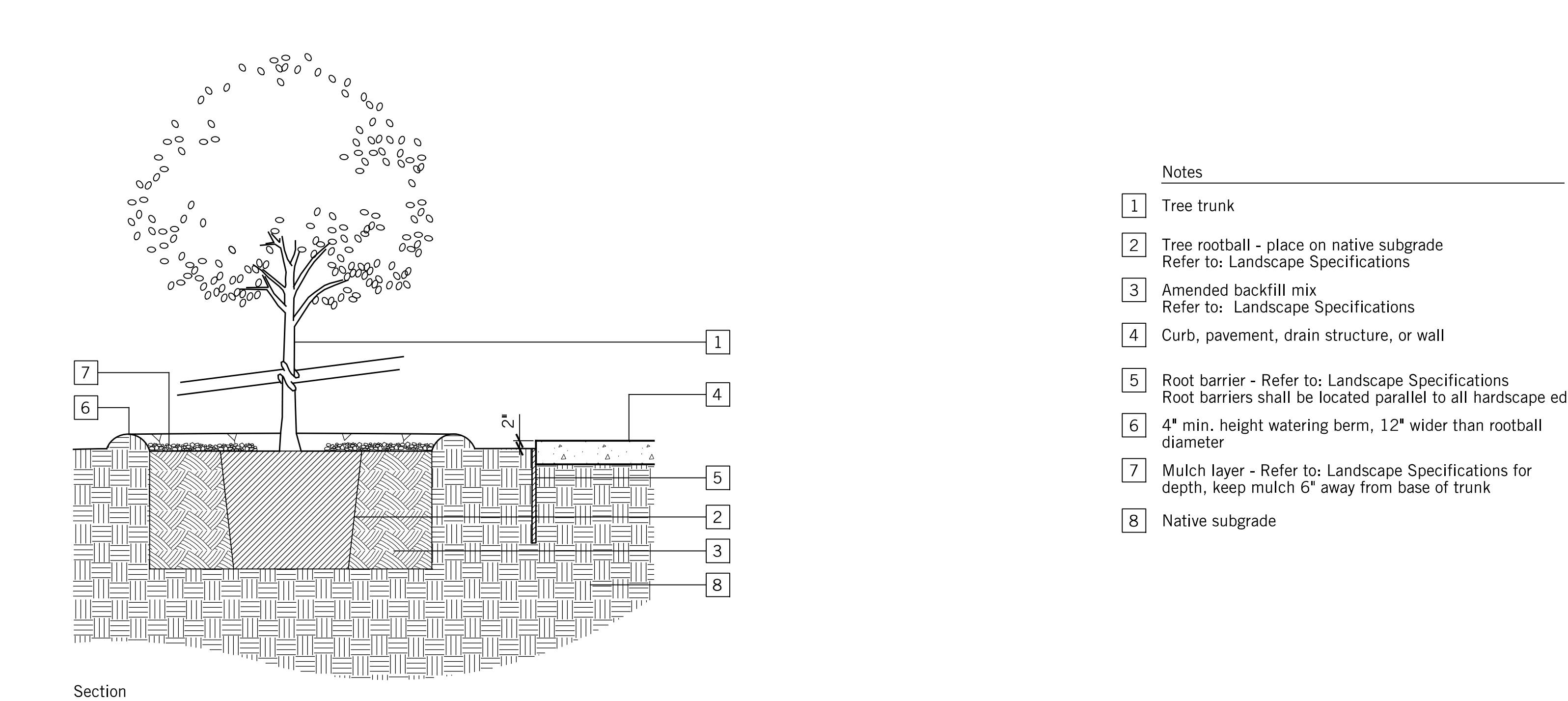
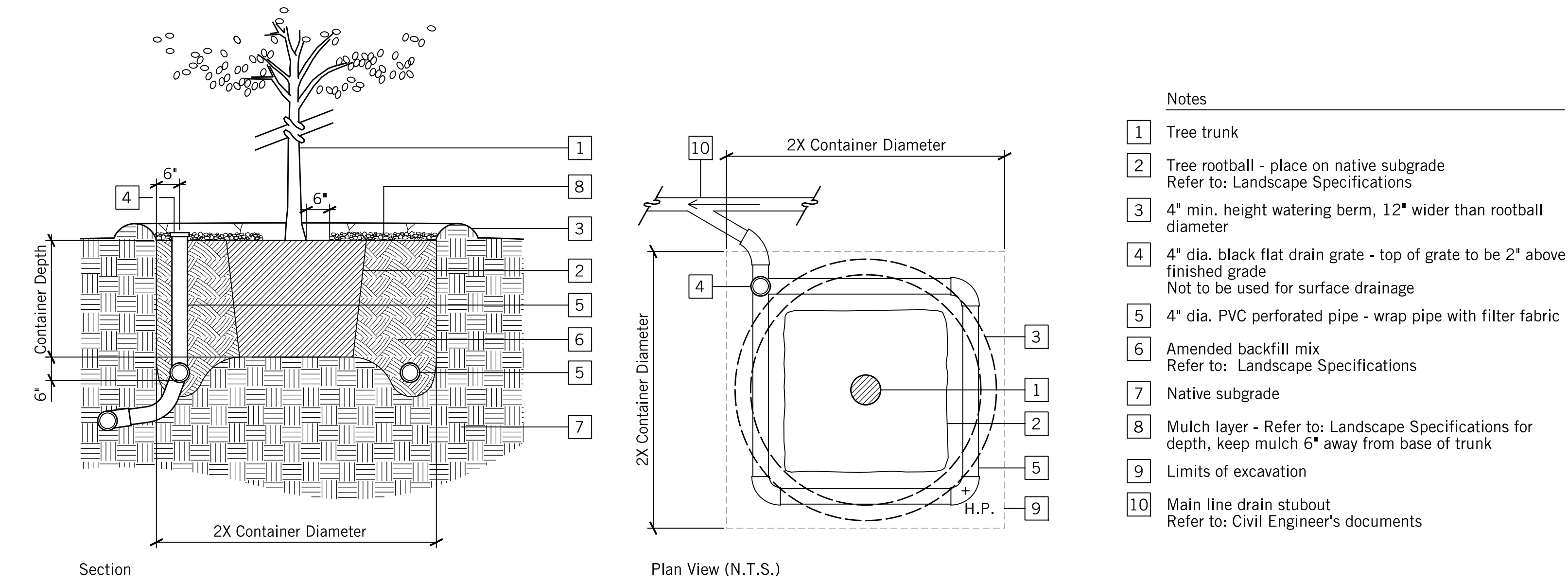
Tree Monitor Drain and Planting

Scale: 1/2"=1'-0"

F

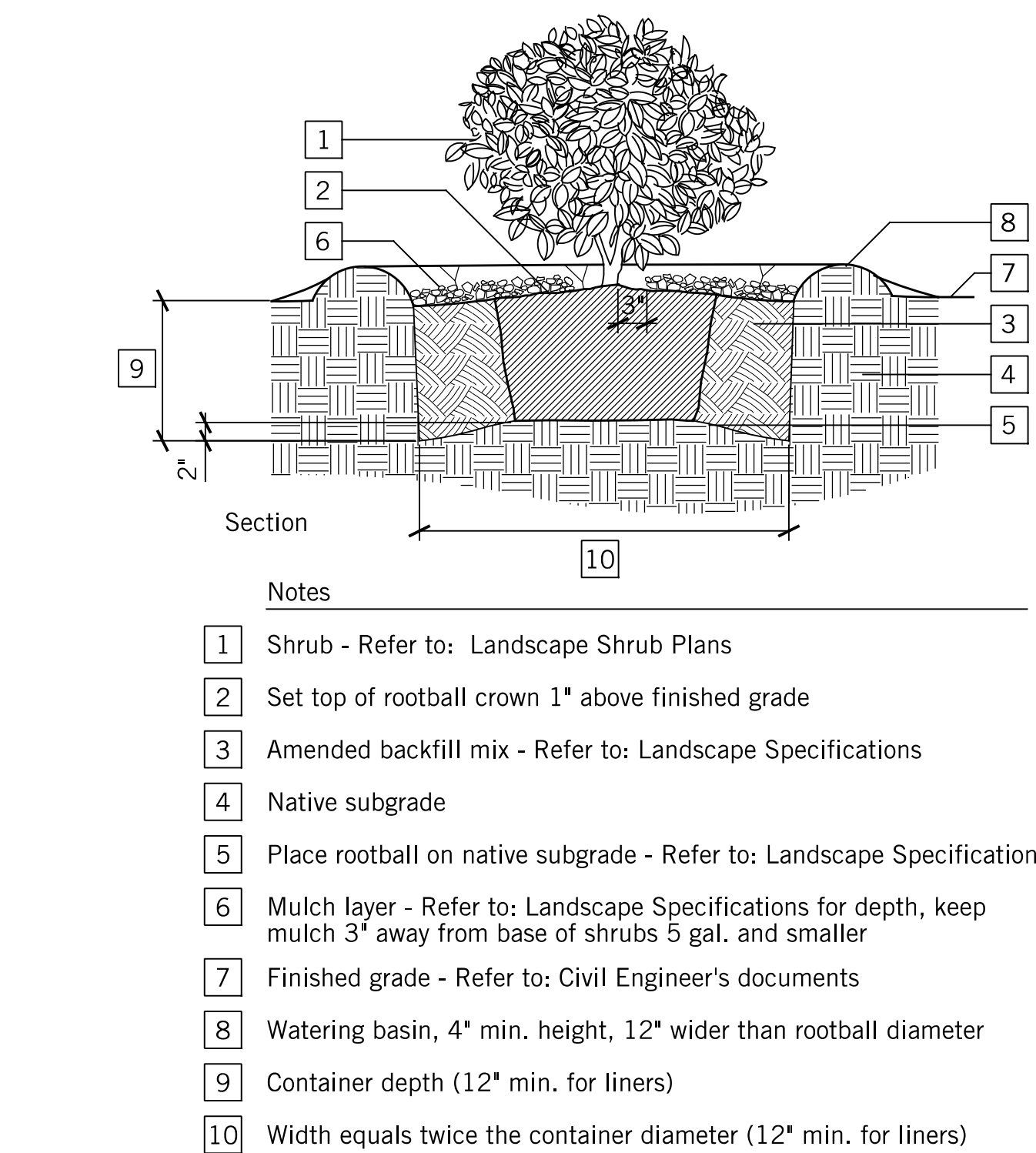
Tree Storm Drain and Planting

H



Tree Rootbarrier

J



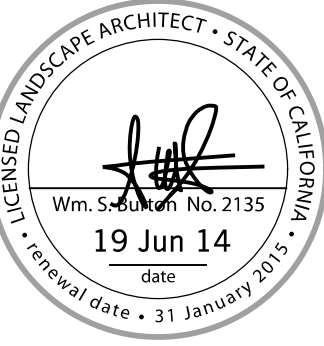
Shrub Planting

Scale: 3/4"=1'-0"

K

Not Assigned

L



Newport Coast Retail Starbucks Patio

Landscape Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
19 Jun 14 | Owner Review

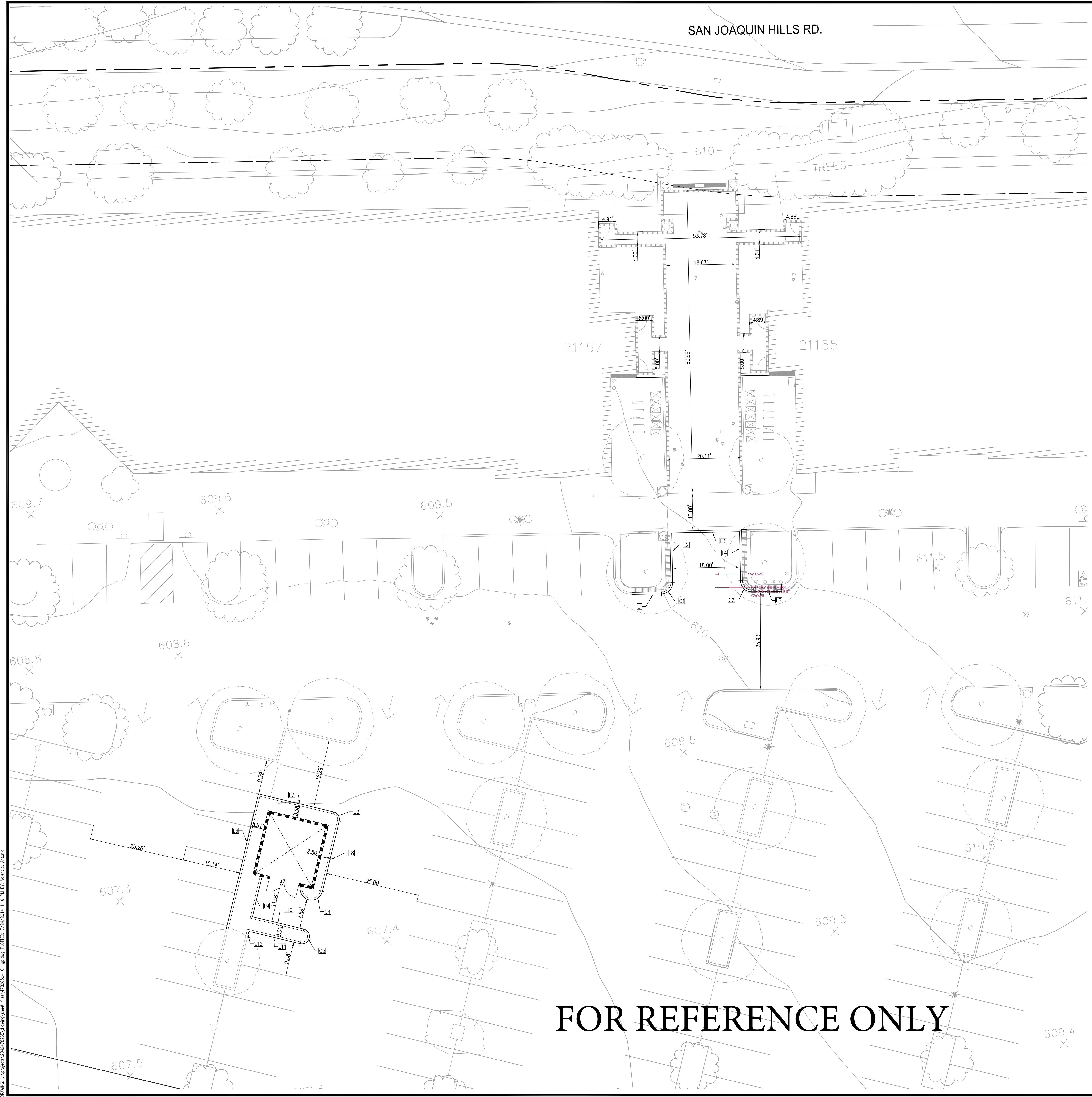
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Project 12.088

Landscape Planting
Details

Sheet

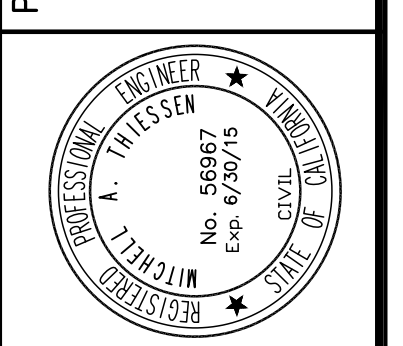
LP-5.01

SAN JOAQUIN HILLS RD.

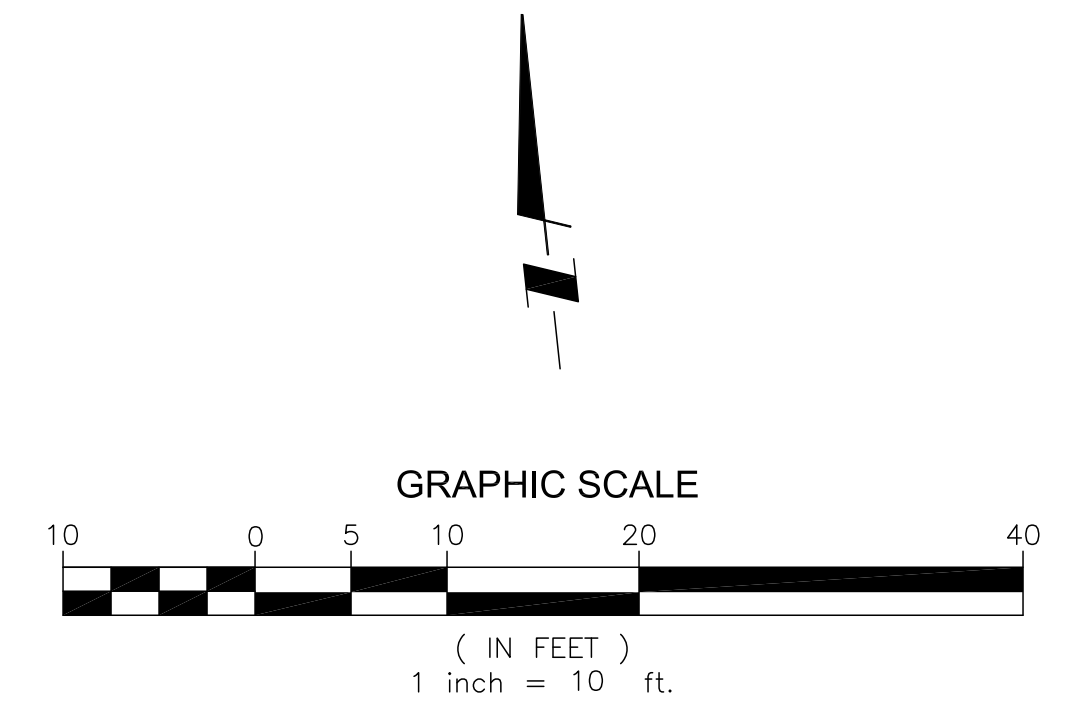


LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	7.80'	S84°17'07"E
L2	13.15'	N5°31'54"E
L3	18.00'	S84°28'01"E
L4	13.00'	N5°33'18"E
L5	7.85'	N84°14'38"W
L6	37.18'	N19°59'14"E
L7	20.51'	N70°00'46"W
L8	19.16'	N20°00'00"E
L9	10.88'	N20°00'00"E
L10	14.00'	S70°00'00"E
L11	14.00'	S70°00'00"E
L12	1.00'	N20°00'00"E

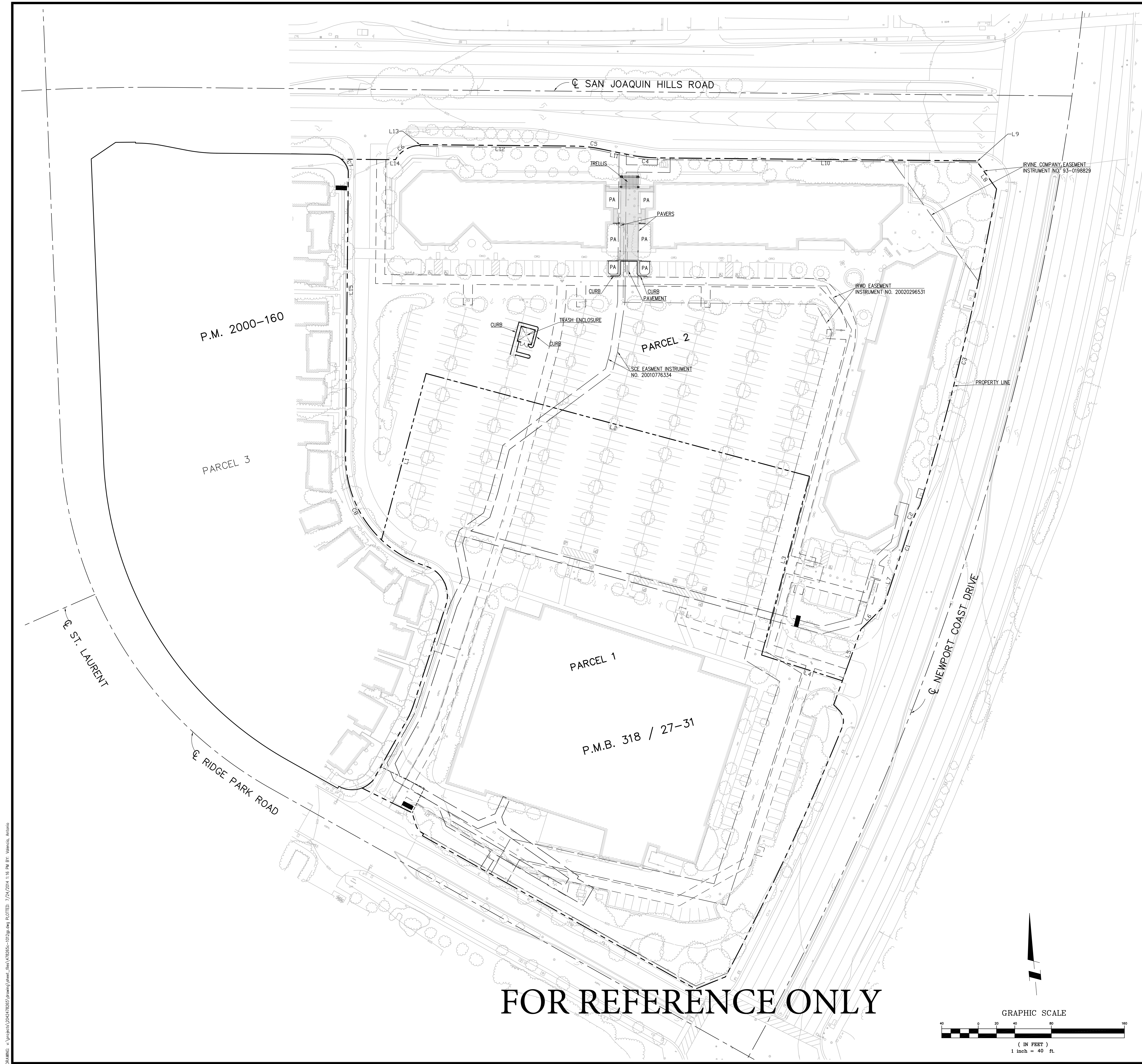
CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	TANGENT
C1	4.72'	3.00'	90°10'59"	3.01'
C2	4.70'	3.00'	89°47'57"	2.99'
C3	3.14'	2.00'	90°00'46"	2.00'
C4	9.42'	3.00'	180°00'00"	INFINITY
C5	6.28'	2.00'	180°00'00"	INFINITY

DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE	JOB NO: 2042478266	DATE APPROVED: 4	DATE PRINTED: 2	NO.	DATE
	SOILS ENGINEER: NIG GEOTECHNICAL 9915 FIDUCIARY IRVINE, CALIFORNIA 92614 (949) 442-2442				
PREPARED BY: Stantec 30000 COAST DRIVE, SUITE 100 IRVINE, CA 92618 949.973.6000 stantec.com MITCHELL A. THESSEN R.C.E. 56967 (EXP. 6/30/15)					
					
NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE HORIZONTAL CONTROL PLAN CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT					
PLAN CHECK NO.					
PERMIT NO.					
SHEET <u>5</u>					
OF <u>7</u>					
1ST SUBMITTAL - JULY 24, 2014					

FOR REFERENCE ONLY



DRAWING: \\pdpch\2014\2014\145\145.dwg, Date: 7/24/2014, 1:16 PM, By: Veronica Adorno



FOR REFERENCE ONLY

LINE TABLE			CURVE TABLE			
LINE #	LENGTH	BEARING	CURVE #	DELTA	RADIUS	TANGENT
L1	188.47'	S20°00'10"W	C1	0°33'51"	2931.00'	28.87'
L2	434.50'	N69°59'50"W	C2	11°31'25"	164.50'	33.09'
L3	202.47'	N20°00'10"E	C3	6°57'16"	2934.50'	356.18'
L4	92.82'	N67°19'56"W	C4	11°19'36"	160.62'	31.75'
L5	60.02'	N24°49'15"E	C5	11°02'03"	145.12'	27.95'
L6	34.98'	N50°05'39"E	C6	60°21'42"	31.00'	32.66'
L7	56.13'	N2318'53"E	C7	38°31'25"	23.00'	15.46'
L8	36.75'	N30°37'12"W	C8	47°04'04"	126.00'	103.51'
L9	0.86'	N5°32'59"E				
L10	350.36'	N84°27'24"W				
L11	30.59'	N73°08'48"W				
L12	170.00'	N84°27'24"W				
L13	1.00'	S5°26'47"W				
L14	59.40'	N84°29'42"W				
L15	310.85'	S5°32'34"W				

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUE FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING
 NRPD 644-3717. C.V.C. SECTION NO. 22562

FIRE LANE
 NO PARKING IN RED ZONES
 VIOLATING VEHICLES WILL BE CITED AND/OR TOWED AT VEHICLE OWNER'S EXPENSE.
 NRPD 644-3717 C.V.C. 22500.1 C.V.C. 658A

PRIVATE PROPERTY
 UNAUTHORIZED OR IMPROPERLY PARKED VEHICLES WILL BE TOWED AWAY AT OWNER'S EXPENSE.
 NRPD 949.644.3681 C.V.C. SECTION NO. 22658A.

EXISTING ENTRY SIGN DETAIL 'A'

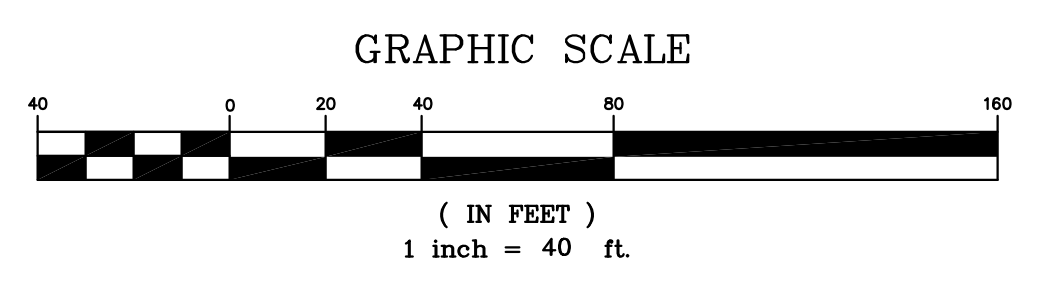
LEGEND
 ■ INDICATES LOCATION OF EXISTIN ENTRY SIGN PER DETAIL "A" HEREON

MONUMENT NOTE
 ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SAN JOAQUIN HILLS ROAD BEING "N 84°27'24" W" PER PARCEL MAP NO. 2000-160, P.M.B. 318 / 27-31.

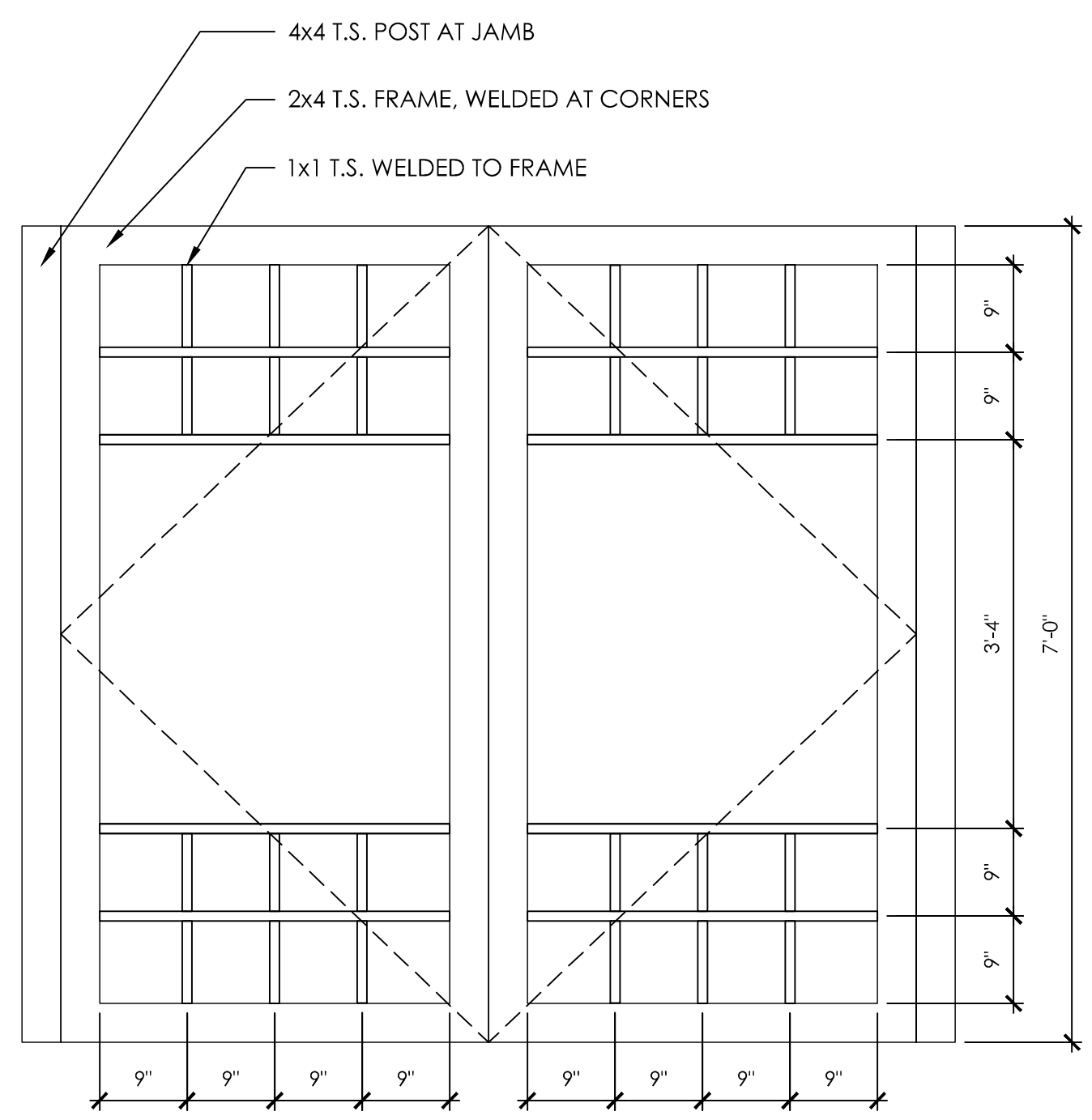
TOPOGRAPHY
 TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED UPON AERIAL PHOTOGRAPHY FLOWN ON APRIL 29, 2014 BY ROBERT J. LUNG AND ASSOCIATES. BUILDING OVERHANGS, INCLUDING ROOFS, EAVES, CANOPIES AND BALCONIES, WERE LOCATED BY AERIAL PHOTOGRAPHY AND MAY NOT REPRESENT BUILDING FOOTPRINTS AT GROUND LEVEL.

BENCH MARK:
 OCBM 3T-8-92 ELEVATION 602.431'
 (NGVD 29 / 1992 ADJUSTMENT)



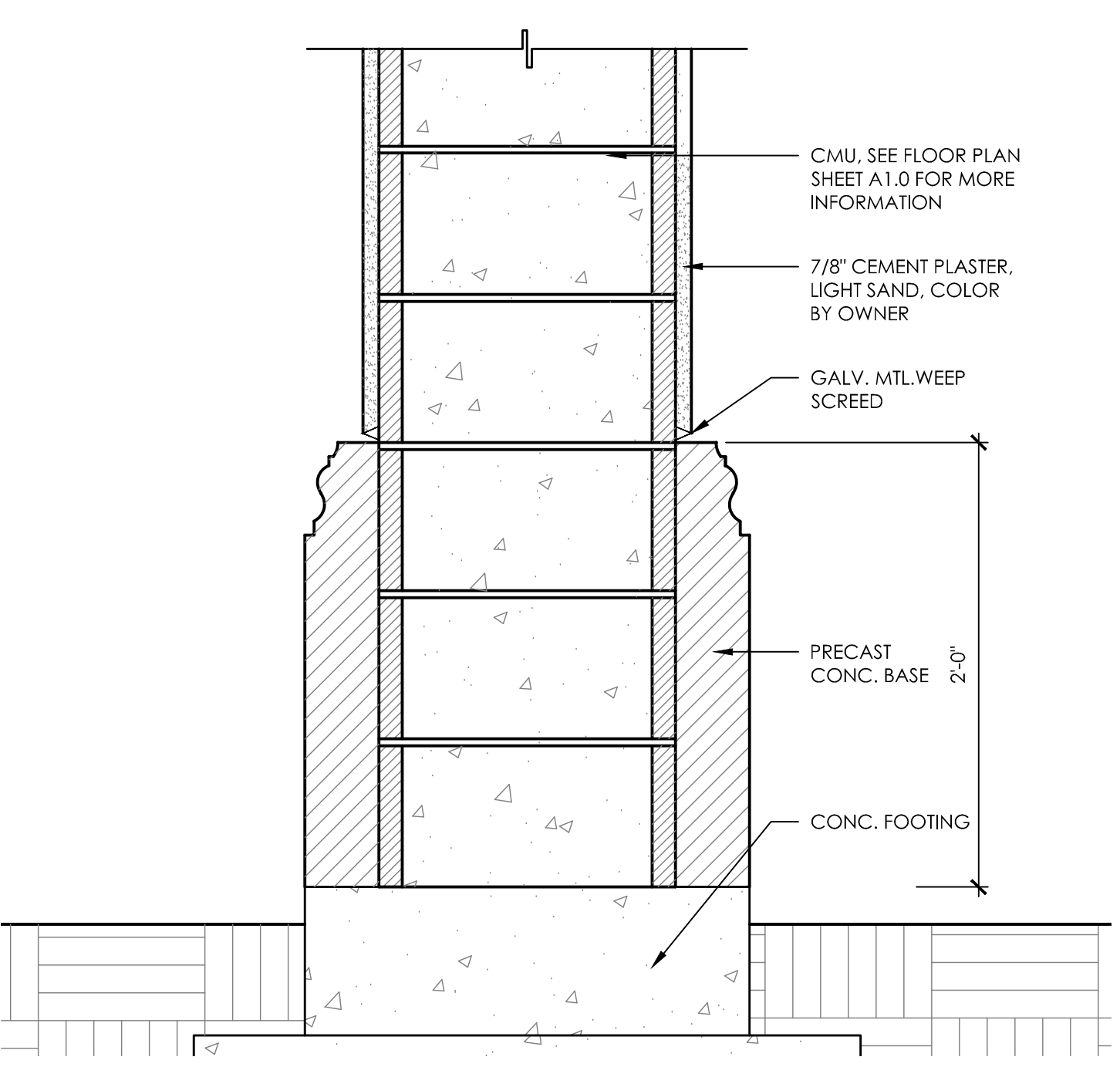
DEVELOPER: IRVINE COMPANY 101 INNOVATION STREET 1804 IRVINE, CA 92614 CONTACT: BOB LISLE 949.723.2279	SOILS ENGINEER: NMG GEOTECHNICAL 17991 FITCH CALIFORNIA IRVINE, CALIFORNIA 92614 (949) 442-2442	JOB NO: 2042478266	SHEET NO: 6
		DATE APPROVED: 4	DATE PRINTED: 1
		NO.	DATE
		REVISIONS	NO.
PREPARED BY: Stantec 38 TECHNOLOGY DRIVE, SUITE 100 IRVINE, CA 92618 949.923.6000 stantec.com		NEWPORT COAST SHOPPING CENTER 21155 NEWPORT COAST DRIVE SITE SURVEY	CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT
PLAN CHECK NO.	PERMIT NO.	SHEET 6 OF 7	1ST SUBMITTAL - JULY 24, 2014

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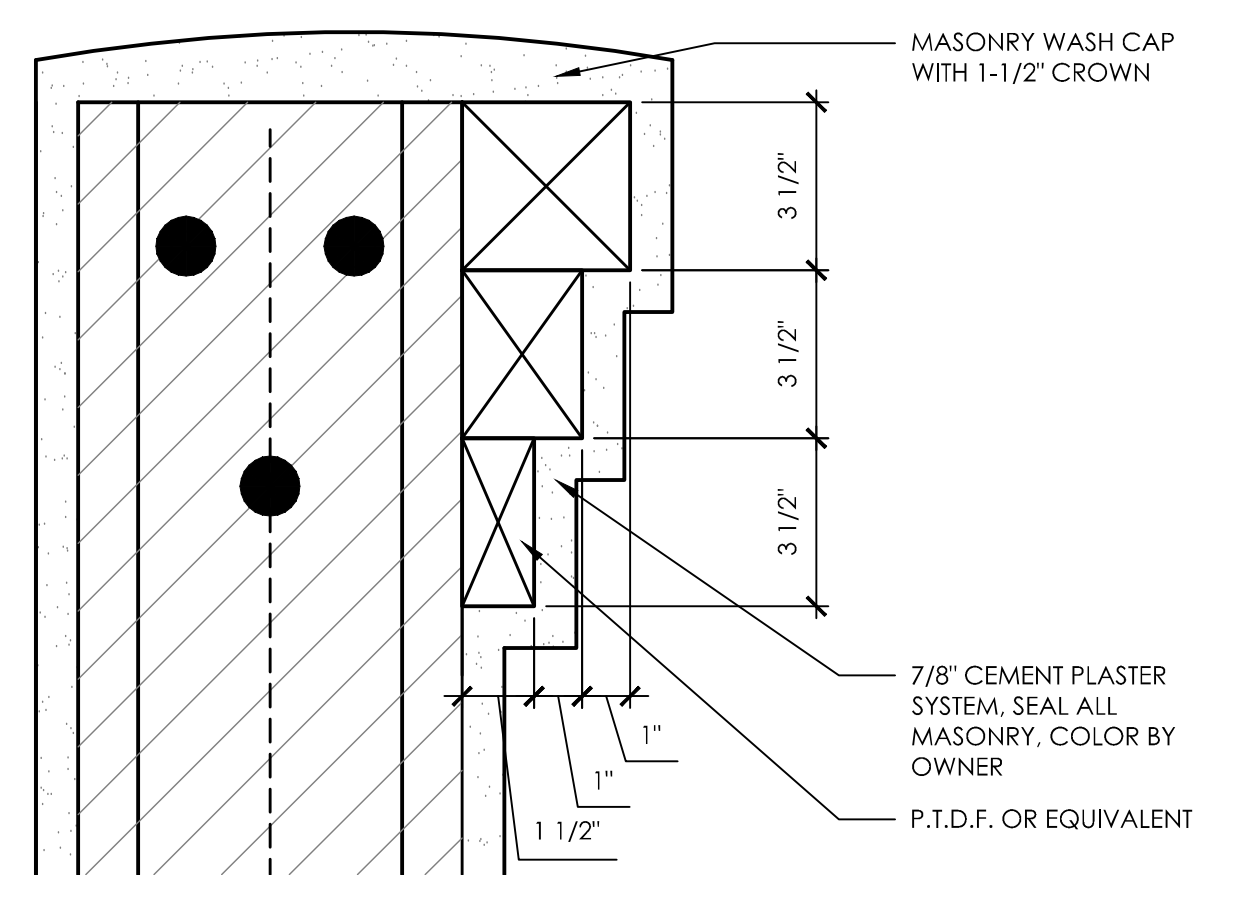


NOTE:
 1. POWDER COAT ALL METAL PRIOR TO PAINTING.
 2. COLOR BY OWNER
 3. SEE DETAILS THIS SHEET #1 FOR CAIN BOLT INFORMATION

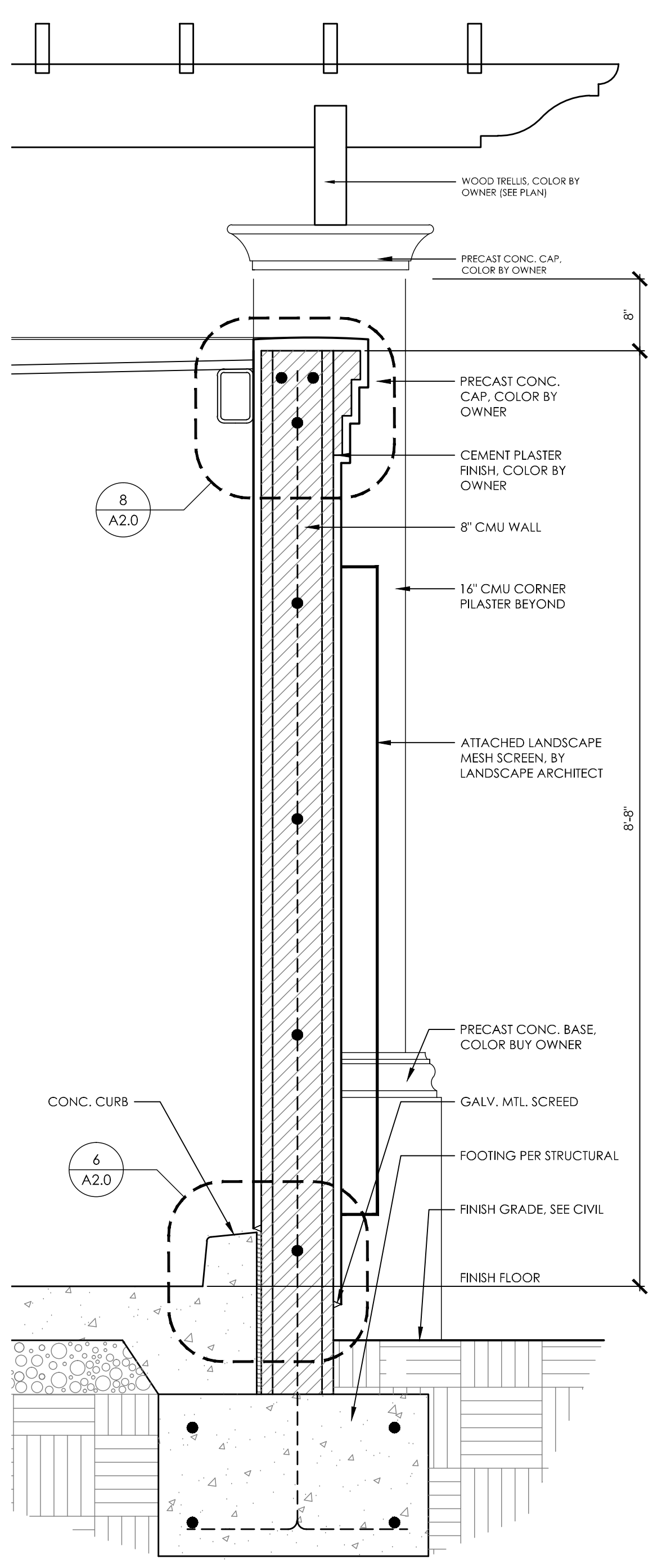
METAL GATE SCALE 1-1/2"=1'-0" 10



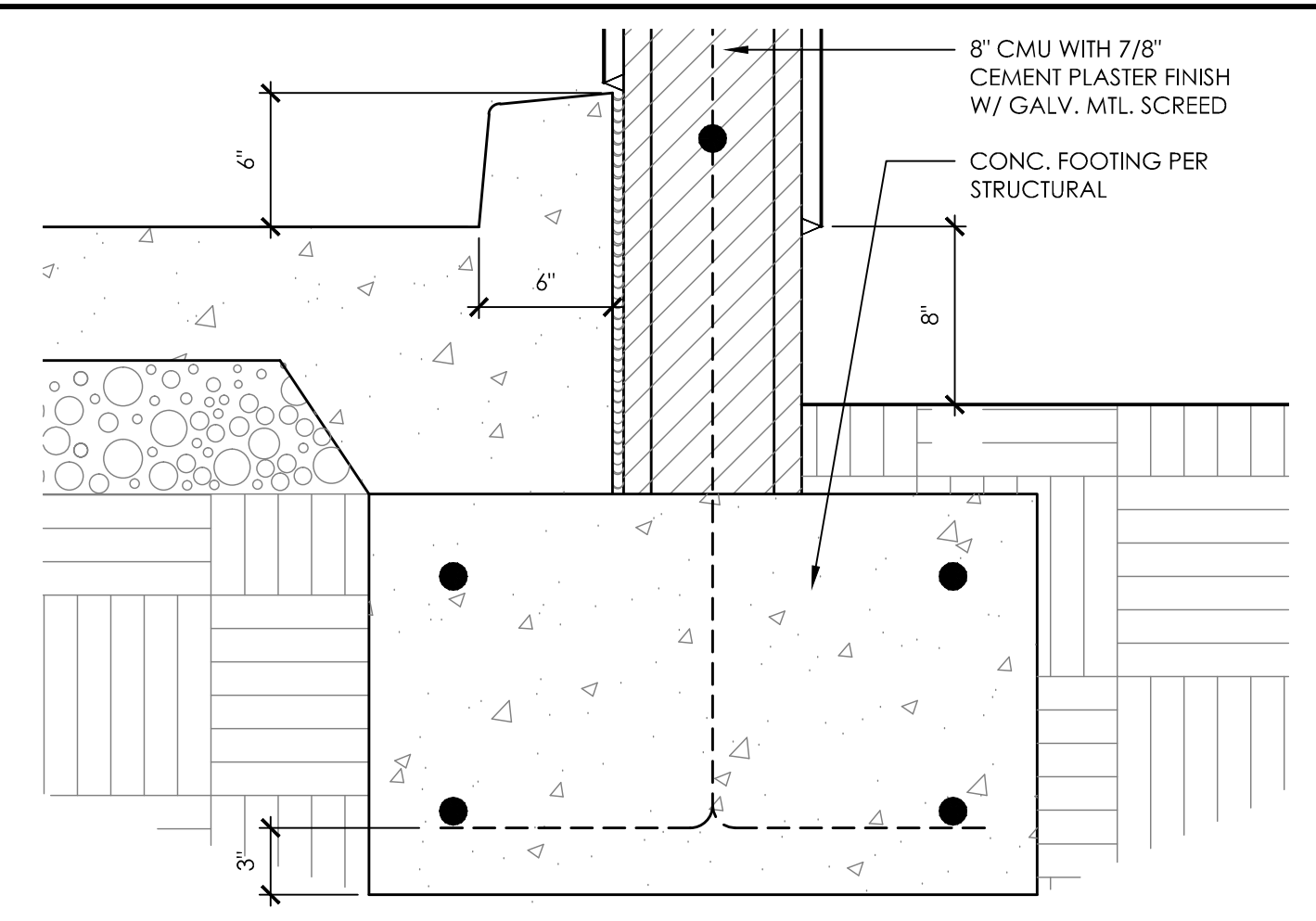
PRECAST BASE SCALE 1-1/2"=1'-0" 9



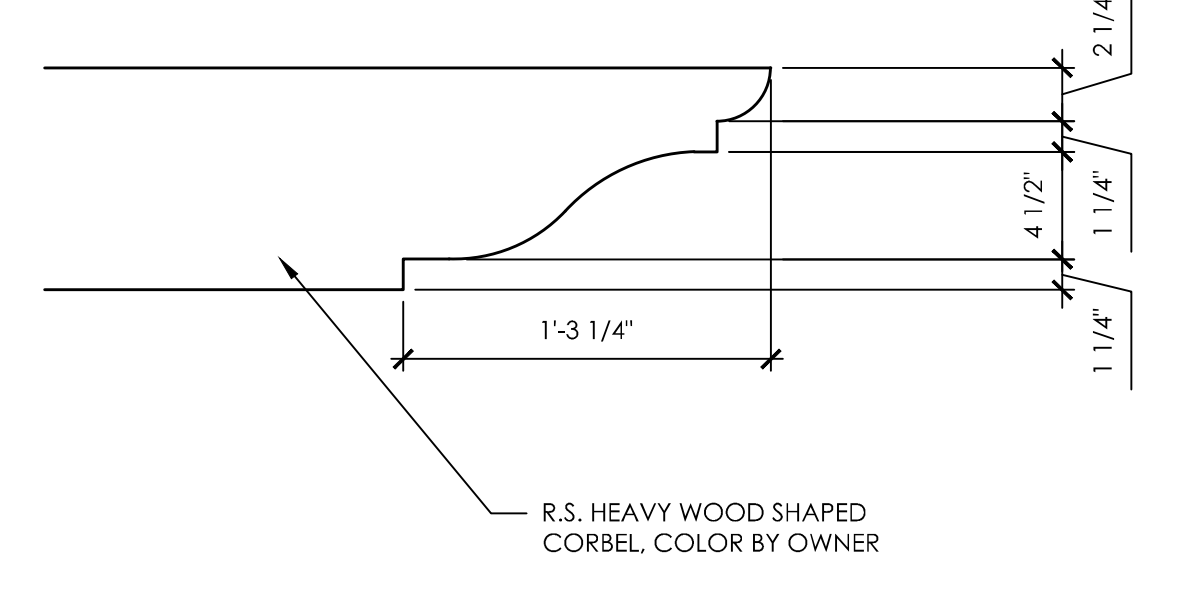
TOP OF WALL DETAIL SCALE 1-1/2"=1'-0" 8



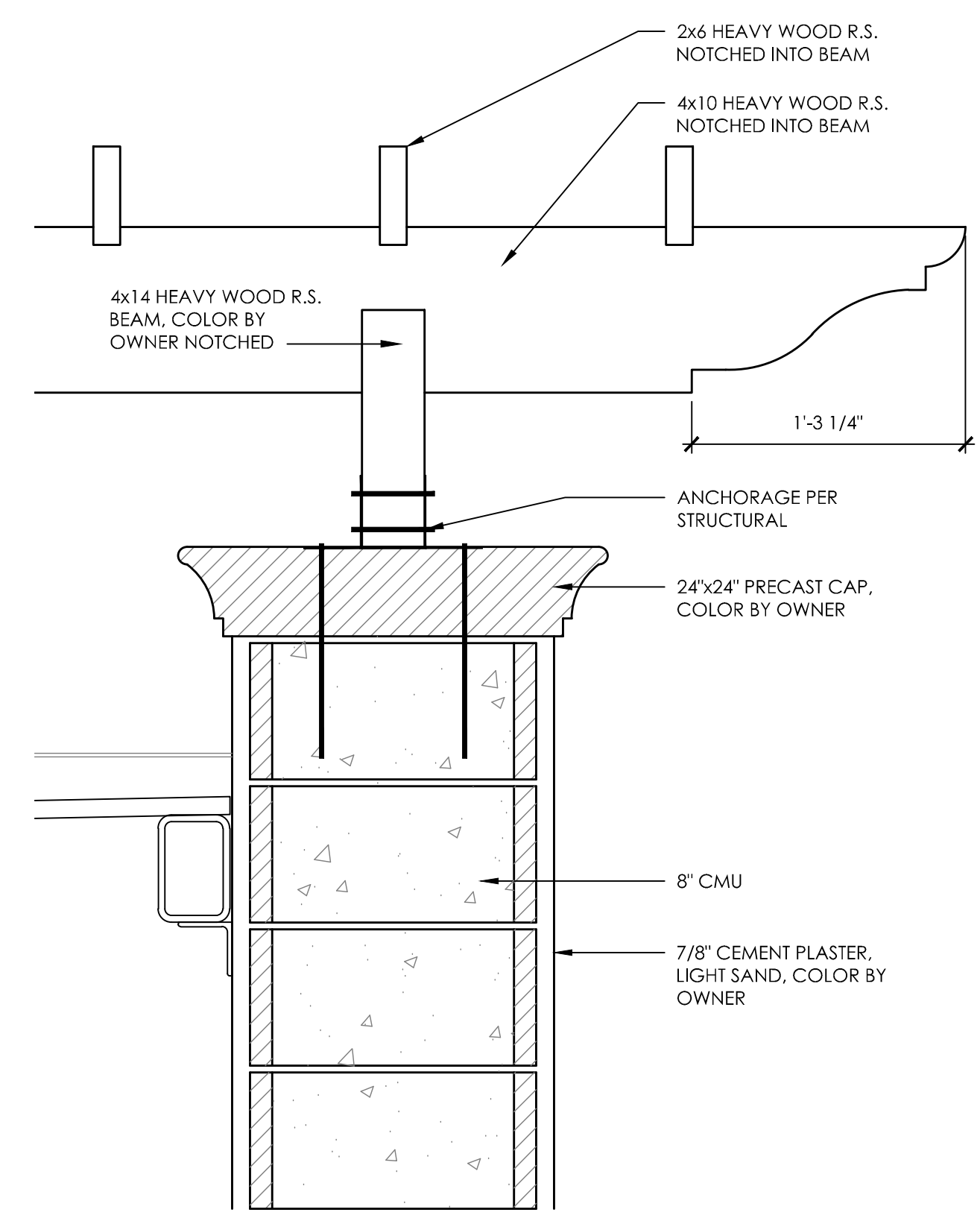
TRASH ENCLOSURE CMU WALL SCALE 1"=1'-0" 7



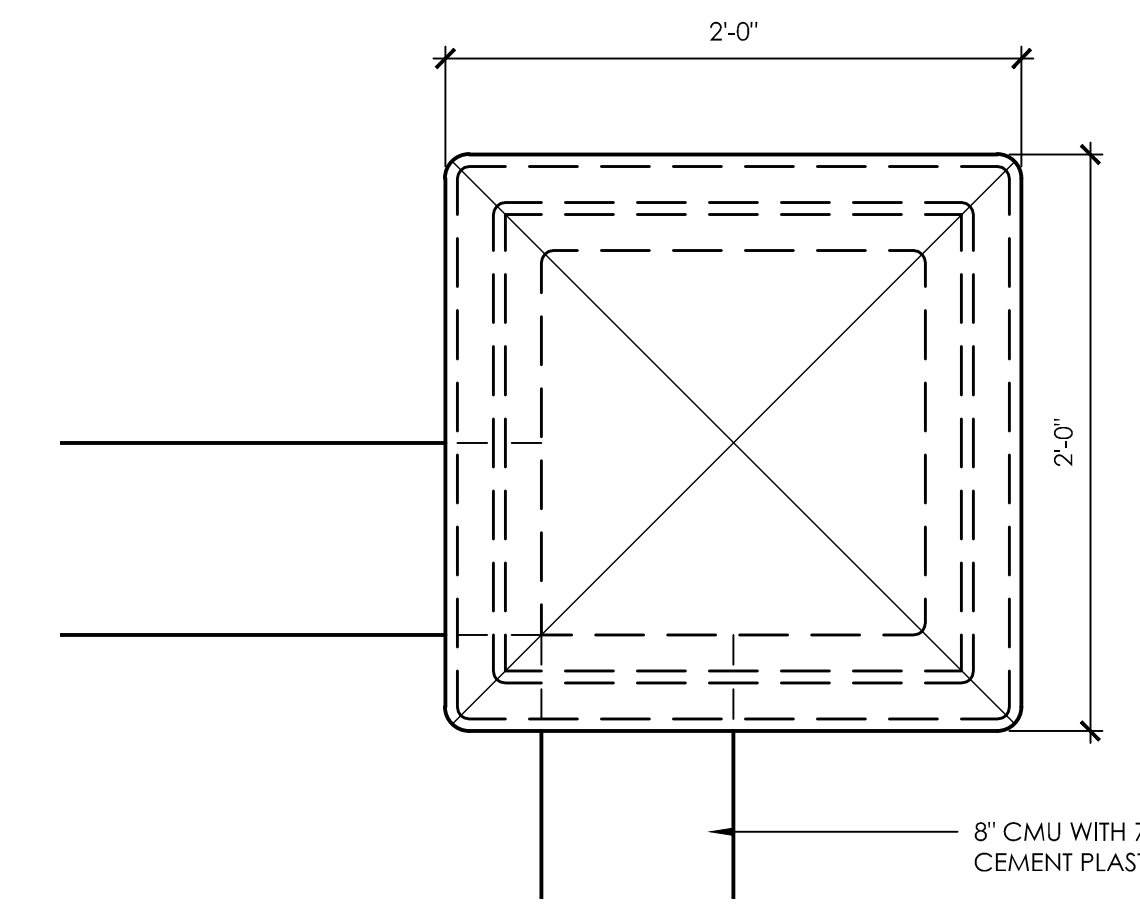
CONC. CURB DETAIL SCALE 1-1/2"=1'-0" 6



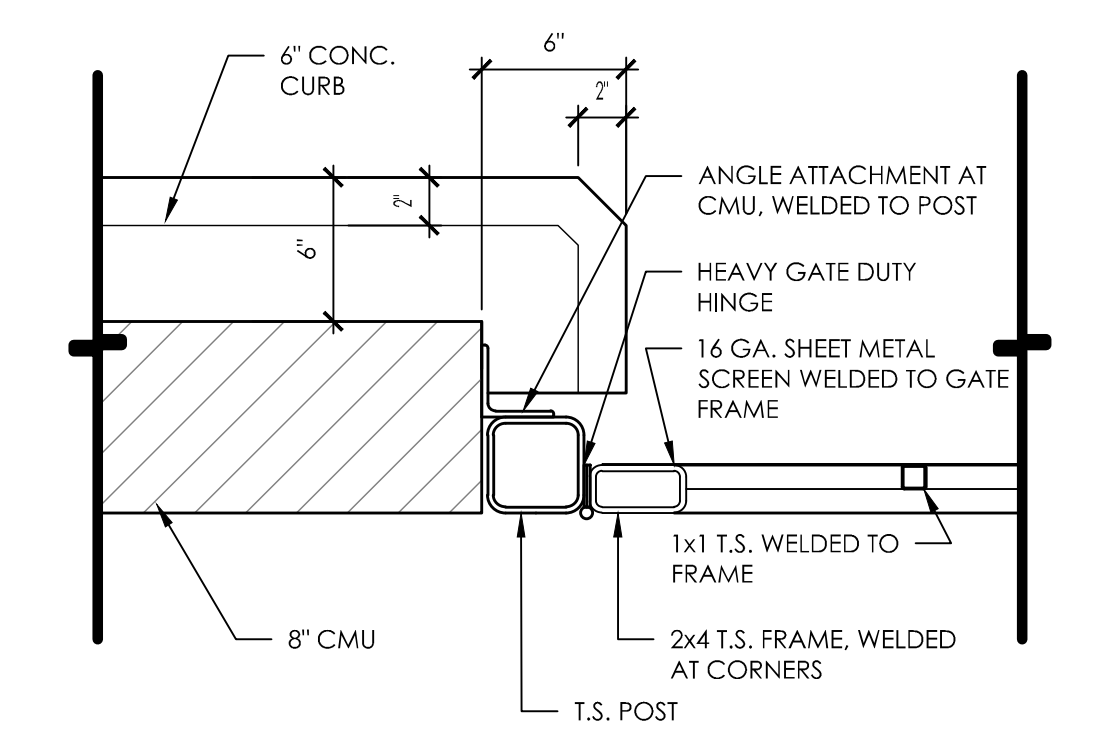
CORBEL DETAIL SCALE 1"=1'-0" 5



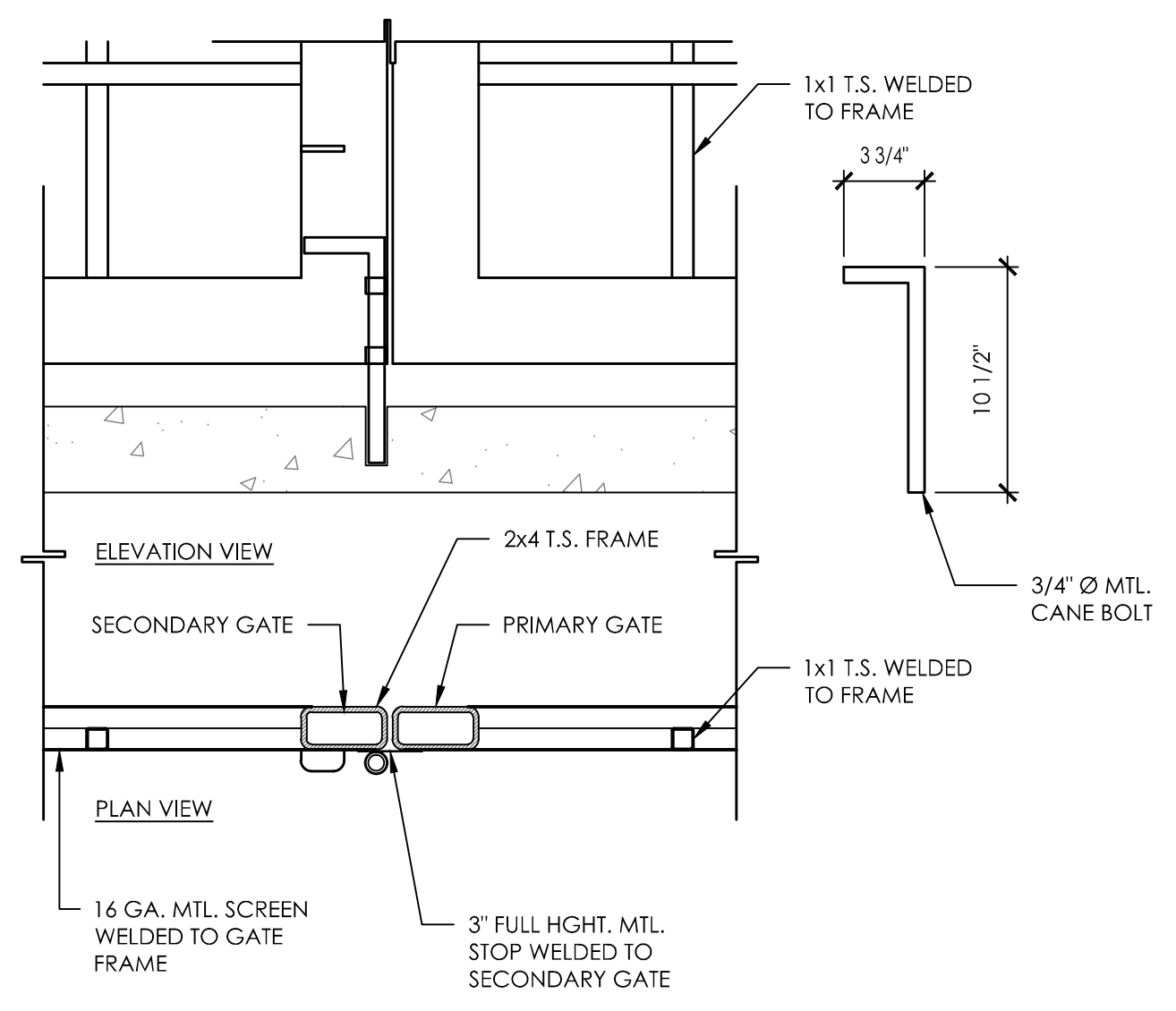
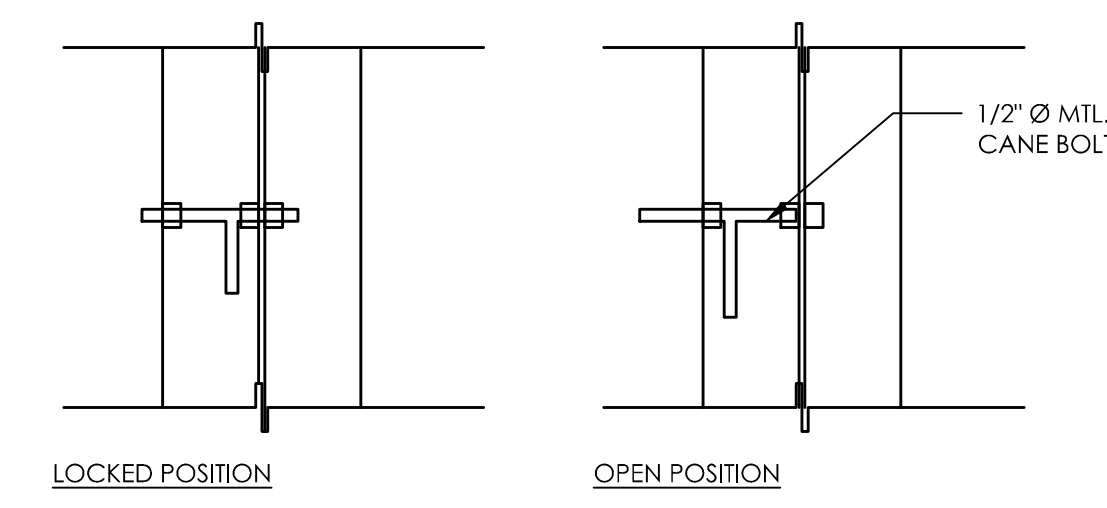
PRECAST CAP - SECTION SCALE 1-1/2"=1'-0" 4



PRECAST CAP PLAN SCALE 1-1/2"=1'-0" 3

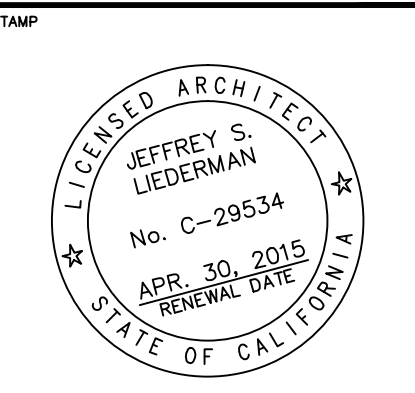


JAMB AT METAL GATES SCALE 1-1/2"=1'-0" 2



METAL GATE CAIN BOLT DETAILS SCALE 1"=1'-0" 1

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PROJECT
NEWPORT COAST SHOPPING CENTER TRASH ENCLOSURE
 21155 NEWPORT COAST DRIVE NEWPORT BEACH, CA 92657

REVISIONS

NO.	DATE	DESCRIPTION
-	8/21/14	P.C. SUBMITTAL

DEVELOPER / OWNER
IRVINE COMPANY
 101 INNOVATION
 IRVINE, CA

DRAWING TITLE
DETAILS

JOB NO: -
 DATE: -
 DRAWN BY: -

SHEET NO.

GENERAL CONSTRUCTION NOTES

- ALL MATERIAL & WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH LOCAL & 2013 CALIFORNIA BUILDING CODE (C.B.C.) STANDARDS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND REPORT ANY ERRORS, OMISSIONS, OR POSSIBLE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING ANY WORK. SPECIAL CARE SHALL BE GIVEN TO THE SITE AND TO THE BUILDING LAYOUT THEREON.
- THE CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF (INCLUDING THE FLOOR AND ROOF DIAPHRAGMS) IS COMPLETE ENOUGH TO ADEQUATELY SUPPORT ITSELF.
- OPTIONS, IF PROVIDED HEREIN, ARE FOR CONTRACTOR'S CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY. SHALL COORDINATE ALL DETAILS, & SHALL OBTAIN ALL REQUIRED APPROVALS.
- COSTS OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION OR DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION, SHALL BE BORNE BY THE CONTRACTOR.
- WHERE DESIGN AND DETAILS OF PLATE GIRDERS, TRUSSES, ETC., ARE TO BE PROVIDED BY FABRICATOR, CONTRACTOR SHALL SUBMIT CALCULATIONS CALCULATIONS PREPARED BY A CIVIL OR STRUCTURAL ENGINEER TO THE ENGINEER AND TO THE BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
- WHERE "SPECIAL INSPECTION" IS REQUIRED ON THE PLANS, A REGISTERED REGISTERED DEPUTY INSPECTOR, APPROVED BY, AND RESPONSIBLE TO, THE ENGINEER AND BUILDING DEPARTMENT, SHALL BE EMPLOYED BY THE OWNER. SPECIAL INSPECTION IS REQUIRED FOR:
 - PLACING OF ALL CONCRETE WITH AN f_c IN EXCESS OF 2500 PSI.
 - STRUCTURAL STEEL AND TAPERED STEEL GIRDERS, INCLUDING ERECTION BRACING.
 - ALL FIELD WELDING, OR WELDING PERFORMED IN AN UNLICENSED FABRICATING SHOP.
 - ALL CERTIFIED COMPACTED FILL.
 - INSTALLATION OF EPOXY ANCHOR.
 - INSTALLATION OF HIGH STRENGTH BOLTS.
 - SUCH OTHER ITEMS AS MAY BE REQUIRED ON PLANS.
- AS A CONVENIENCE TO THE CONTRACTOR, ENGINEER SHALL REVIEW REQUIRED SHOP DRAWINGS AS TO THEIR GENERAL CONFORMANCE TO THE DESIGN CONCEPT. CONTRACTOR SHALL BE RESPONSIBLE, NONE-THELESS, FOR COMPLIANCE AND DIMENSIONS AND SHALL SUBMIT SHOP DRAWINGS IF APPLICABLE, FOR THE FOLLOWING:
 - SUPLIANK BEAMS AND PANELIZED ROOF FRAMING.
 - STRUCTURAL STEEL AND TAPERED STEEL GIRDERS, INCLUDING ERECTION BRACING.
 - CONCRETE POURING SEQUENCE, SHORING DETAILS AND SPECIAL CONSTRUCTION TECHNIQUES (CERTIFICATION MAY BE REQUIRED).
 - SUCH OTHER ITEMS AS MAY BE REQUIRED ON PLANS.
 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND COMPLIANCE CERTIFICATES TO THE BUILDING DEPARTMENT WHEN REQUIRED. SHOP DRAWINGS SHALL NOT BE REPRODUCTIONS OF CONTRACT DOCUMENTS.
- WHERE SOIL REPORT IS CITED, ITS REQUIREMENTS SHALL BE ADOPTED HEREIN.
- ALL MANUFACTURED PRODUCTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

FOUNDATION NOTES

- DESIGN SOIL BEARING PRESSURE IS 1500 PSF. AT 18" INTO COMPACT BASE. (ASSUMED)
- REFER TO SOIL REPORT; NOT AVAILABLE

CONCRETE AND EMBEDDED ITEMS

- ALL CONCRETE SHALL BE MIXED, FORMED AND PLACED ACCORDING TO A.C.I. CODE.
- CONCRETE SHALL BE MACHINE-MIXED USING A MAXIMUM OF 7 GALLONS OF WATER PER SACK OF CEMENT. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94. MIXED AT A RATE OF 5 SACKS OF CEMENT PER CUBIC YARD. MAXIMUM SLUMP SHALL BE 5" AS MEASURED BY THE ASTM STANDARD METHOD OF TESTING FOR SLUMP OF PORTLAND CEMENT CONCRETE.
- CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, EXCEPTION AS NOTED.
- CEMENT FOR CONCRETE OR MASONRY MORTAR SHALL BE A STANDARD BRAND "PORTLAND CEMENT", MEETING THE REQUIREMENT OF ASTM C-150. CEMENT SHALL BE TYPE "I". (USE TYPE V CEMENT IF REQUIRED BY SOILS REPORT)
- AGGREGATES FOR CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C-33.
- CONTRACTOR MAY USE AN APPROVED WATER REDUCING ADMIXTURE CONFORMING TO ASTM C-494.
- SLAB ON GRADE SHALL BE POURED ON FIRM, MOISTENED, COMPACT EARTH. CONSTRUCTION OR CRACK-CONTROL JOINTS SHALL BE SPACED A MAXIMUM OF 12' APART.
- ALL REINFORCING STEEL, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURELY FASTENED IN THE FORMS PRIOR TO POURING CONCRETE.
- ALL BOLTS SHALL HAVE A STANDARD HEAD AT EMBEDDED END. ANCHOR BOLTS SHALL BE SPACED 12 BOLT DIAMETERS MINIMUM. MINIMUM EMBEDMENT OF ANCHOR BOLTS SHALL BE 7" IN FOOTINGS, 5 1/2" IN MASONRY WALLS, AND 4 1/2" INTO VERTICAL CONCRETE SURFACES.
- EXPANSION BOLTS AND / OR EPOXY ANCHORS MAY BE USED IN LIEU OF ANCHOR BOLTS WHERE SPECIAL CONDITIONS WARRANT THEIR USE, PROVIDED THAT WRITTEN APPROVAL OF THE ENGINEER
- GROUT SHALL CONSIST OF 1 PART CEMENT, TO NOT MORE THAN 3 PARTS SAND AND NOT LESS THAN 1 PART NOR MORE THAN 2 PARTS PEA GRAVEL BASED ON DRY LOOSE VOLUMES. GROUT SHALL BE OF FLUID CONSISTENCY. APPROVED ADMIXTURES MAY BE ADDED TO GROUT MIX. GROUT SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- DRYPACK SHALL CONSIST OF 1 PART CEMENT, 4 PARTS SAND, BASED ON DRY LOOSE VOLUMES AND NOT LESS THAN 1/4 PART NOR MORE THAN 1/2 PART LIME PUTTY OR DRY HYDRATED LIME. DRYPACK SHALL OBTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- ALL CONCRETE EMBEDMENTS, INCLUDING FOUNDATION BOLTS, SHALL BE TIED IN PLACE PRIOR TO FOUNDATION EXCAVATION INSPECTION.

REINFORCING STEEL

- REINFORCING STEEL SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60 TYPICALLY. LAP BARS A MINIMUM OF 36 DIAMETERS. WHERE GRADE 40 IS REQUIRED ON PLANS, LAP 30 DIAMETERS. STAGGER LAPS WHERE PERMISSIBLE. LAP BARS A MINIMUM OF 48 DIAMETERS IN MASONRY. USE GRADE 60 TYPICALLY, USE GRADE 40 FOR TIES & DOWNELS.
- WIRE MESH SHALL CONFORM TO ASTM A-185, LAP 8" MINIMUM.
- FOOTING DOWNELS SHALL MATCH VERTICAL WALL OR COLUMN STEEL. LAP 36 DIAMETERS.
- AT ALL OPENINGS IN CONCRETE, CONCRETE BLOCK AND BRICK MASONRY, PROVIDE AT LEAST (2) #5 BARS AT JAMBS, HEAD AND SILL, EXTENDING 2'-0" BEYOND EDGES OF OPENING.
- MINIMUM CONCRETE COVER SHALL BE PER ACI STANDARDS:
 - 3" CONCRETE POURED AGAINST EARTH.
 - 2" FORMED CONCRETE WHICH WILL REMAIN IN CONTACT WITH EARTH OR WEATHER.
 - 1 1/2".... BEAMS, MEASURED TO MAIN STEEL; COLUMNS MEASURED TO TIES OR SPIRALS; NOT EXPOSED TO EARTH OR WEATHER.
 - 3/4" SLABS; INSIDE FACES OF WALLS.
- ALL WELDED REINFORCING BARS SHALL BE A706 REINFORCING BARS.

CONCRETE BLOCK MASONRY

- ALL CONCRETE BLOCK UNITS SHALL BE MEDIUM WEIGHT GRADE 'N', CONFORMING TO ASTM C-90. ($f_m = 1500PSI$)
- ALL SLUMPED BLOCK UNITS SHALL BE GRADE 'N', CONFORMING TO ASTM C-90. ($f_m = 1500PSI$)
- CEMENT MORTAR SHALL CONSIST OF ONE PART CEMENT TO 3 1/2 SAND TO 1/4 LIME PUTTY. CEMENT MORTAR SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- ALL CELLS CONTAINING HORIZONTAL OR VERTICAL REINFORCING STEEL, BOLTS, OR INSERTS SHALL BE GROUTED. WHERE REINFORCING STEEL, ETC., OCCURS IN OR ADJACENT TO MORTAR JOINTS, THE CELLS ON EACH SIDE OF SAID STEEL, ETC., SHALL BE GROUTED. WHERE BLOCK WALL IS RETAINING EARTH OR IN CONTACT WITH EARTH, SUCH PORTION OF WALL SHALL BE GROUTED SOLID.
- CLEANOUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF ALL VERTICALLY GROUTED CELLS IF GROUT EXCEEDS 4'-0". MAXIMUM GROUT LIFT IS 6'-0".
- WALL SHALL BE GROUTED SOLID UNLESS SO SPECIFIED ON THE PLANS.
- CONCRETE MASONRY UNITS SHALL NOT BE NETTED UNLESS SPECIFICALLY APPROVED.

STRUCTURAL STEEL AND WELDING

- ALL WORK SHALL COMPLY WITH "AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A-492/A-572, GRADE 50. ALL OTHER ROLLED STEEL SHAPES SHALL CONFORM TO ASTM A-36.
- PIPE COLUMNS SHALL CONFORM TO ASTM A-53, GRADE 'B', WITH SULFUR CONTENT NOT TO EXCEED 0.05%. ENDS SHALL BE SAWCUT SQUARE FOR TRUE BEARING.
- TUBE COLUMNS SHALL CONFORM TO ASTM A-501 OR A-500, GRADE 'B'.
- BEAM CONNECTIONS SHALL COMPLY WITH "FRAMED BEAM CONNECTIONS", A.I.S.C. PART 4, TABLE 1, USING 3/4" DIA. A307 BOLTS (M.B.).
- ALL WELDING SHALL BE BY ELECTRIC ARC PROCESS AND SHALL COMPLY WITH A.I.S. SPECIFICATIONS FOR WELDING AND FABRICATION.
- WELDING SHALL BE PERFORMED BY CERTIFIED OPERATORS IN A SHOP LICENSED BY THE LOCAL AUTHORITY.
- LOW HYDROGEN ELECTRODES SHALL BE USED WHEREVER REINFORCING STEEL IS WELDED.
- UNLESS SHOWN OTHERWISE, SHALL BE MINIMUM WELD FOR ALL STRUCTURAL CONNECTIONS.
- ALL BUTT WELDS SHALL BE FULL PENETRATION UNLESS OTHERWISE DETAILED ON THE PLANS.
- OPEN WEB JOISTS SHALL COMPLY WITH STANDARDS OF THE "STEEL JOIST INSTITUTE".
- A CERTIFICATE OF FABRICATION FROM THE SHOP PERFORMING WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHED TO THE JOB INSPECTOR PRIOR TO FRAMING APPROVAL.
- HIGH STRENGTH BOLTS WHERE INDICATED ON THE PLANS OR DETAILS SHALL CONFORM TO A-325 OR A-490 (FRICTION TYPE) AND THERE SHALL BE NO PAINT, OIL, LACQUER OR GALVANIZING BETWEEN THE CONTACT SURFACES.
- HIGH STRENGTH BOLTS SHALL HAVE LOAD INDICATOR WASHERS TO SERVE AS A DIRECT TENSION INDICATOR. INSTALLATION OF HIGH STRENGTH BOLTS SHALL REQUIRE INSPECTION BY A DEPUTY INSPECTOR.
- ALL FIELD WELDING SHALL HAVE SPECIAL INSPECTION.
- CLOSURE PLATES AND CONTINUOUS BENT PLATES AT DECK EDGE SHALL CONFORM TO ASTM A-446.
- PROVIDE ULTRASONIC TESTING OR RADIOGRAPHY FOR FULL PENETRATION WELDING OF MOMENT FRAME.
- ALL STEEL MEMBERS SHALL BE MADE IN AN APPROVED FABRICATOR'S SHOP, THE APPROVED FABRICATOR SHALL SUBMIT THE CERTIFICATE OF COMPLIANCE TO THE BUILDING INSPECTOR PRIOR TO ERECTION.

STEEL DECK NOTES (BY VERCO - ESR-1735P, OR EQUAL)

- NON-COMPOSITE DECK BY OTHER MANUFACTURERS MAY BE SUPPLIED IN LIEU OF THAT SHOWN, PROVIDED SECTION PROPERTIES EQUAL OR EXCEED THOSE SPECIFIED AND IF APPROVED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- INSTALL IN ACCORDANCE WITH DECK MANUFACTURERS SUGGESTED SPECIFICATIONS.
- DECK SUPPLIER SHALL PROVIDE ALL ADDITIONAL FRAMING REQUIRED TO SUPPORT DECK AT OPENINGS THROUGH DECK, NOT SHOWN ON THE DRAWINGS.
- FLOOR DECK SHALL HAVE A MIN. 6X6-1/4 X 1/4 W/AF. PLACED AT MID HEIGHT OF CONCRETE. CONCRETE SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 4000PSI AT 28 DAYS.

DESIGN CRITERIA

WIND
 ULTIMATE DESIGN WIND SPEED, V_{ult} = 110 MPH
 NOMINAL DESIGN WIND SPEED, V_{nom} = 85 MPH
 RISK CATEGORY = II
 WIND EXPOSURE = C
 INTERNAL PRESSURE COEFFICIENT = 0.18

EARTHQUAKE
 RISK CATEGORY = II
 SEISMIC IMPORTANCE FACTOR, I_e = 1.0
 S_B = 1.6
 S_1 = 0.581
 S_{DS} = 1.067
 S_{D1} = 0.581

SITE CLASS = D
 SEISMIC DESIGN CATEGORY = D
 BASIC SEISMIC FORCE RESISTING SYSTEM = REINFORCED CANTILEVER STRUCTURE

DESIGN BASE SHEAR = 0.53 W
 SEISMIC RESPONSE COEFFICIENT, C_s = 0.53

RESPONSE MODIFICATION COEFFICIENT, (R) = 2

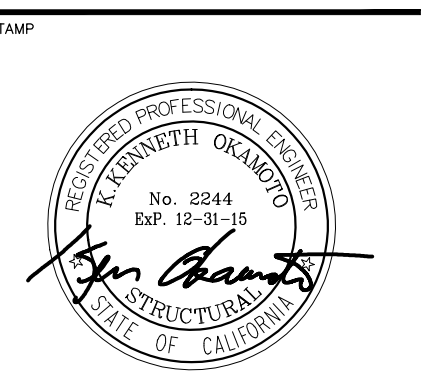
ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE

WOOD CONSTRUCTION

- STRUCTURAL LUMBER SHALL BE GRADE-MARKED DOUGLAS FIR-LARCH PER STANDARD GRADING & DRESSING RULES #17 OF WEST COAST LUMBER INSPECTION BUREAU. GRADE
 - RAFTERS 2" TO 4" WIDE UP TO 6" DEEP NO. 1
 - JOISTS 2" TO 4" WIDE 8" OR LARGER NO. 1
 - BEAMS, FURLING OVER 4" WIDE NO. 1
 - SUB-FURLING 2" TO 4" WIDE NO. 1
 - LEDGERS NO. 2
 - STUFS 2" x 4" OR 3" x 4" NO. 1
 - STUFS 2" x 6" NO. 1
 - POSTS NO. 1
 - SILLS, PLATES AND BLOCKING NO. 2
 EXCEPTION TO THE ABOVE SHALL BE NOTED ON PLAN.
- SILLS OR PLATES BEARING ON CONCRETE OR MASONRY WHICH IS WITHIN 48" OF EARTH SHALL BE PRESSURE TREATED, OR EQUAL, WOOD PER I.B.C. SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" DIAMETER X 10' BOLTS 4'-0" O.C. 12" MIN. FROM ENDS, OR 2 BOLTS MIN. PER PIECE, WHERE DIFFERENT SIZES AND/OR SPACINGS ARE REQUIRED, THEY SHALL GOVERN. INSTALL WITH 3" x 3" x 1/4" PLATE WASHER AT EACH ANCHOR BOLT.
- PLACE 2" FIREBLOCKING IN STUD WALLS AT CEILING AND FLOOR LEVELS, AT EACH 10' HEIGHT OF STUDS, AND BETWEEN STAIR STRINGERS AT SUPPORTS.
- JOISTS SHALL BE BLOCKED AT SUPPORTS AND BRIDGED OR BLOCKED AT INTERVALS OF 8' WHERE JOISTS ARE 2" X 12" OR DEEPER.
- JOISTS UNDER NON-BEARING PARTITIONS SHALL BE DOUBLED, AND TRIPLED FOR BEARING PARTITIONS ABOVE, EXCEPT AS NOTED.
- PLYWOOD SHALL BE "STRUCTURAL I - EXTERIOR" PER PSI-495 OR PSI-242. 1/2" PLYWOOD SHALL HAVE A MIN. OF 4 PLYS. WHERE 1/2" CDX PLYWOOD IS SPECIFIED, A MIN. OF 5 PLYS IS REQUIRED. PLYWOOD USED FOR FLOOR SHALL BE T & G. A.P.A. APPROVED STRUCT. I ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD.
- COMMON NAILS SHALL BE USED.
- LAGBOLTS (& SCREWS) SHALL BE PREDRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED (NOT DRIVEN) INTO FLAGE.
- CUT WASHERS SHALL BE PLACED UNDER HEADS AND NUTS OF ALL BOLTS AND UNDER HEADS OF LAGBOLTS. ONE CUT WASHER SHALL BE USED FOR BOLTS CONNECTING WOOD LEDGERS TO CONCRETE OR MASONRY WALLS.
- METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON "STRONG-TIE", KC METALS OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. PRODUCT CALLOUT ON PLANS REFERS TO SIMPSON "STRONG-TIE" MODEL NUMBER AND KC METALS REFERENCE NUMBER. FILL ALL ROUND AND TRIANGLE HOLES WITH THE SPECIFIED NAILS. APPROVED EQUALS MAY ONLY BE USED WITH PRIOR APPROVAL FROM ENFORCEMENT AGENCY AND THE STRUCTURAL ENGINEER.
- ALL LUMBER SHALL HAVE A MOISTURE CONTENT NOT TO EXCEED 18% AT THE TIME OF FABRICATION OR CONSTRUCTION.



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 STRUCTURAL ENGINEERS
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 (714) 444-2422
 KOA PROJECT #: 14343

REVISIONS		
NO.	DATE	DESCRIPTION
1	08/21/14	P.C. SUBMITTAL

PROJECT
 NEWPORT COAST SHOPPING CENTER
 21155 NEWPORT COAST DRIVE
 NEWPORT BEACH, CA 92657

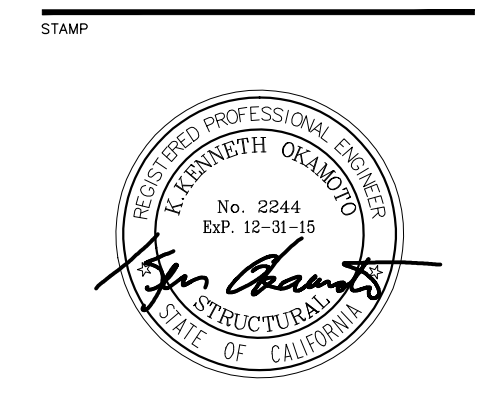
DEVELOPER / OWNER
 IRVINE COMPANY
 101 INNOVATION
 IRVINE, CA

DRAWING TITLE

GENERAL NOTES

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 DATE: -
 DRAWN BY: -
 COMP. FILE NAME: -
 SCALE: -
 SHEET NO.

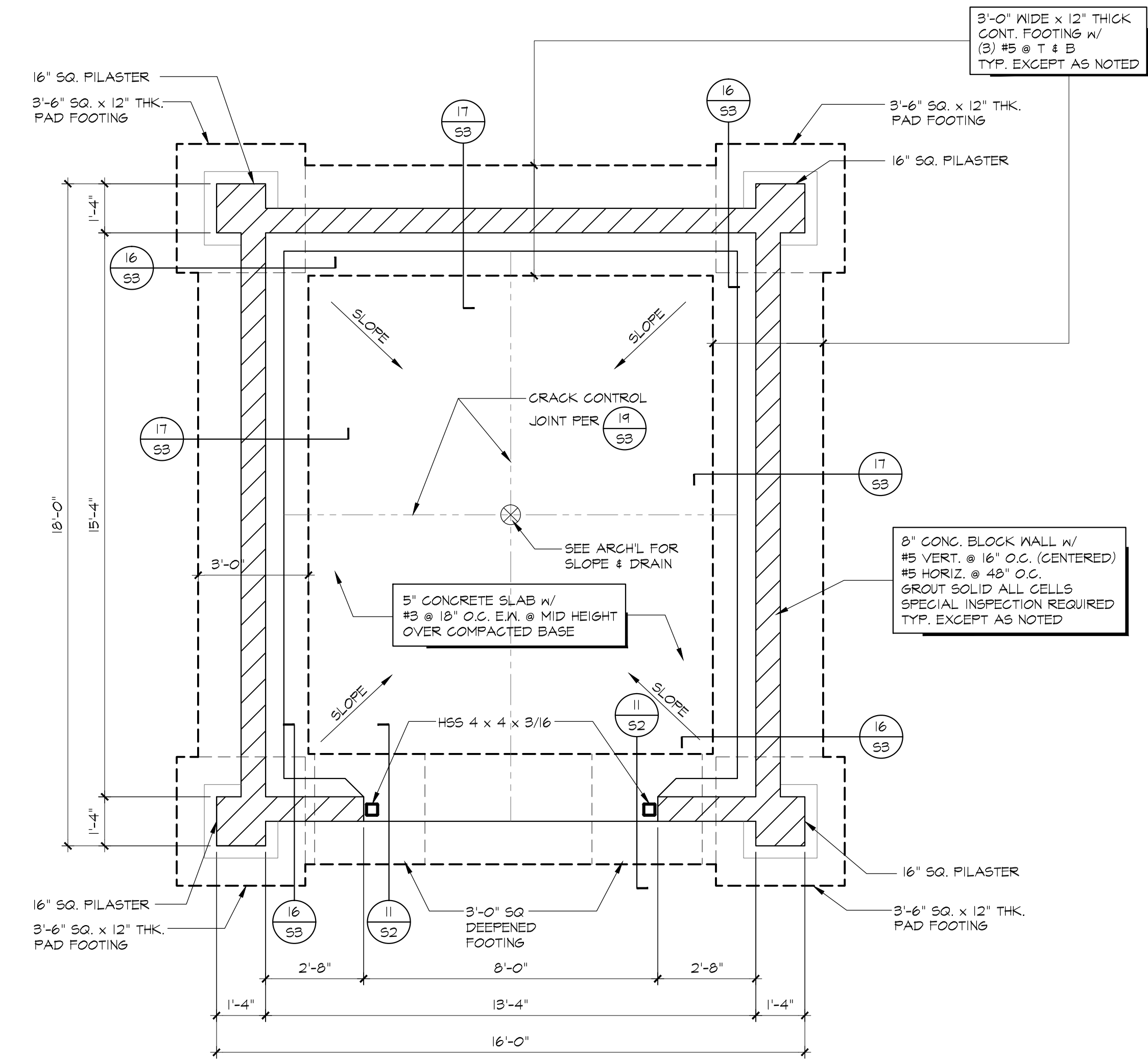
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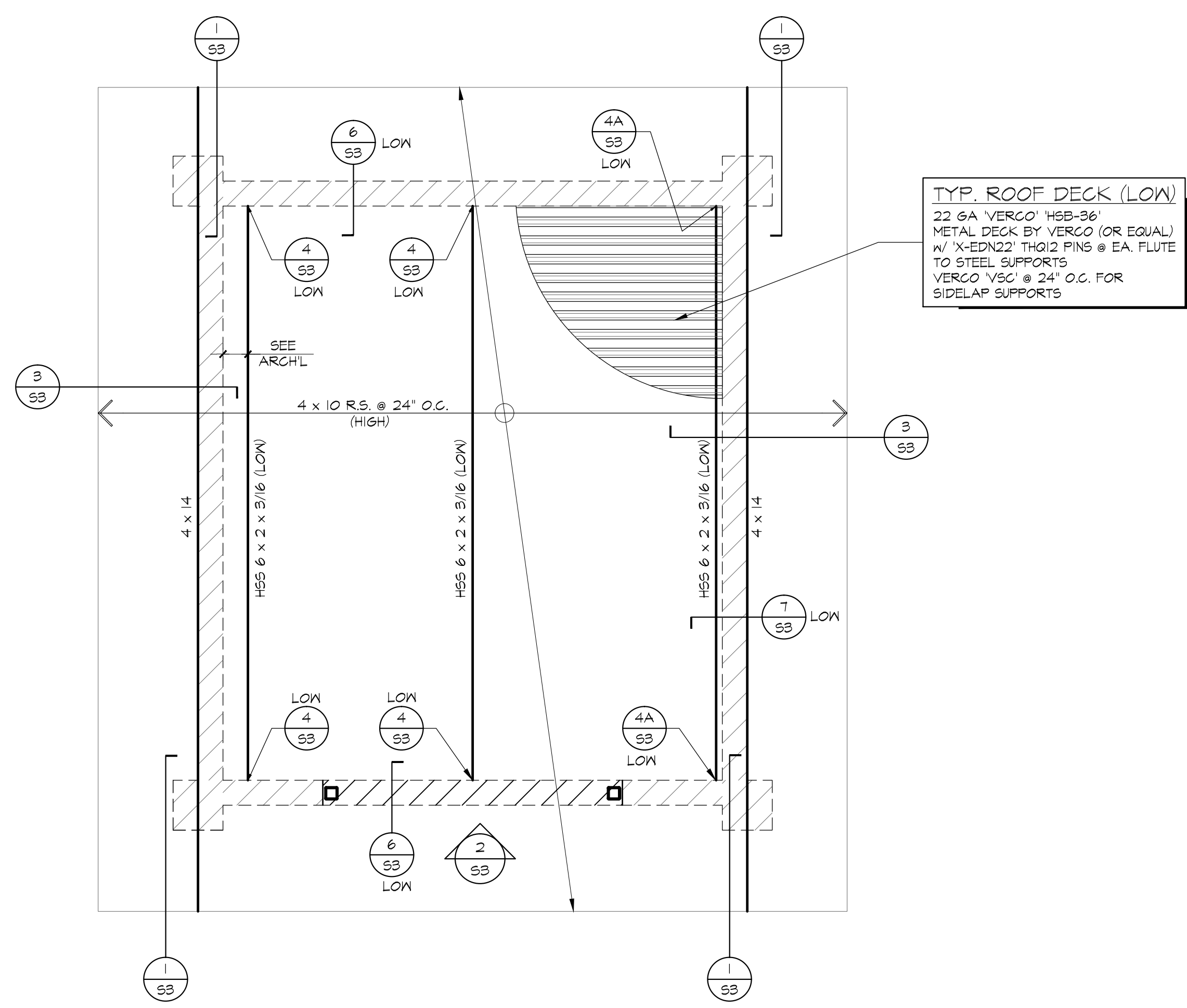
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(714) 444-2422
KOA PROJECT #: 14343

FOUNDATION AND FRAMING NOTES:

- SEE FOUNDATION NOTES ON SHEET 'S1' FOR DESIGN SOIL BEARING PRESSURE, ETC...
- SEE ARCH'L. DRAWINGS FOR DIMENSIONS & CONDITIONS NOT SHOWN.
- FOR EXACT LOCATION OF FLOOR DRAINS, SLAB DEPRESSIONS AND FLOOR SLOPES, SEE ARCHITECTURAL DRAWINGS.
- SEE (2/SS) FOR CMU OPENING REINFORCING DETAIL.
- SEE (19/SS) FOR SLAB CONSTRUCTION JOINT DETAILS.
- SEE (12/SS) FOR CMU WALL CORNER REINFORCING DETAIL.



FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

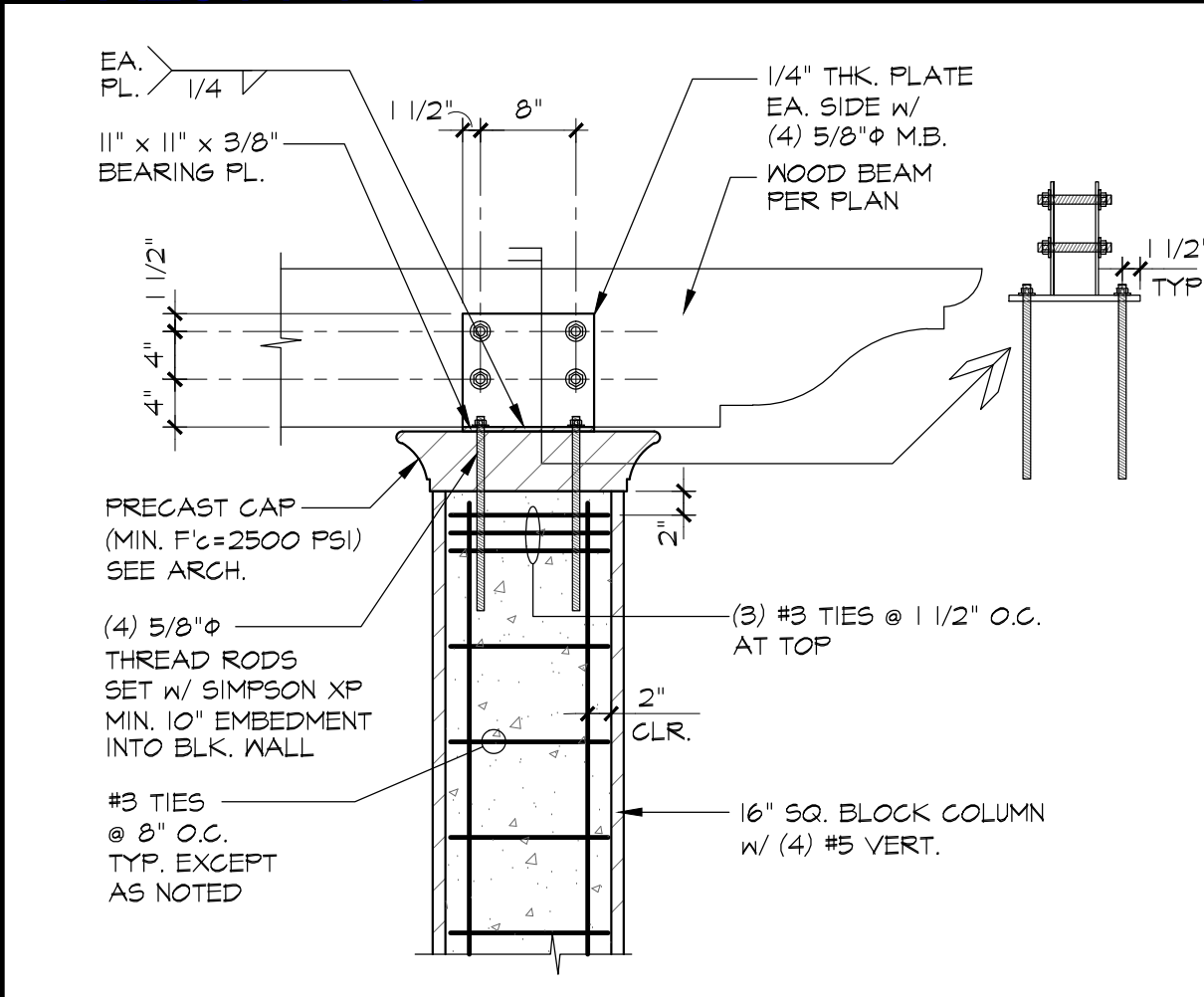
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21155 NEWPORT COAST DRIVE
NEWPORT BEACH, CA 92657

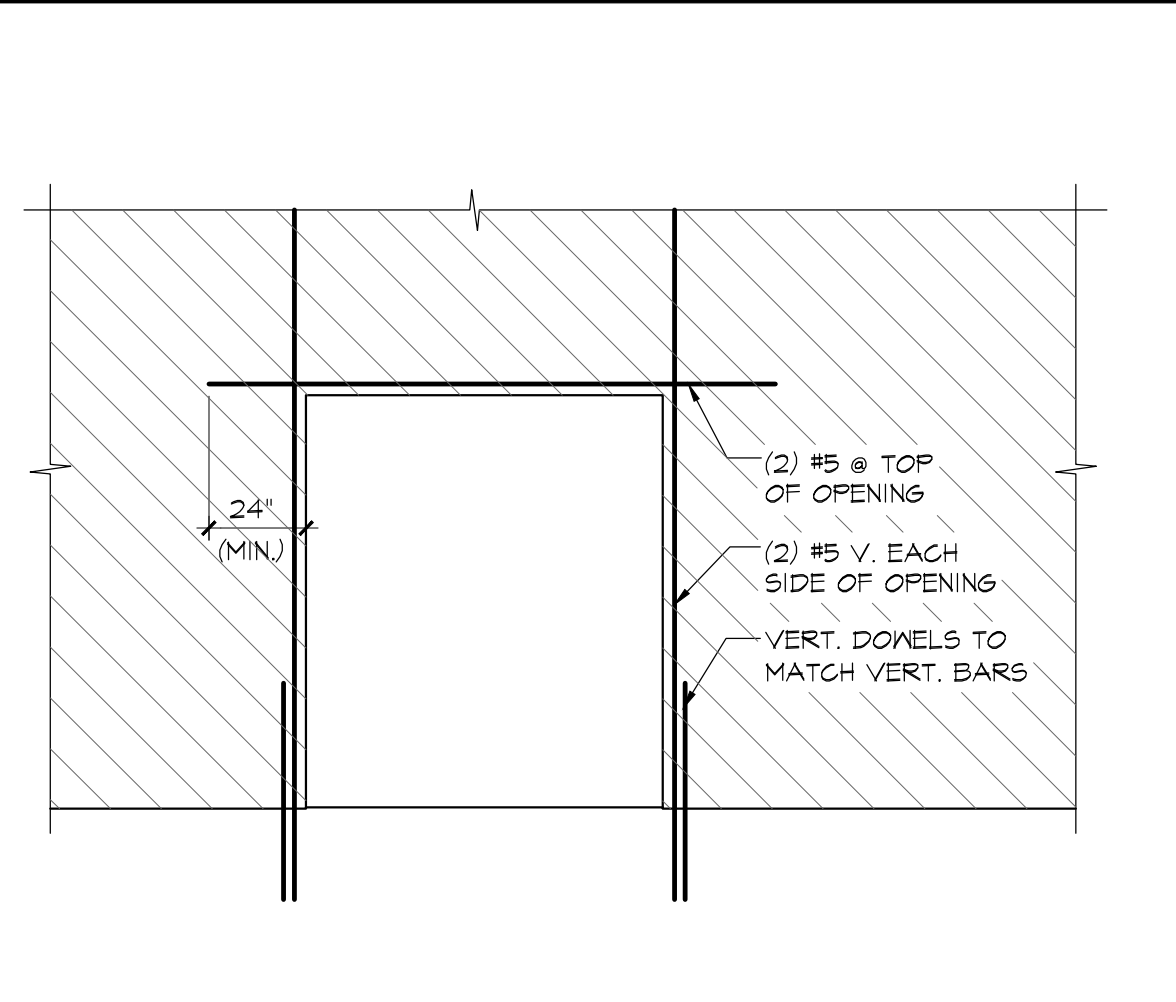
DEVELOPER / OWNER
IRVINE COMPANY
101 INNOVATION
IRVINE, CA

DRAWING TITLE
**TRASH ENCLOSURE
FOUNDATION PLAN
ROOF FRAMING PLAN**

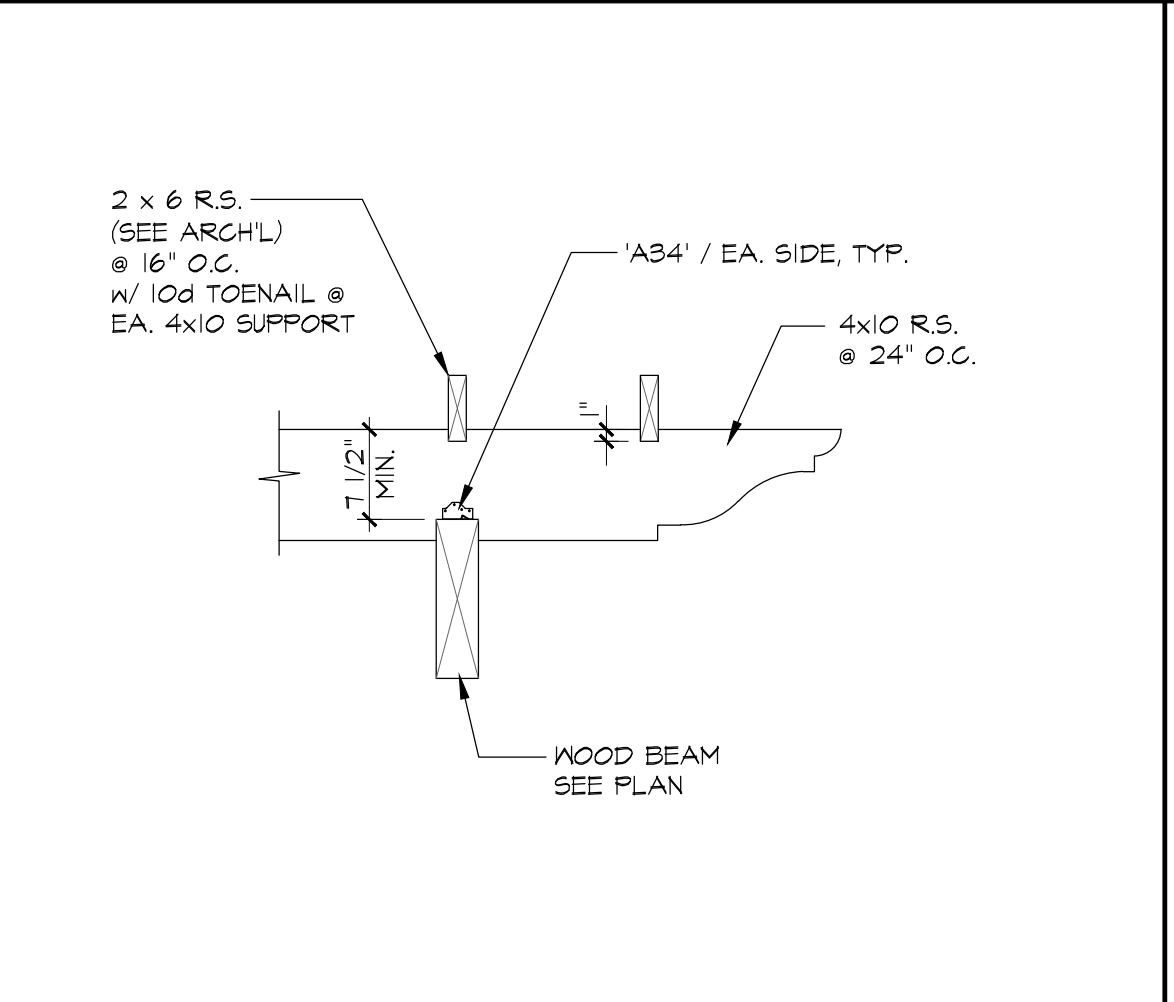
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SHEET NO:



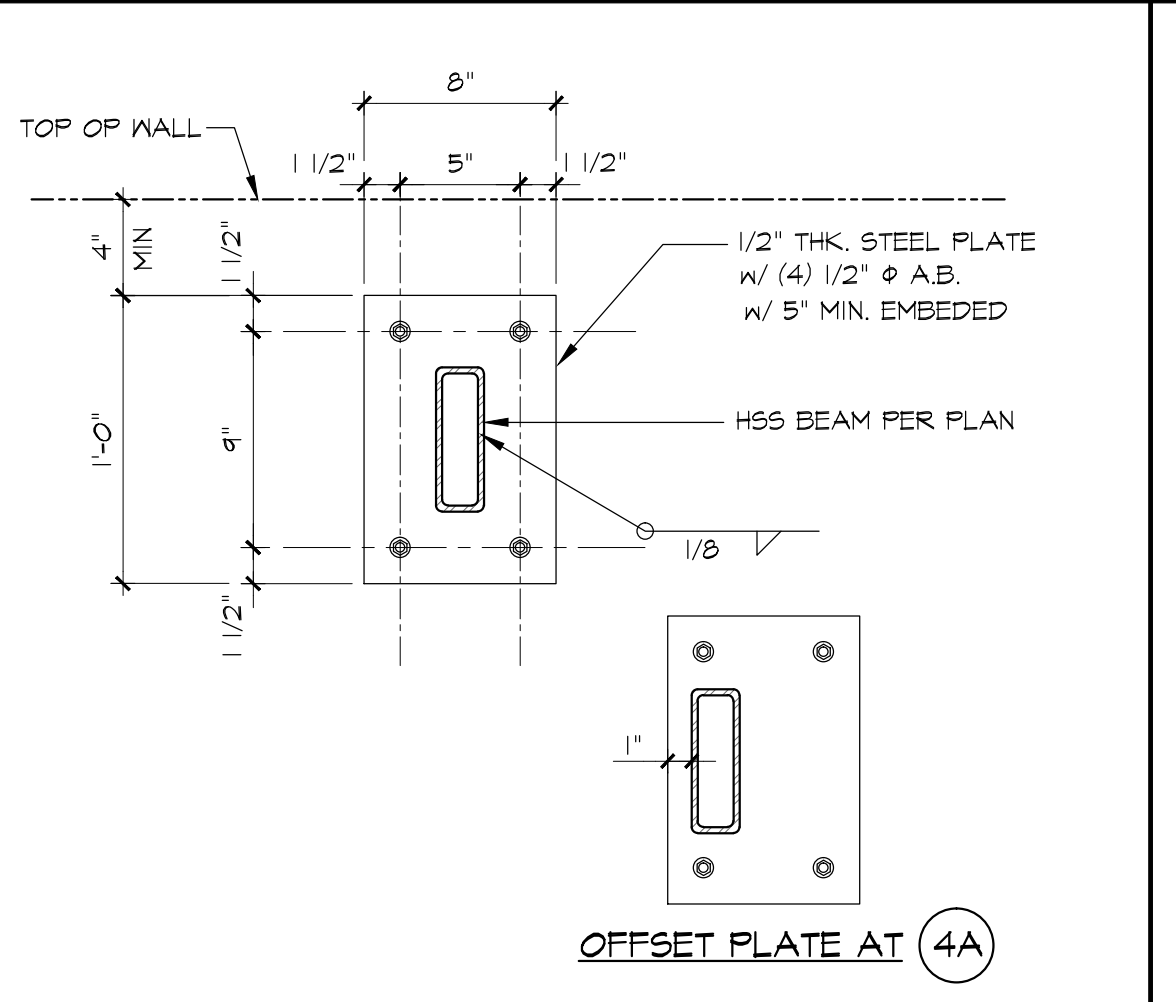
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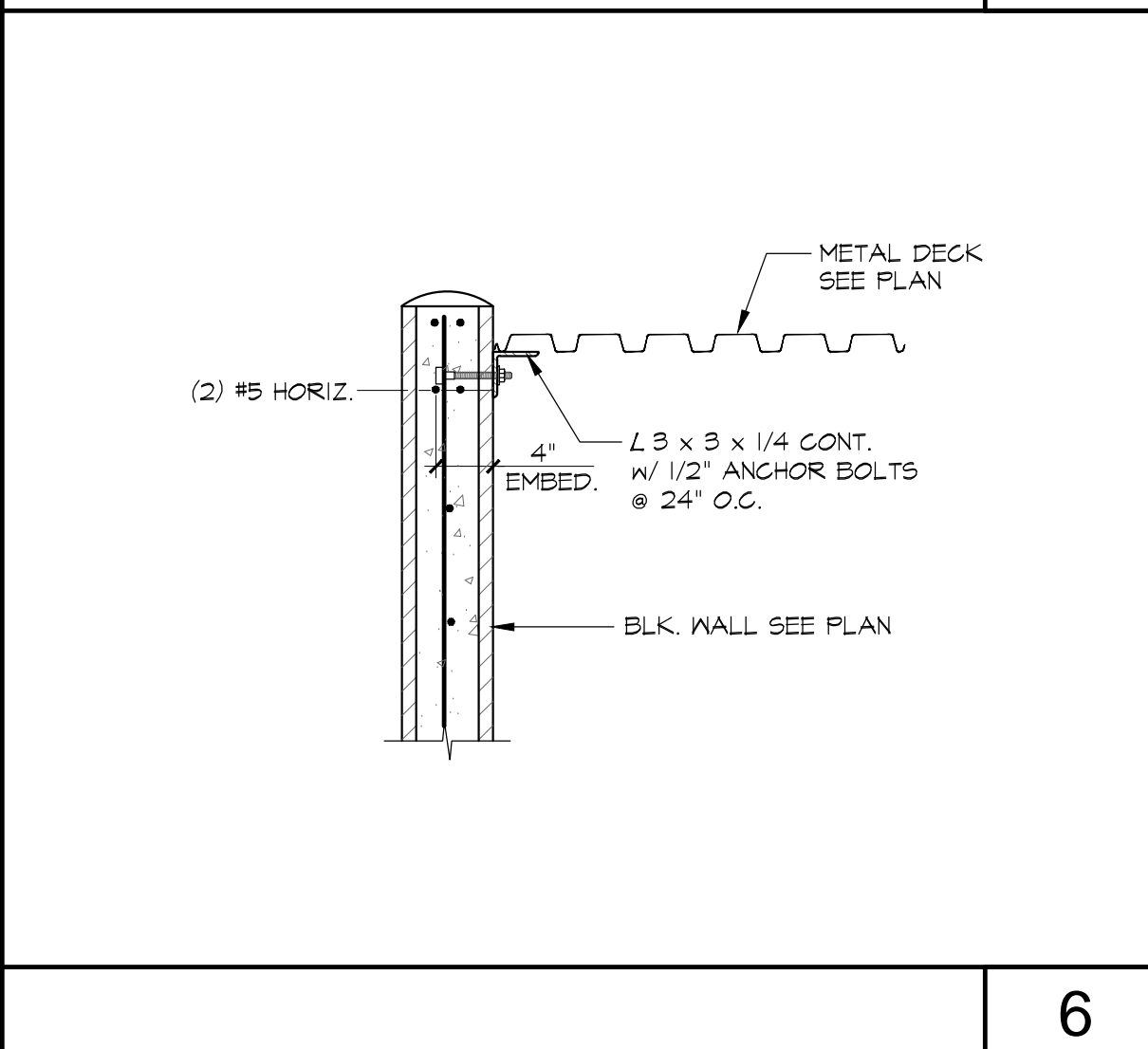
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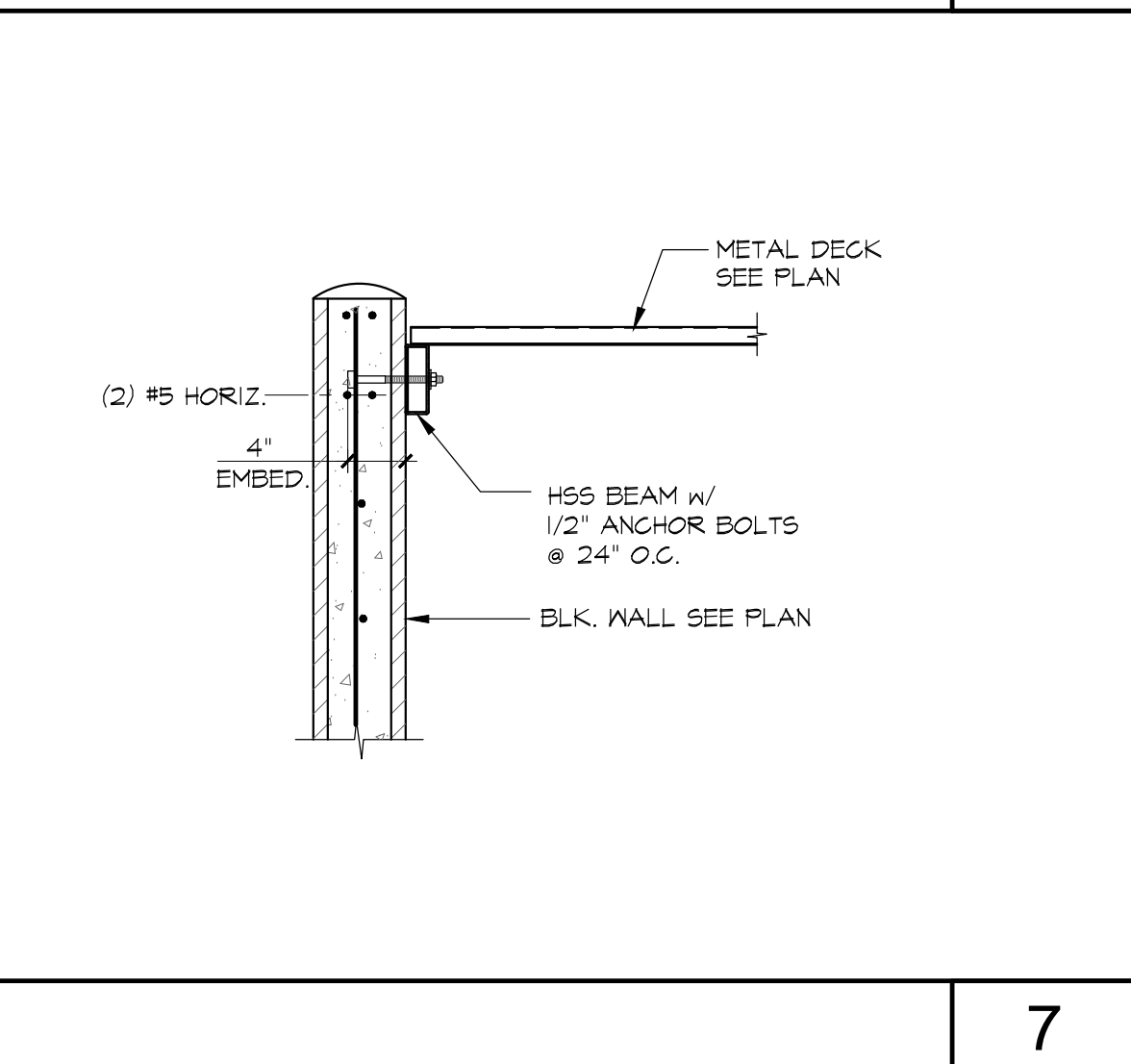
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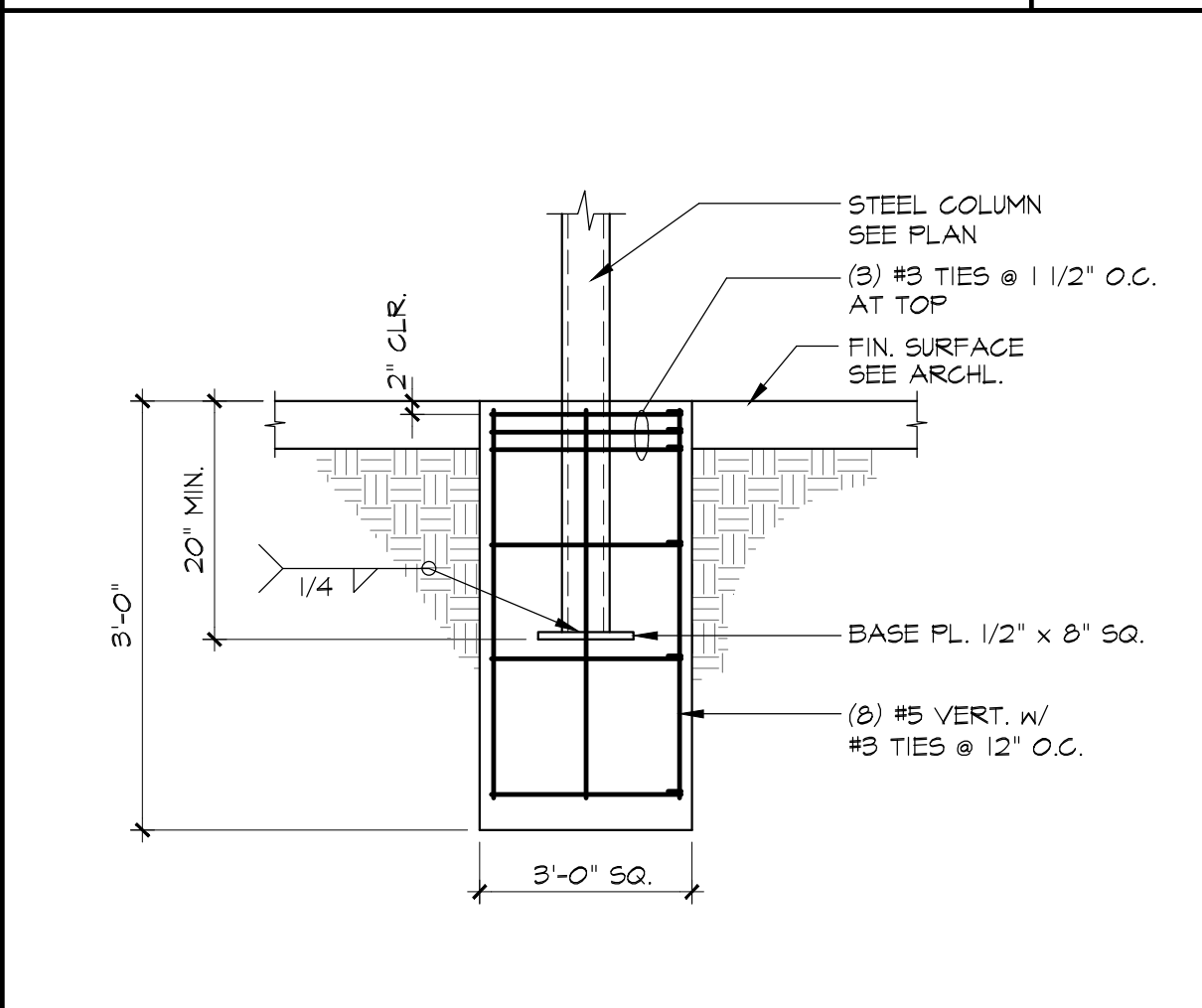
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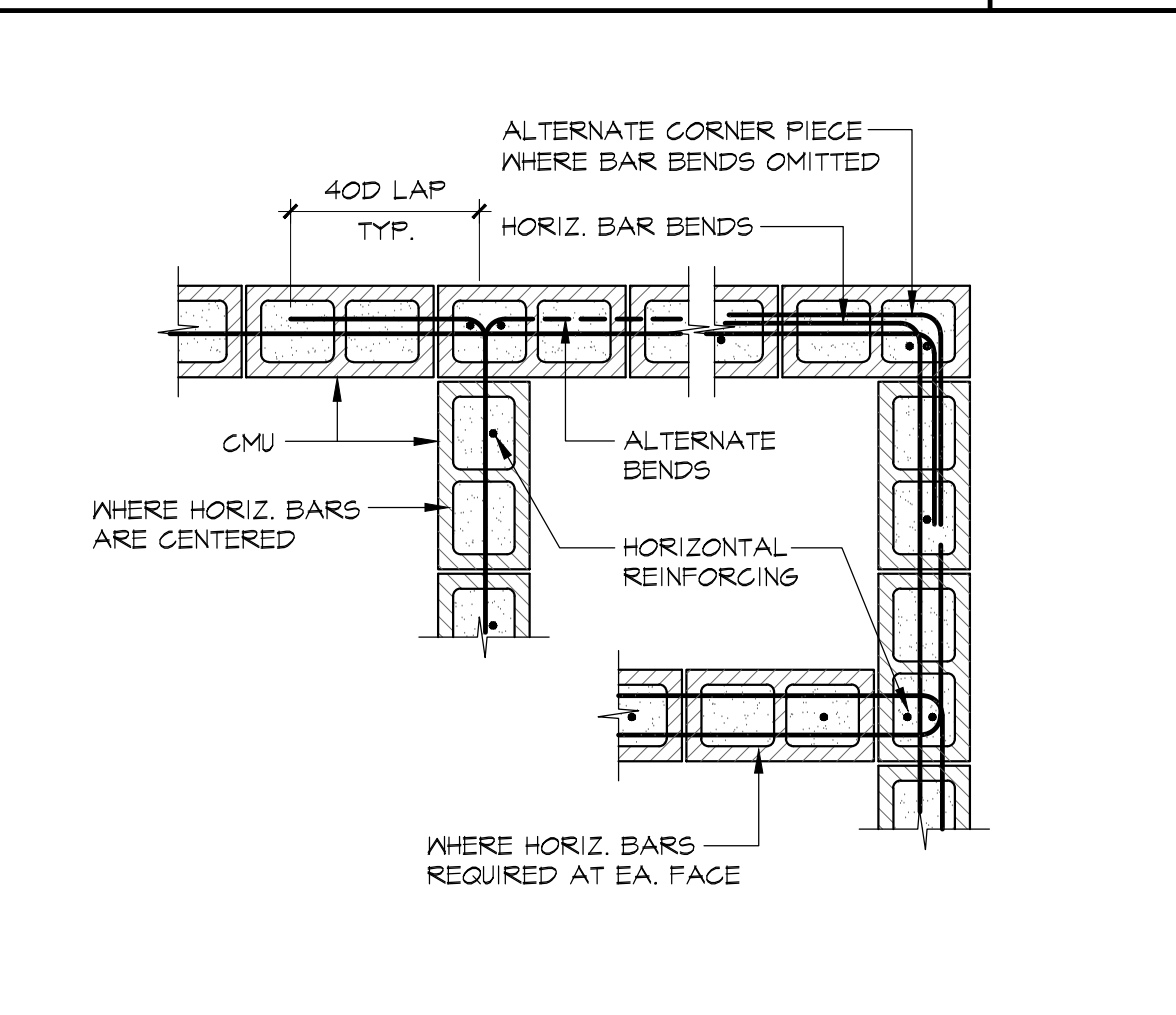
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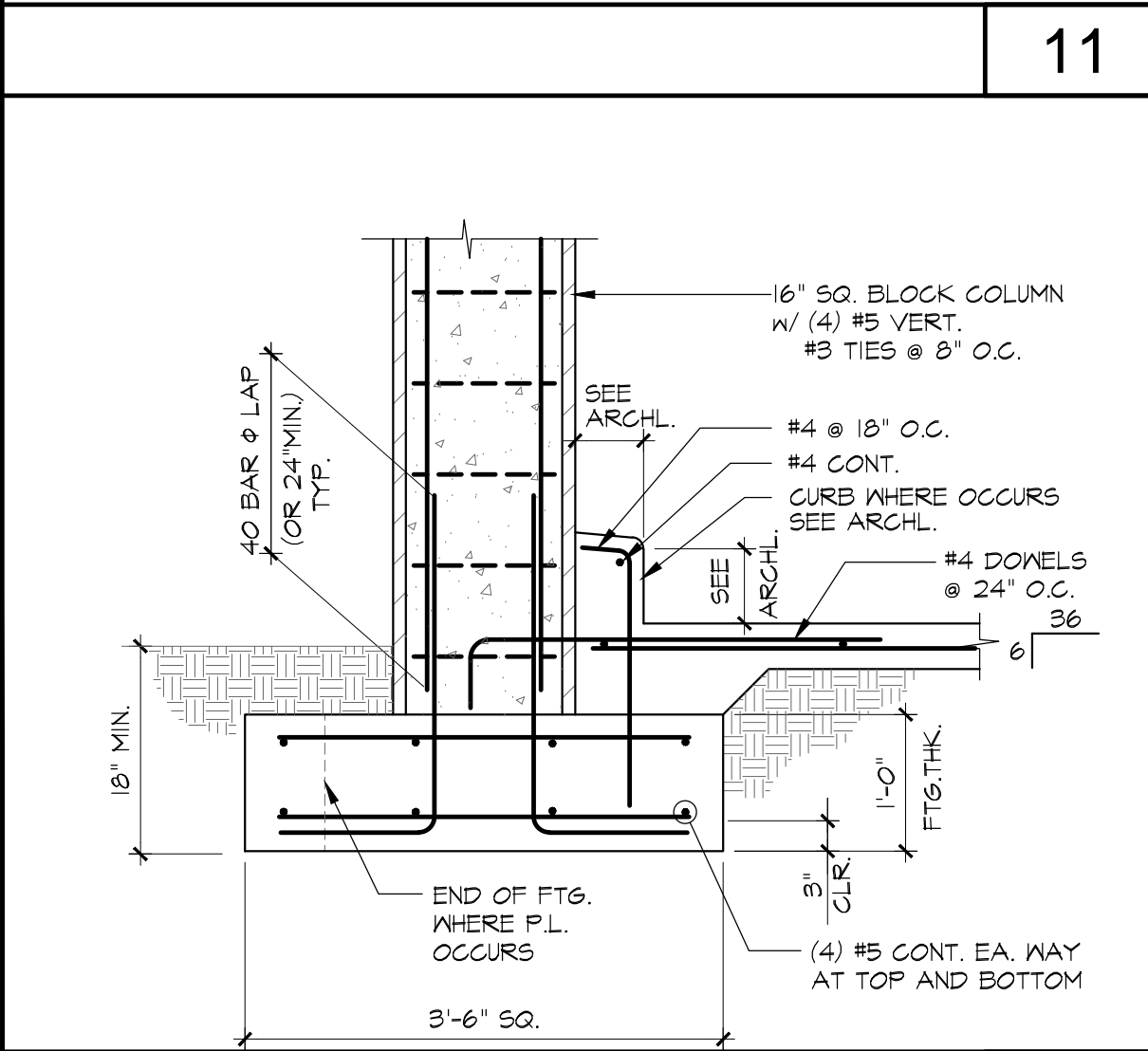
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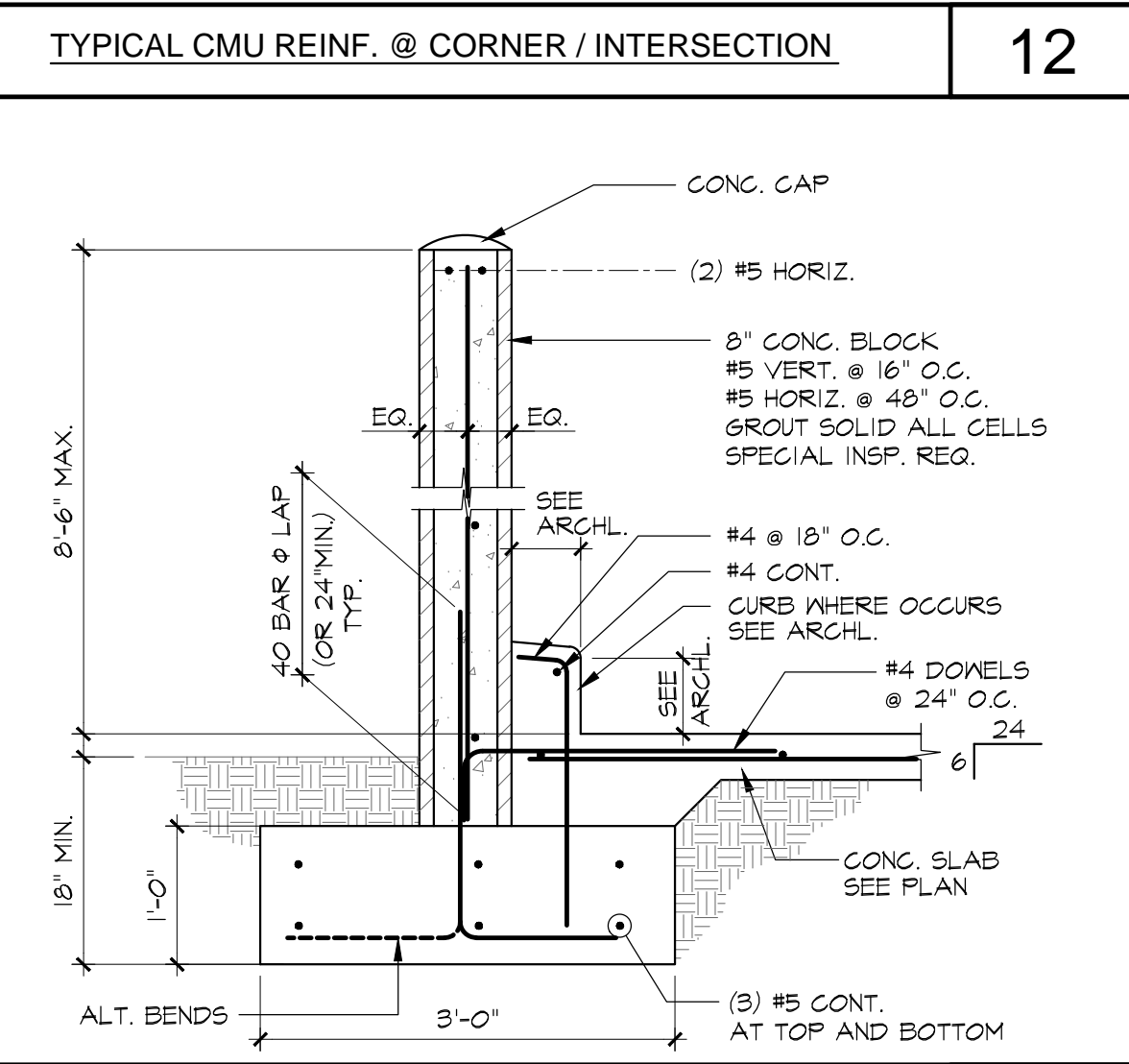
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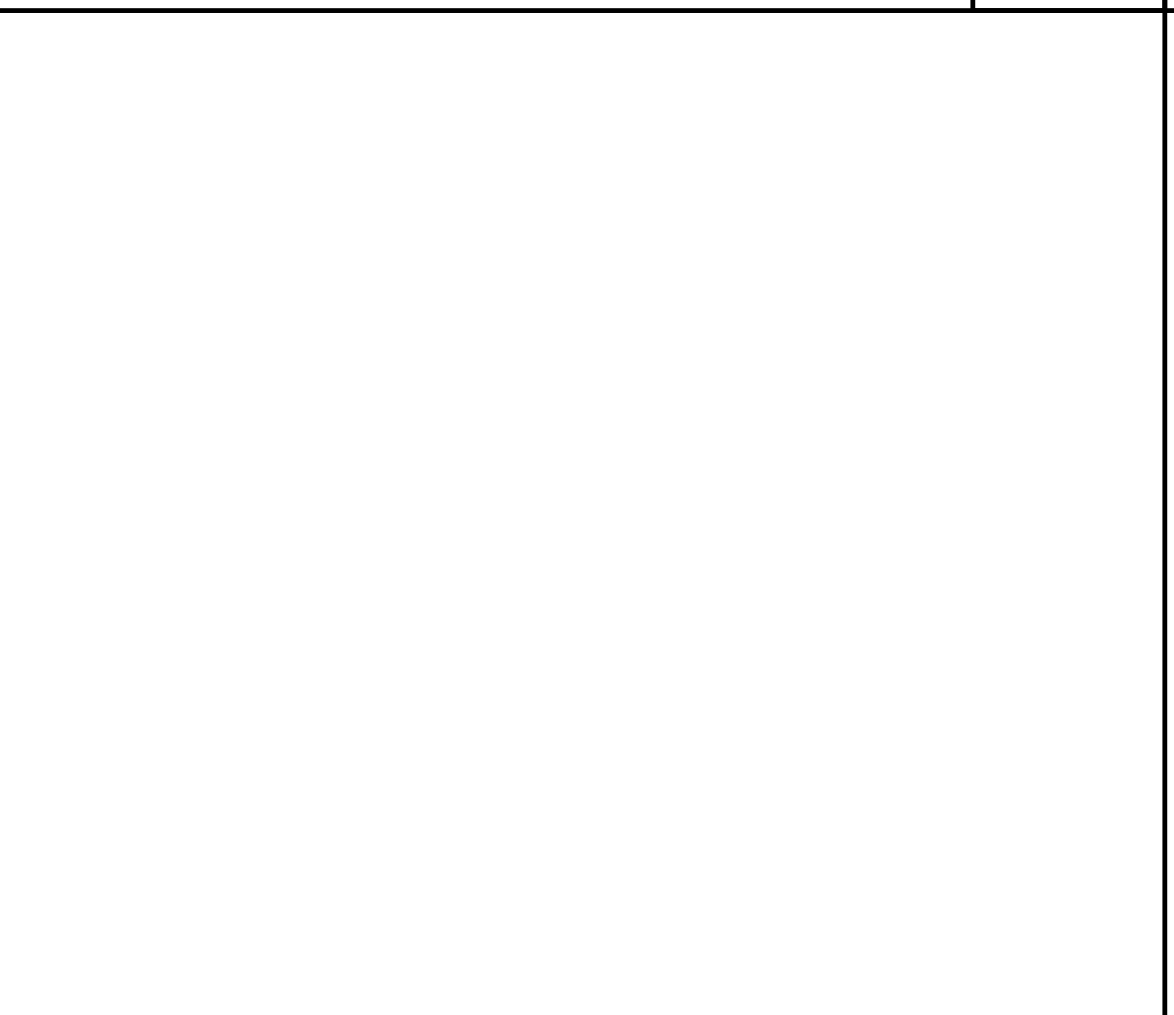
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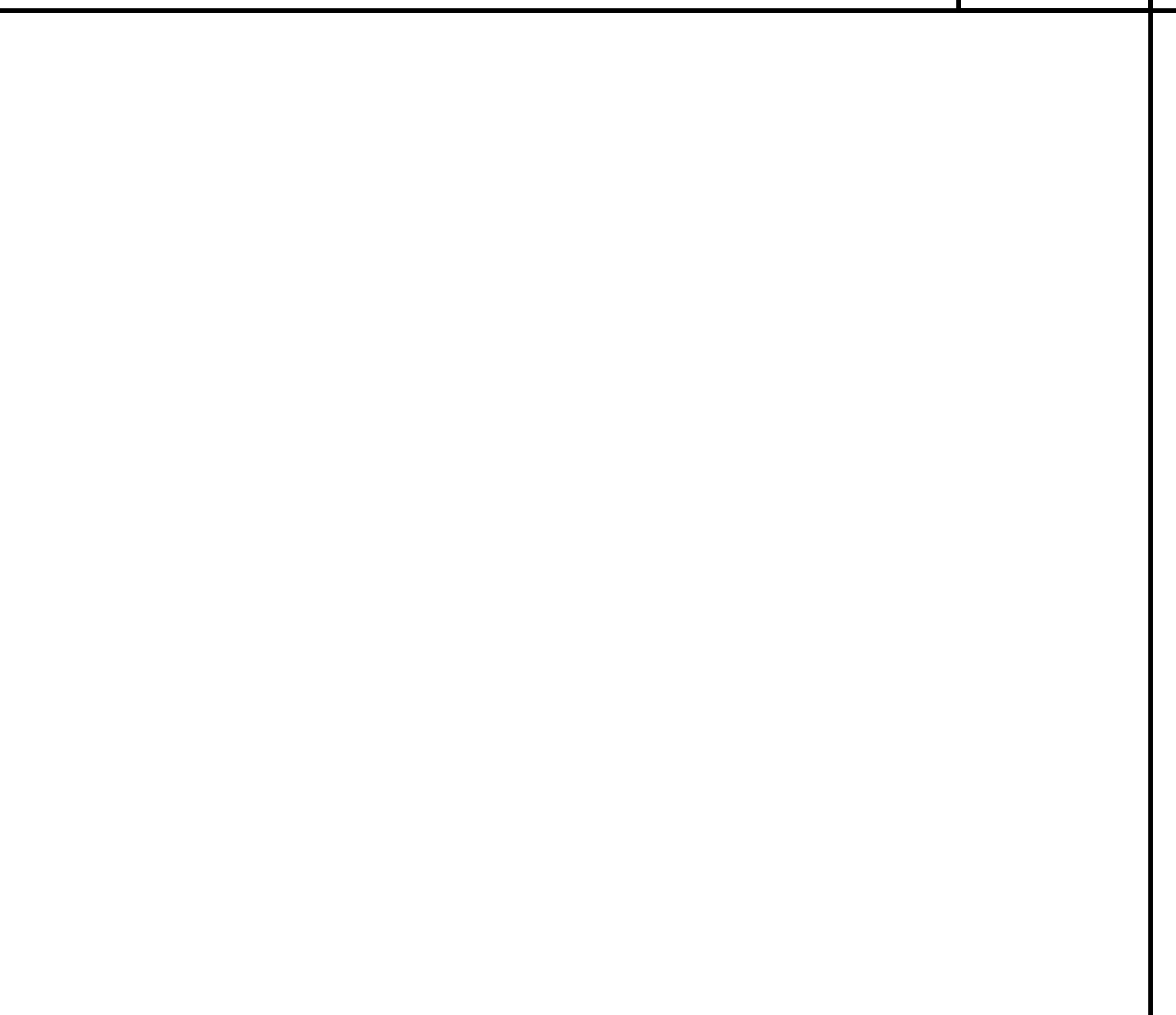
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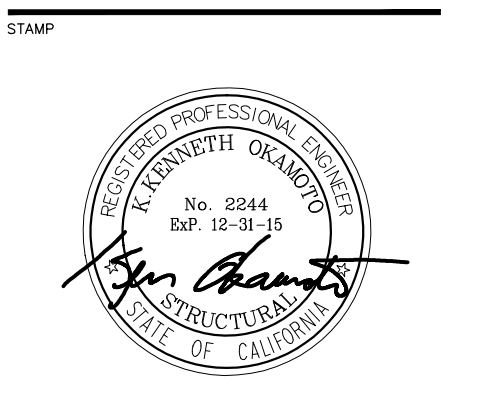


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1	08/21/14	P.C. SUBMITTAL

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21155 NEWPORT COAST DRIVE
NEWPORT BEACH, CA 92657

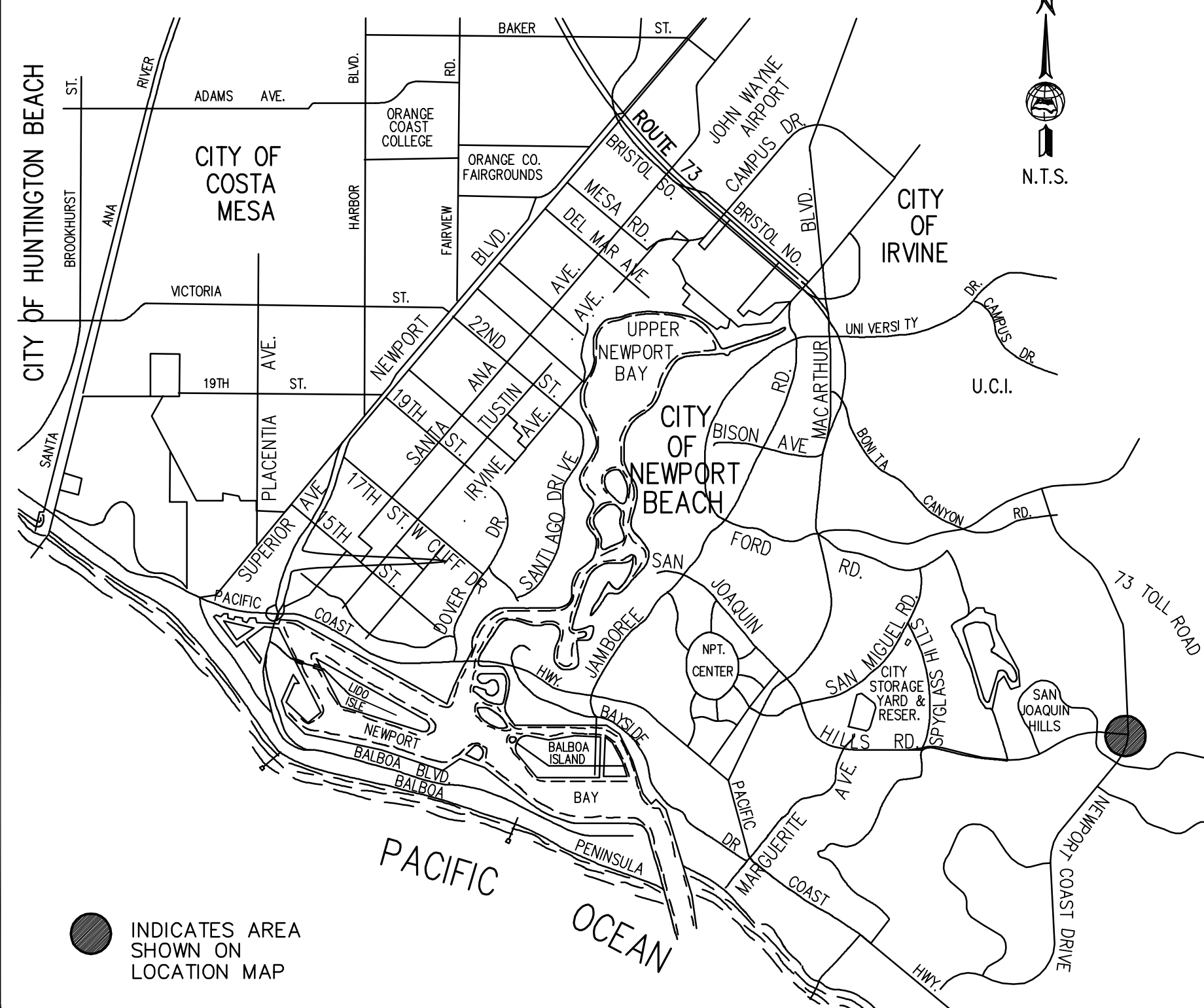
DEVELOPER / OWNER
IRVINE COMPANY
101 INNOVATION
IRVINE, CA

DRAWING TITLE

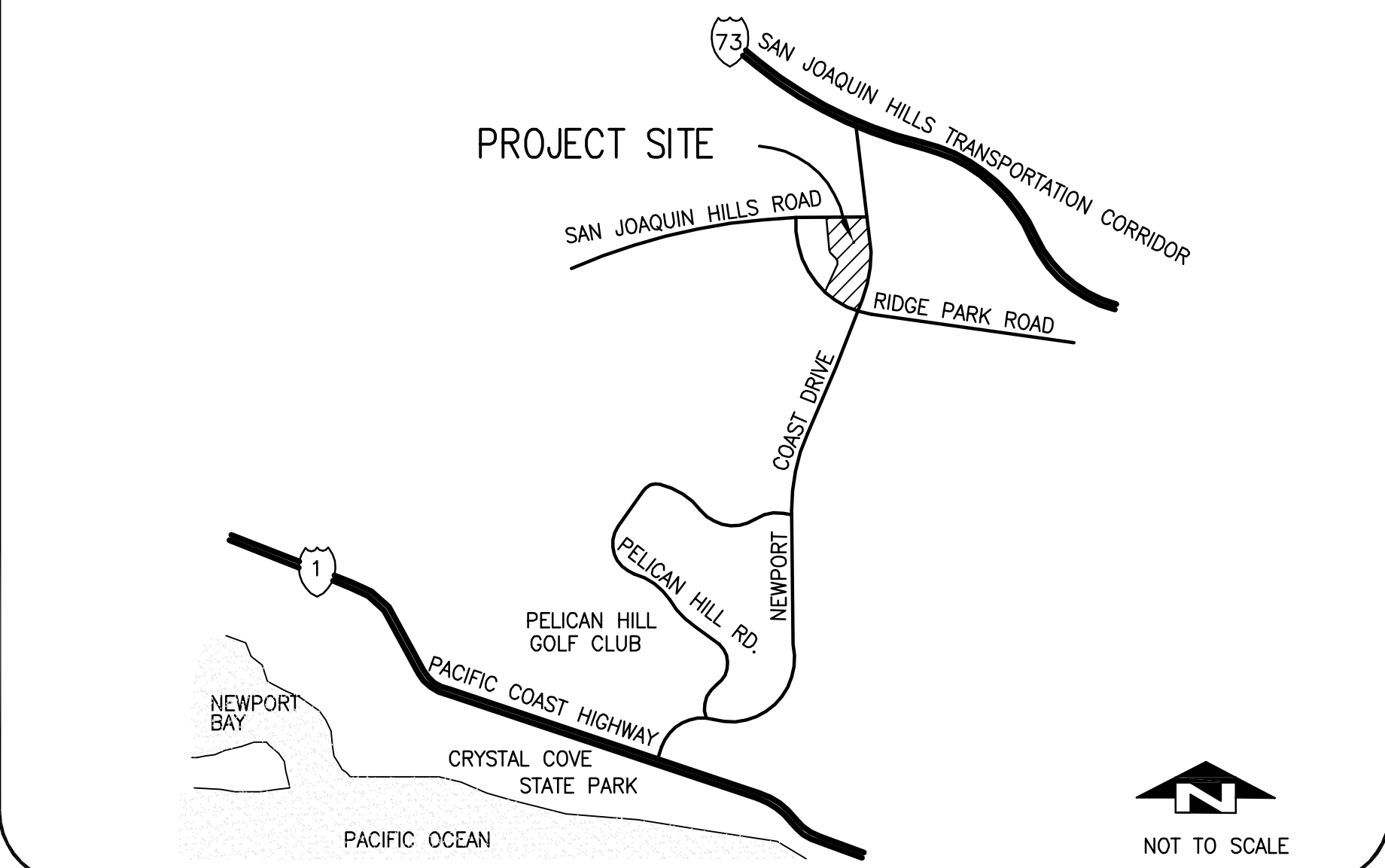
DETAILS

JOB NO: _____
DATE: _____
DRAWN BY: _____
COMP. FILE NAME: _____
SCALE: _____
SHEET NO: _____

VICINITY MAP



LOCATION MAP



GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT AND 2010 CALIFORNIA BUILDING CODES, 2010 CPC, 2010 CEC, 2010 CMC, 2008 BUILDING ENERGY EFFICIENCY STANDARD (BEES).

GRADING NOTES

- 1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- 2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.

ESTIMATED EARTH QUANTITIES

Table with columns: EXCAVATION, EMBANKMENT, and TRENCH SPOIL & FOOTINGS. Rows include Raw Excavation, Raw Embankment, Remedial Grading, Shrinkage (10% Remedial), Overexcavation, and Totals.

- 1. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO REVIEW THE GRADING PLANS AND SOILS REPORT THOROUGHLY PRIOR TO SITE MOBILIZATION.
- 2. THE EXISTING TOPOGRAPHY AS DELINEATED ON THESE DRAWINGS SHALL BE UTILIZED AS THE BASIS FOR ALL EARTHWORK COMPUTATIONS.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR(S)

- 1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS.
- 2. RELOCATION OR REMOVAL OF ANY EXISTING UTILITIES SHALL BE PERFORMED BY THE RESPECTIVE UTILITY OWNERS, AT THE EXPENSE OF THE DEVELOPER.

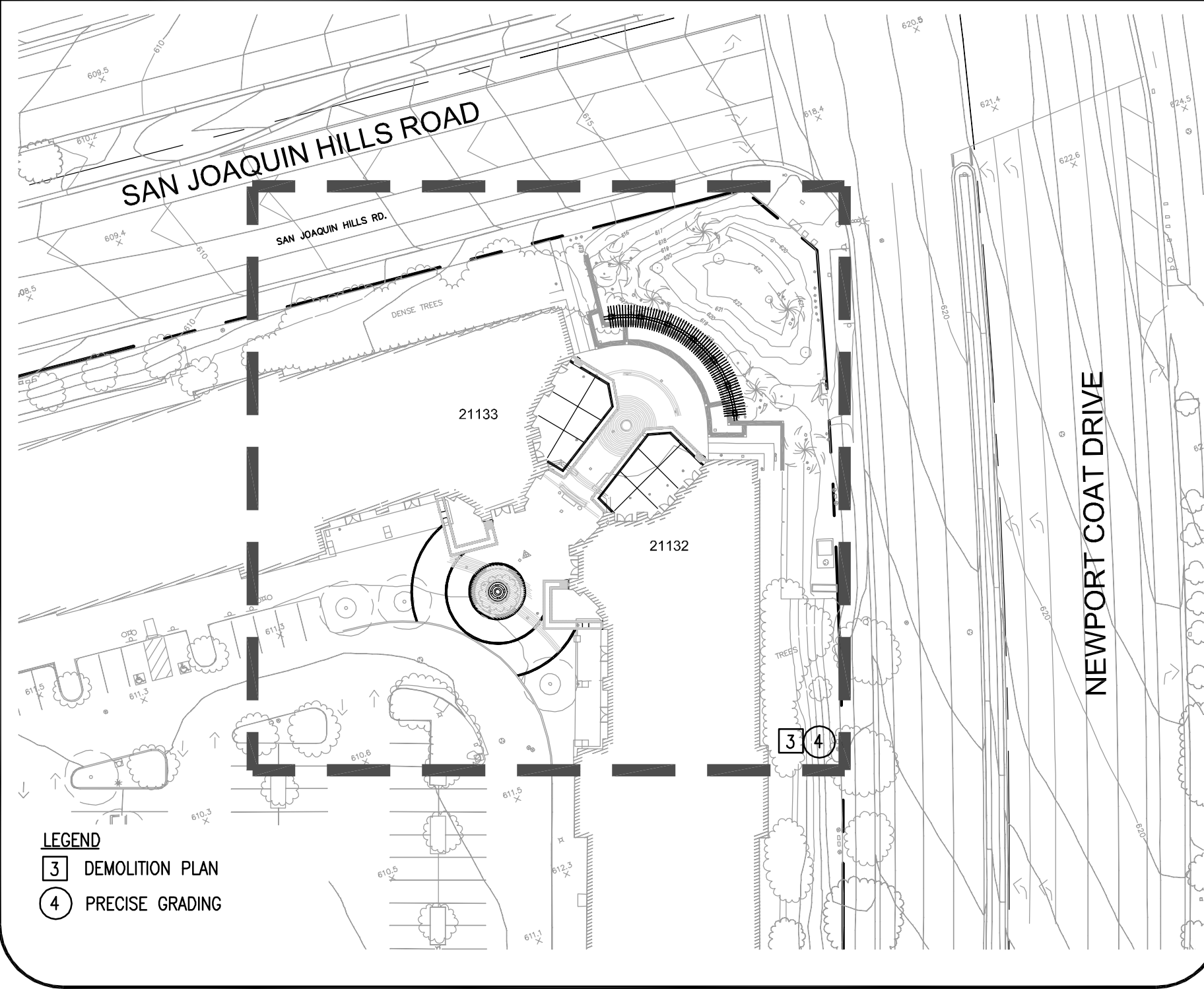
CONSTRUCTION NOTES AND QUANTITIES

Table with columns: NO., DESCRIPTION, QUANTITY, and UNIT. Includes Demolition Notes, Precise Grading Construction Notes, and Low Flow Construction Notes.

SHEET INDEX

Table listing sheet numbers and descriptions for Grading Plans, Landscape Construction Notes & Legends, and Landscape Planting Notes & Legends.

INDEX MAP



REMOVAL OF UNSUITABLE SOILS

SEE ---- SOILS REPORT FOR THE LIMITS AND DEPTHS OF UNSUITABLE SOILS REMOVALS

EROSION CONTROL NOTES

- 1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- 2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE BETWEEN OCTOBER 15 AND MAY 15.

REQUIRED INSPECTION

- 1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES.

MONUMENT NOTE

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTE: ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS.

SCOPE

RELOCATE TRASH ENCLOSURE AND EXTEND PATIO AREAS

DOCUMENTATION

- 1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS-GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUB-SURFACE DRAINAGE FACILITIES.

IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, STREET PAVEMENT, AND OTHER PUBLIC IMPROVEMENTS SHALL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION.

UPON COMPLETION OF PAVING, CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST UTILITY COVERS TO GRADE AS NEEDED AND REPAIR OR RECONSTRUCT UTILITY STRUCTURES OR COVERS DAMAGED IN THE COURSE OF CONSTRUCTION AS DEEDED.

SURVEYOR SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

PARKING SUMMARY

THESE IMPROVEMENTS DO NOT CHANGE THE CURRENT TOTAL PARKING COUNT FRO THIS SITE.

GRADING LEGEND

Table with columns: EXISTING, PROPOSED, and DESCRIPTION. Lists symbols for various features like finished grade, flow lines, catch basins, sewer manholes, and parking structures.

A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.

JOB ADDRESS

21133 NEWPORT COAST DRIVE, NEWPORT BEACH, CA 92657

Table for Revisions with columns: NO., DATE, REVISIONS, APP., DATE.

Geotechnical Firm: NMG GEOTECHNICAL, INC. 17991 FITCH IRVINE, CA 92614 PHONE: (949) 472-2442

Developer/Owner: IRVINE COMPANY Since 1864 101 INNOVATION IRVINE, CA 949-720-2279 CONTACT: AARON FRY

Prepared by: Stantec 38 TECHNOLOGY DRIVE, SUITE 100 IRVINE, CA 92618 949.923.6000 stantec.com

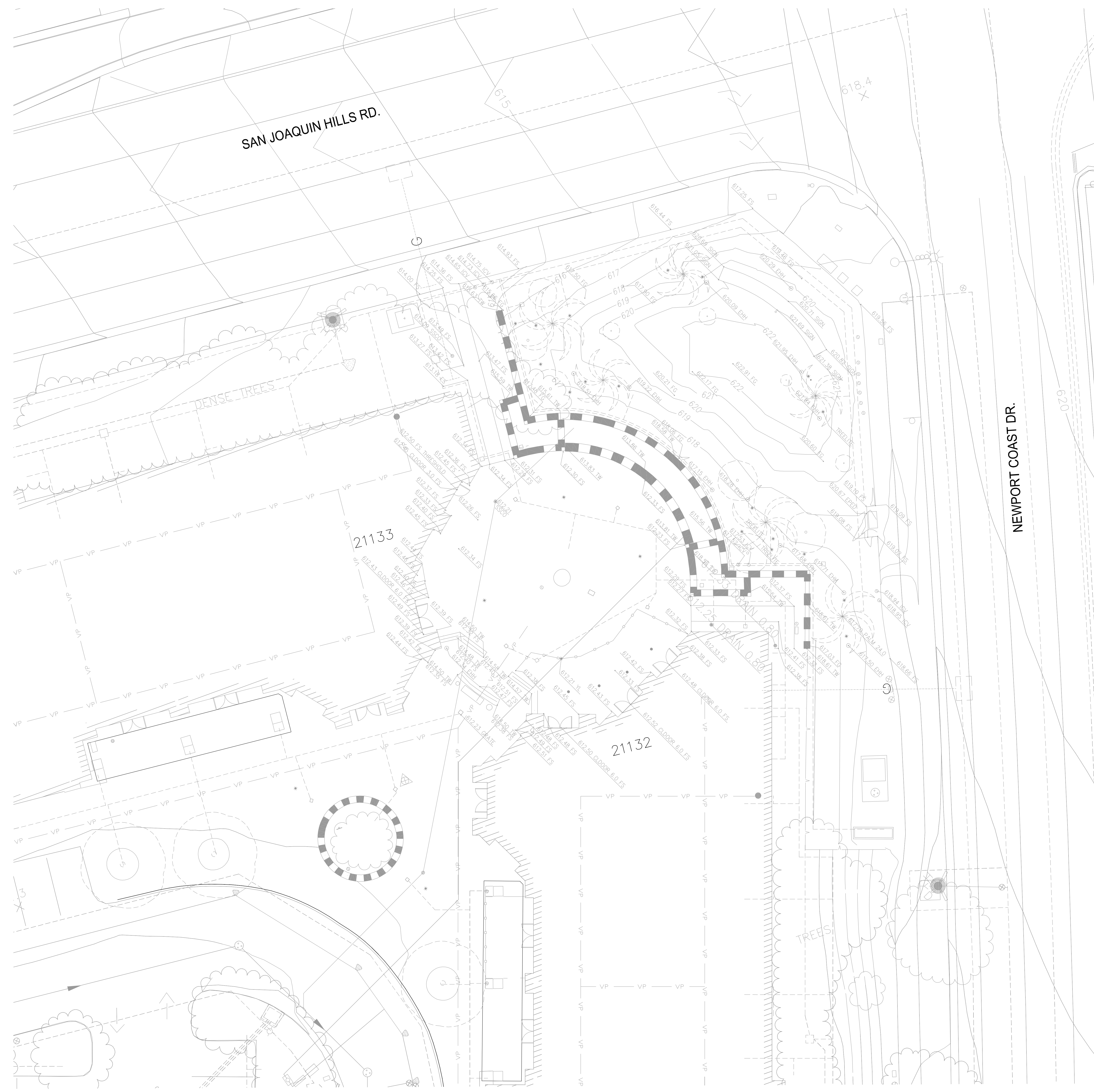
Basis of Bearings: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SAN JOAQUIN HILLS ROAD BEING 'N 84°27'24" W PER PARCEL MAP NO. 2000-160, P.M.B. 318 / 27-31.

Benchmark: O.C.S. BM 3T-6-92 0.85 MILE NORTHERLY ALONG NEWPORT COAST DRIVE FROM THE INTERSECTION OF PELICAN HILLS NORTH TO AN ENTRANCE TO A PUMP STATION ON THE EAST SIDE OF NEWPORT COAST DRIVE, SET AT THE NORTHEAST CORNER OF A 4 FT. BY 5 FT. CATCH BASIN, 52 FT. EAST OF THE CENTERLINE OF NEWPORT COAST DRIVE, 84 FT. SOUTH OF THE ENTRANCE OF THE PUMP STATION. ELEV. 602.43 NGVD 29/1995 OCS ADJUSTMENT

Title Sheet: 21133 NEWPORT COAST DRIVE NEWPORT COAST SHOPPING CENTER PRECISE GRADING CITY OF NEWPORT BEACH BUILDING AND SAFETY DEPARTMENT PLAN CHECK No. PERMIT No. SHEET 1 OF 6

Vertical text on the left edge: DRAWING: v:\proj\p145\2014\21133\21133.dwg PLOT: 7/28/2014 8:30 AM BY: Valencia, Antonio

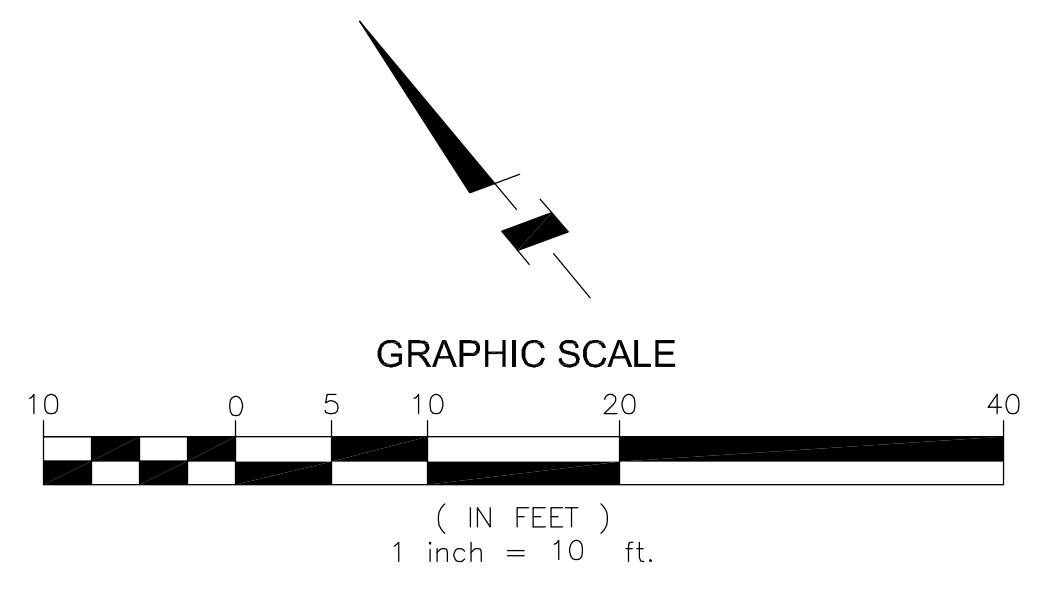
Vertical text on the right edge: 1ST SUBMITTAL - JULY 28, 2014



LEGEND

- AC ASPHALT/CONCRETE
- CONC. CONCRETE
- DCBA DOUBLE CHECK BACKFLOW ASSEMBLY
- EPB ELECTRIC PULLBOX
- EP EDGE OF AC PAVING
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- GV GAS VALVE
- GM GAS METER
- GW GUY WIRE
- GP GUARD POST
- LS LANDSCAPE
- PP POWER POLE
- SMH SEWER MANHOLE
- TSMB TRAFFIC SIGNAL PULLBOX
- TMH TELEPHONE MANHOLE
- T.E. TRASH ENCLOSURE
- WM WATER METER
- WV WATER VALVE
- XXXX.XX TC EXISTING TOP OF CURB ELEVATION
- XXXX.XX FS EXISTING FINISH SURFACE ELEVATION
- G — UNDERGROUND GAS
- SD — UNDERGROUND STORM DRAIN
- SS — UNDERGROUND SANITARY SEWER
- E — UNDERGROUND ELECTRICAL
- V — UNDERGROUND WATER LINE
- — OVERHEAD ELECTRIC
- * STREET LIGHT
- * * * * * TRAFFIC SIGNAL
- * * * * * YARD LIGHT
- * * * * * MANHOLE
- * * * * * SIGN
- * * * * * WATER VALVE
- * * * * * VENT
- * * * * * POWER POLE
- * * * * * CONC. WHEEL STOP
- — BLOCK WALL

FOR REFERENCE ONLY



<p>DEVELOPER: IRVINE COMPANY 101 INNOVATION Since 1864 IRVINE, CA 92618 PHONE: 949.272.2279 CONTACT: BOB LISLE</p> <p>SOILS ENGINEER: NMG GEOTECHNICAL IRVINE, CALIFORNIA 92614 PHONE: (949) 442-2442</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">JOB NO.</td> <td style="width: 25%;">2042464500</td> <td style="width: 25%;">DATE APPROVED:</td> <td style="width: 25%;">DATE PRINTED:</td> </tr> <tr> <td>7</td> <td>6</td> <td>5</td> <td>4</td> </tr> <tr> <td>3</td> <td>2</td> <td>1</td> <td></td> </tr> <tr> <td>NO.</td> <td>NO.</td> <td>NO.</td> <td>NO.</td> </tr> <tr> <td></td> <td></td> <td></td> <td>REVISIONS</td> </tr> </table>	JOB NO.	2042464500	DATE APPROVED:	DATE PRINTED:	7	6	5	4	3	2	1		NO.	NO.	NO.	NO.				REVISIONS
JOB NO.	2042464500	DATE APPROVED:	DATE PRINTED:																		
7	6	5	4																		
3	2	1																			
NO.	NO.	NO.	NO.																		
			REVISIONS																		
<p>PREPARED BY: Stantec 9900 BLOSSOM DRIVE, SUITE 100 IRVINE, CA 92618 949.973.6000 stantec.com</p>																					
<p>NEWPORT COAST SHOPPING CENTER 21133 NEWPORT COAST DRIVE EXISTING TOPO PLAN CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT</p>																					
<p>PLAN CHECK NO. _____</p> <p>PERMIT NO. _____</p> <p>SHEET <u>2</u> OF <u>6</u></p>																					
<p>1ST SUBMITTAL - JULY 24, 2014</p>																					

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GENERAL NOTES

- IF ANY EXISTING UTILITY IS EXPOSED DURING DEMOLITION THE CONTRACTOR SHALL SURVEY THE UTILITY AND PROVIDE THE ENGINEER WITH AN AUTOCAD FILE OF THE HORIZONTAL, VERTICAL, SIZE AND MATERIAL TYPE. THIS FILE WILL ALSO BE PROVIDED TO THE OWNER.
- IF ANY UNKNOWN LATERALS ARE UNCOVERED DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED. THE CONTRACTOR SHALL AS-BUILT THE LATERAL UPSTREAM TO THE END POINT AND PROVIDE THE ENGINEER WITH HORIZONTAL, VERTICAL, PIPE SIZE AND MATERIAL IN AN AUTOCAD FORMAT.
- CONTRACTOR TO OBTAIN SEPARATE ENCROACHMENT PERMIT FOR ANY WORK WITHIN CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL COORDINATE WITH CENTER MANAGEMENT TO MOVE AND STORE EXISTING PLANTER POTS.

DEMOLITION NOTES

- [P] - PROTECT IN PLACE EXISTING ITEM INDICATED
- [1] - REMOVE EXISTING LIGHT POLE (DISPOSITION BY OTHERS).
- [2] - REMOVE AND SALVAGE EXISTING FENCE AND STORE PER OWNER'S DIRECTION.
- [3] - REMOVE AND DISPOSE OF EXISTING HALF WALL AND GLASS PANEL WINDSCREEN.
- [4] - REMOVE AND SALVAGE EXISTING PAVERS. STORE FOR RE-USE.
- [5] - REMOVE AND DISPOSE OF EXISTING STORM DRAIN.
- [6] - REMOVE AND DISPOSE OF EXISTING LANDSCAPE & IRRIGATION
- [7] - REMOVE & SALVAGE EXISTING SIGN. STORE PER OWNER'S REQUEST
- [8] - REMOVE & DISPOSE OF EXISTING CONCRETE PAVEMENT
- [9] - REMOVE & RELOCATE EXISTING ELEC. PULL BOX/HAND HOLE (DISPOSITION BY OTHERS)

LEGEND

----- LIMIT OF DEMO

MONUMENT NOTE

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PRIOR TO CONSTRUCTION WORK AND REPLACED, IF NECESSARY, AFTER CONSTRUCTION WORK IN ACCORDANCE WITH SECTION 8771 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTES TO CONTRACTOR

- PAVEMENT IMPROVEMENTS (AC/SIDEWALK/CURB & GUTTER/ETC.) WITHIN THE LIMITS OF WORK/DEMO SHALL BE REMOVED AND PROPERLY DISPOSED WHERE IDENTIFIED ON PLAN.
- REMOVE EXISTING FACILITIES WITHIN LIMITS OF REMOVAL AS IDENTIFIED ON PLAN. FACILITIES NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED IN PLACE. (OR CONFIRM DISPOSITION WITH ENGINEER).
- CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITY AGENCIES AND FASHION ISLAND MANAGEMENT TO REMOVE, PLUG OR PROTECT EXISTING FACILITIES. RE-USE OF SOME FACILITIES MAY BE POSSIBLE FOR FUTURE DEVELOPMENT.
- 4' X 8' PLYWOOD BARRICADES SHALL BE CONSTRUCTED TO PROHIBIT PUBLIC ACCESS TO PROJECT AREA.
- ALL VEGETATION, TRASH AND DEBRIS SHOULD BE CLEARED FROM THE GRADING AREA AND HAULED AWAY FROM THE SITE. THE GEOTECHNICAL CONSULTANT SHOULD BE PRESENT TO OBSERVE THE DEMOLITION OF ALL SUBSURFACE STRUCTURES, FOOTINGS AND UTILITY LINES.
- BACKFILL SHALL BE PERFORMED IN CONFORMANCE WITH SOILS ENGINEER'S RECOMMENDATIONS.
- AT THE COMPLETION OF THE DEMOLITION, THE CONTRACTOR SHALL SUPPLY INFORMATION ON THE RESULTING CONDITION OF THE UTILITIES TO THE OWNER OR ENGINEER.
- CONTRACTOR TO BE FAMILIAR WITH EXISTING STRUCTURES AT THE LIMITS OF DEMOLITION AND PROTECT/STABILIZE EXISTING STRUCTURES TO REMAIN IN PLACE.
- VEHICLES REMOVING DEMOLITION DEBRIS FROM THE SITE SHALL OBTAIN APPROVAL FOR HAUL ROUTE FROM THE CITY ENGINEER.
- FOR ELECTRICAL, LANDSCAPE, IRRIGATION, STORM DRAIN, SEWER AND WATER REMOVALS SEE INDIVIDUAL IMPROVEMENT PLANS (WHERE APPLICABLE).

JOB NO: 204264500		DATE APPROVED: 4/1/14		DATE PRINTED: 7/24/14	
DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE		SOILS ENGINEER: NMG GEOTECHNICAL IRVINE, CALIFORNIA 92614 (949) 442-2442		NO. DATE	
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PREPARED BY: **Stantec**
3900 CALLE ORO DRIVE, SUITE 100
IRVINE, CA 92618
949.973.6000
stantec.com

MITCHELL A. THESSEN R.C.E. 56867

NEWPORT COAST SHOPPING CENTER
21133 NEWPORT COAST DRIVE
DEMOLITION PLAN
CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

PLAN CHECK NO. _____
PERMIT NO. _____

SHEET 3
OF 6

1ST SUBMITTAL - JULY 24, 2014

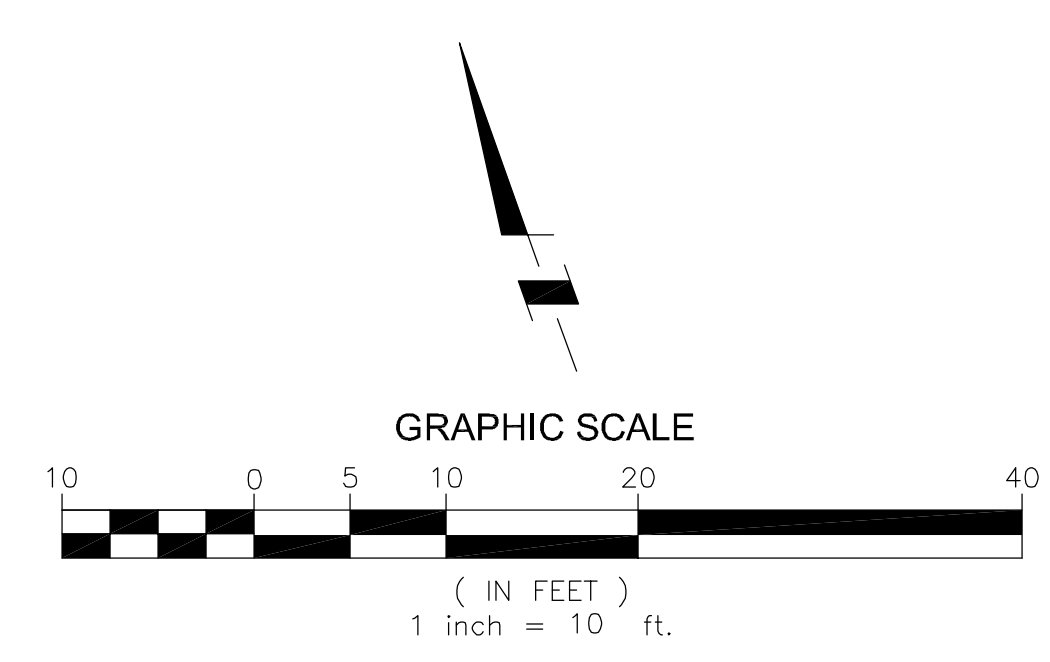
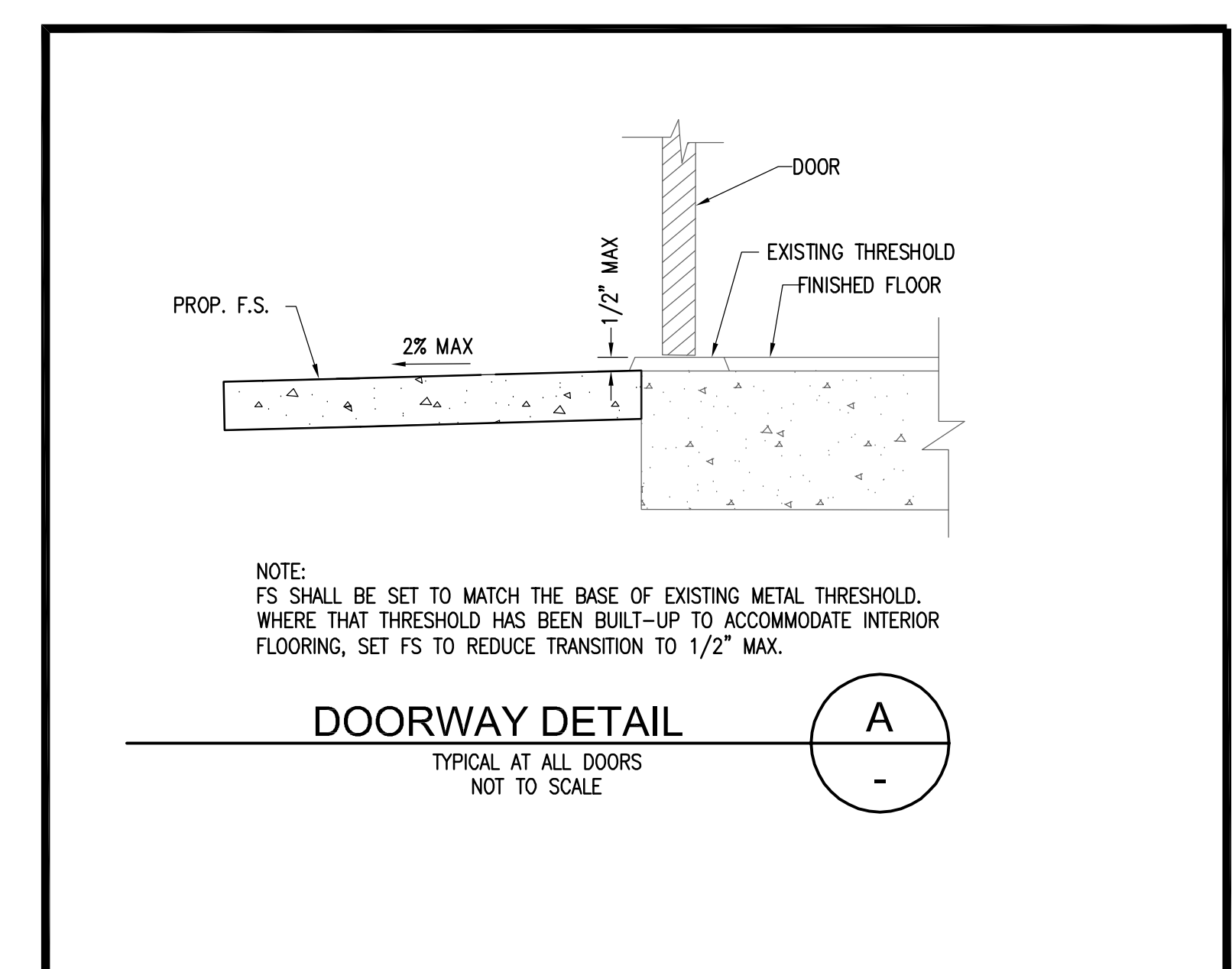
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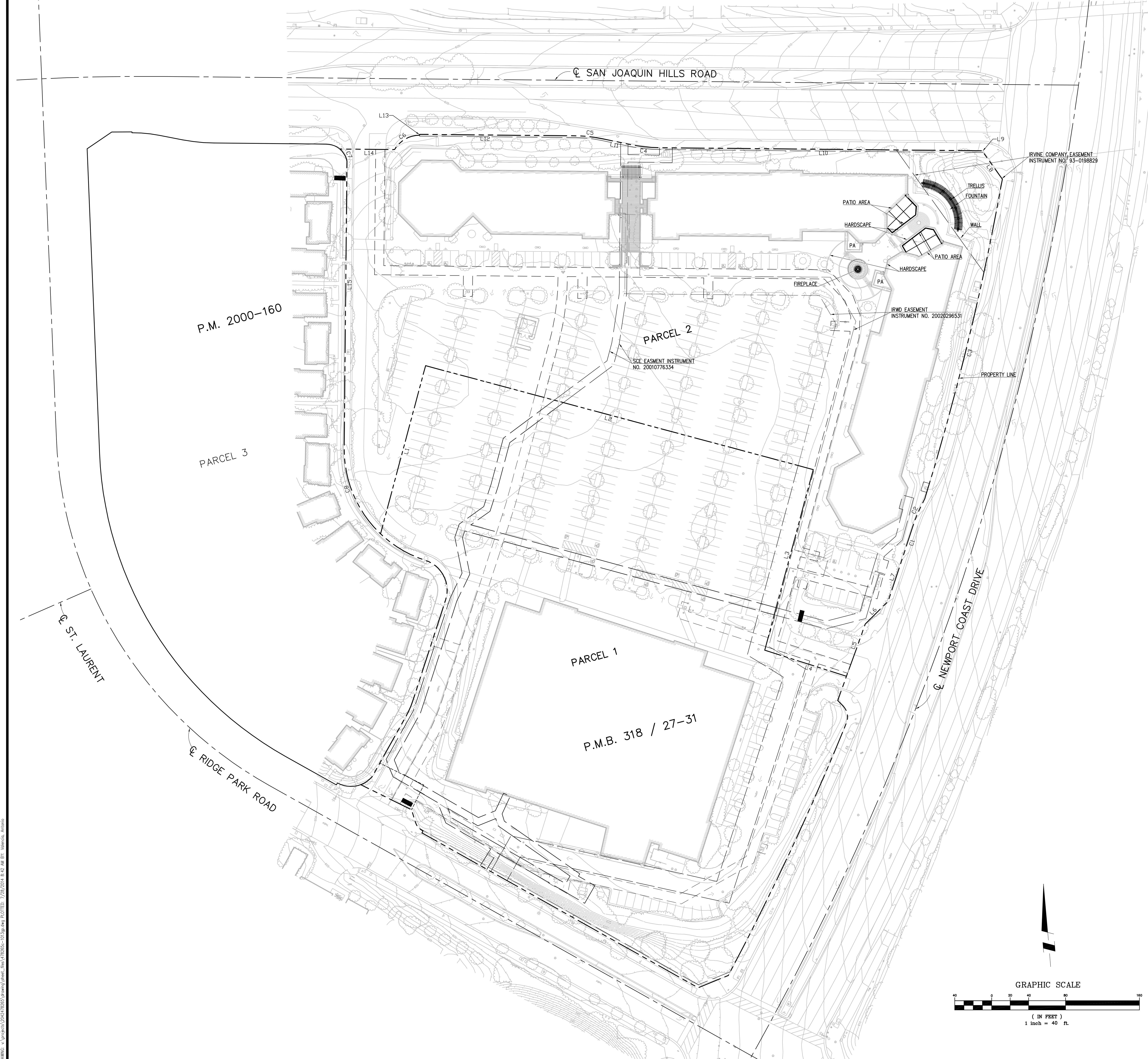
- PRECISE GRADING CONSTRUCTION NOTES**
- (21) - INSTALL CUSTOM TUBULAR STEEL & GLASS PANEL WINDSCREEN (SEE LANDSCAPE PLANS FOR DETAILS & SPECIFICATIONS).
 - (22) - CONSTRUCT AND INSTALL FIREPLACE (SEE LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS).
 - (23) - CONSTRUCT 4" THICK CONCRETE PAVEMENT (#3 BARS AT 18" O.C. BOTH WAYS.) COLOR, TEXTURE & FINISH PER LANDSCAPE PLANS.
 - (24) - RE-SET EXISTING PAVERS (60MM) OVER 1" AB. SEE LANDSCAPE PLAN FOR COLOR, TEXTURE, FINISH AND OTHER SPECIFICATIONS.
 - (25) - REMOVE, CUT & REPLACE EX. PAVERS AS NEEDED TO PROVIDE SMOOTH TRANSITION TO PROP. IMPROVEMENTS.
 - (26) - CONSTRUCT CONCRETE PAVER EDGE AT PLANTER PER DETAIL A ON SHEET 6 AND LANDSCAPE PLANS.
 - (27) - ADJUST EXISTING UTILITY TO GRADE.
 - (28) - INSTALL PATIO GATE AND FENCING (SEE LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS).
 - (29) - CONSTRUCT AND INSTALL TRELIS (SEE LANDSCAPE PLANS FOR DETAILS AND SPECIFICATIONS).

- LOW FLOW NOTES**
- (51) - INSTALL 6" PVC SDR35 WITH BEDDING PER CITY OF NEWPORT BEACH STD PLAN NO. 106-L.
 - (52) - INSTALL 12" SQUARE INLET PER DETAIL B ON SHEET 6
 - (53) - JOIN EXISTING LOW FLOW. CONTRACTOR TO FIELD VERIFY EXISTING SIZE AND INVERT

- NOTES**
1. IF ANY EXISTING UTILITY IS EXPOSED DURING CONSTRUCTION THE CONTRACTOR SHALL SURVEY THE UTILITY AND PROVIDE THE ENGINEER WITH AN AUTOCAD FILE OF THE HORIZONTAL, VERTICAL, AND MATERIAL TYPE. THIS FILE WILL ALSO BE PROVIDED TO THE OWNER.
 2. ALL UTILITIES BEING CONSTRUCTED WILL BE SURVEYED FOR X/Y/Z COORDINATES PRIOR TO BURN-IN. AN AUTOCAD FILE OF THE AS-BUILT UTILITIES WILL BE PROVIDED TO THE ENGINEER.
 3. IF ANY UNKNOWN LATERALS ARE UNCOVERED DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED. THE CONTRACTOR SHALL AS-BUILT THE LATERAL UPSTREAM TO THE END POINT AND PROVIDE THE ENGINEER WITH HORIZONTAL, VERTICAL, PIPE SIZE AND MATERIAL IN AN ACAD FORMAT.
 4. CONTRACTOR SHALL NOTIFY ENGINEER AT COMPLETION OF PRECISE GRADING OF PLANTERS AND BEFORE PLANTING HAS COMMENCED IN ORDER TO REVIEW SHOALS AND GRADES IN PLANTERS AND LAWN AREAS. ALL PLANTERS SHALL STRAIGHT GRADE TO DRAIN TOWARD GRATES IF NO SPECIFY FLOW LINE IS SHOWN.
 5. CONTRACTOR TO VERIFY LOCATION (HORIZONTAL AND VERTICAL) AND MATERIAL TYPE OF EXISTING UTILITIES AT POINT OF CONNECTION (2) WEEKS PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES OR ISSUES OF CONSTRUCTABILITY.



<p>DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE</p> <p>SOILS ENGINEER: NMG GEOTECHNICAL IRVINE, CALIFORNIA 92614 (949) 442-2442</p>	<p>PREPARED BY: Mitchell A. Thessen R.C.E. 58987</p> <p>REGISTERED PROFESSIONAL ENGINEER No. 58987 State of California</p>	<p>JOB NO.: 2042464500</p> <p>DATE APPROVED: []</p> <p>DATE PRINTED: []</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">REVISIONS</th> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> </table>	NO.	DATE	REVISIONS	7			6			5			4			3			2			1		
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<p>NEWPORT COAST SHOPPING CENTER 21133 NEWPORT COAST DRIVE PRECISE GRADING PLAN CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT</p>		<p>PLAN CHECK NO. _____</p> <p>PERMIT NO. _____</p> <p>SHEET <u>4</u> OF <u>6</u></p>																									



LINE TABLE			CURVE TABLE				
LINE #	LENGTH	BEARING	CURVE #	DELTA	RADIUS	LENGTH	TANGENT
L1	188.47	S20°00'10"W	C1	0°33'51"	2931.00'	28.87'	14.43'
L2	434.50'	N69°59'50"W	C2	11°31'25"	164.50'	33.09'	16.60'
L3	202.47'	N20°00'10"E	C3	6°57'16"	2934.50'	356.18'	178.31'
L4	92.82'	N67°19'56"W	C4	11°19'36"	160.62'	31.75'	15.93'
L5	60.02'	N24°49'15"E	C5	11°02'03"	145.12'	27.95'	14.02'
L6	34.98'	N50°05'39"E	C6	60°21'42"	31.00'	32.66'	18.03'
L7	56.13'	N23°18'53"E	C7	38°31'25"	23.00'	15.46'	8.04'
L8	36.75'	N30°37'12"W	C8	47°04'04"	126.00'	103.51'	54.87'
L9	0.86'	N5°32'59"E					
L10	350.36'	N84°27'24"W					
L11	30.59'	N73°08'48"W					
L12	170.00'	N84°27'24"W					
L13	1.00'	S5°26'47"W					
L14	59.40'	N84°29'42"W					
L15	310.85'	S5°32'34"W					

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUE FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING NBPD 644-3717. C.V.C. SECTION NO. 22562

FIRE LANE
NO PARKING IN RED ZONES
VIOLATING VEHICLES WILL BE CITED AND/OR TOWED AT VEHICLE OWNER'S EXPENSE.
NBPD 644-3717 C.V.C. 22500.1 C.V.C. 658A

PRIVATE PROPERTY
UNAUTHORIZED OR IMPROPERLY PARKED VEHICLES WILL BE TOWED AWAY AT OWNER'S EXPENSE
NBPD 949.644.3681 C.V.C. SECTION NO. 22658A.

EXISTING ENTRY SIGN DETAIL 'A'

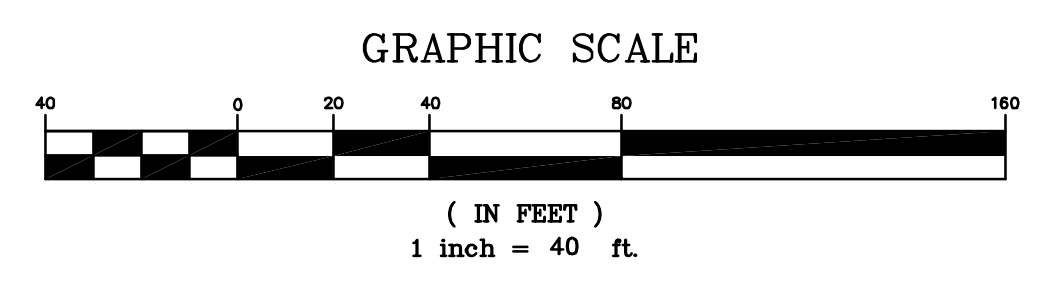
LEGEND
 INDICATES LOCATION OF EXISTIN ENTRY SIGN PER DETAIL "A" HEREON

MONUMENT NOTE
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BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SAN JOAQUIN HILLS ROAD BEING "N 84°27'24" W" PER PARCEL MAP NO. 2000-160, P.M.B. 318 / 27-31.

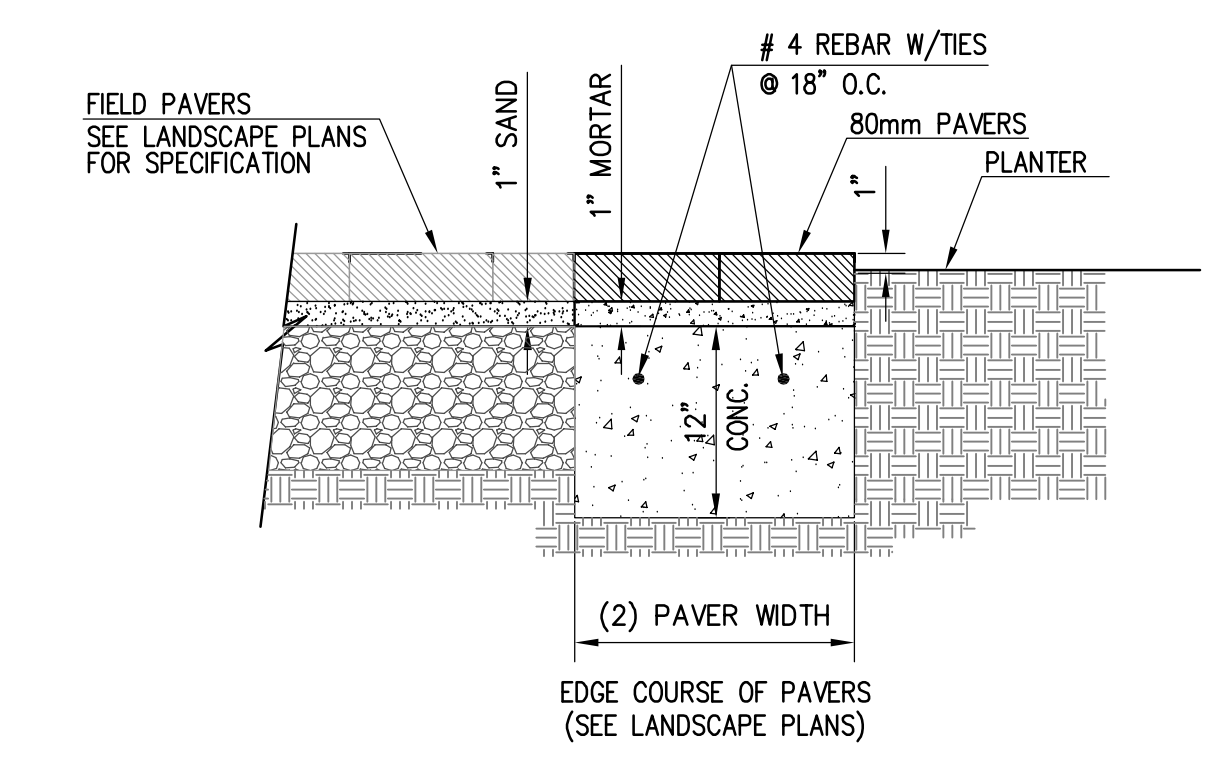
TOPOGRAPHY
 TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED UPON AERIAL PHOTOGRAPHY FLOWN ON APRIL 29, 2014 BY ROBERT J. LUNG AND ASSOCIATES. BUILDING OVERHANGS, INCLUDING ROOFS, EAVES, CANOPIES AND BALCONIES, WERE LOCATED BY AERIAL PHOTOGRAPHY AND MAY NOT REPRESENT BUILDING FOOTPRINTS AT GROUND LEVEL.

BENCH MARK:
 OCEM 37-6-92 ELEVATION 602.431'
 (NGVD 29 / 1992 ADJUSTMENT)

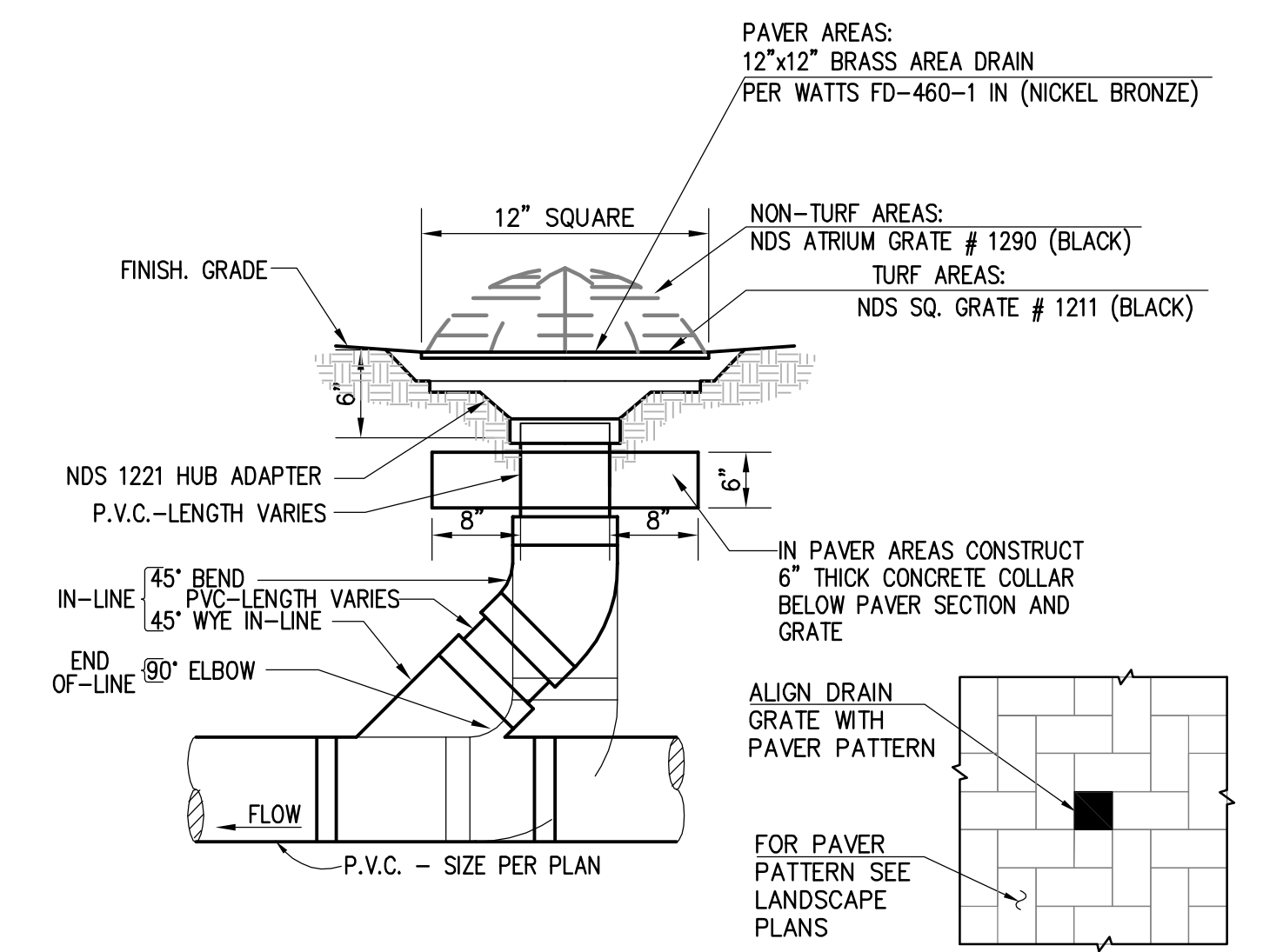


DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE	JOB NO: 204264500	NO. 7 DATE:
	DATE APPROVED:	NO. 6 DATE:
SOILS ENGINEER: IMG GEOTECHNICAL IRVINE, CALIFORNIA 92614 (949) 442-2442	DATE PRINTED:	NO. 5 DATE:
PREPARED BY: Stantec 3800 CALICO DRIVE, SUITE 100 IRVINE, CA 92618 949.973.6000	NO. 4 DATE:	NO. 4 DATE:
REGISTERED PROFESSIONAL ENGINEER No. 56858 STATE OF CALIFORNIA	NO. 3 DATE:	NO. 3 DATE:
NEWPORT COAST SHOPPING CENTER 21133 NEWPORT COAST DRIVE SITE SURVEY	NO. 2 DATE:	NO. 2 DATE:
CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT	NO. 1 DATE:	NO. 1 DATE:
PLAN CHECK NO.	SHEET 5 OF 6	1ST SUBMITTAL - JULY 24, 2014

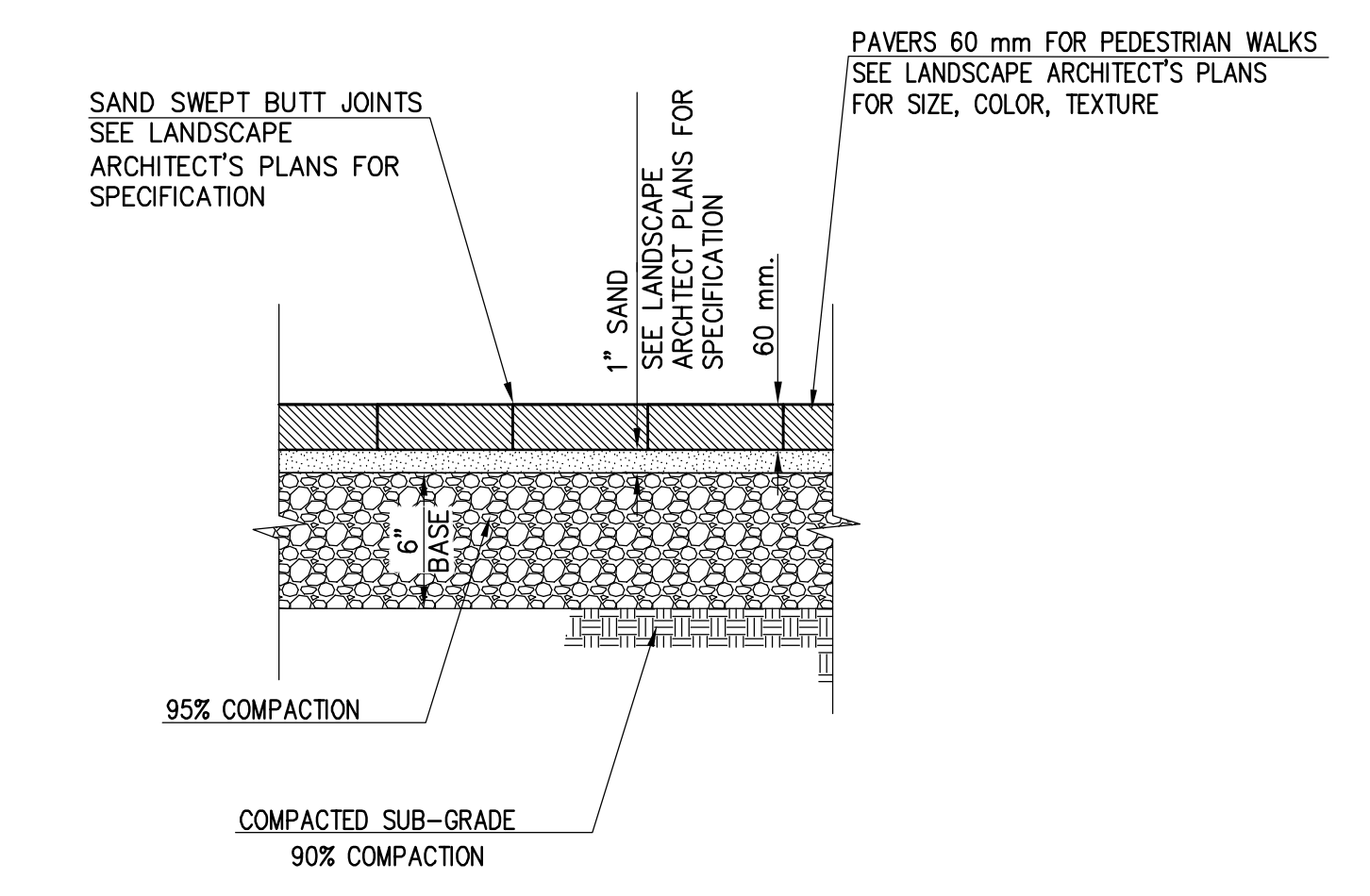
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PAVERS EDGE AT PLANTER (A)
NOT TO SCALE



12" NDS DRAIN (B)
NOT TO SCALE



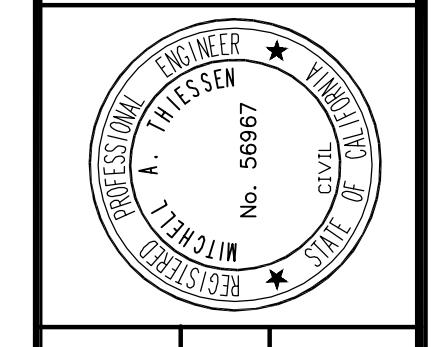
TYPICAL PAVER SIDEWALK SECTION (C)
NOT TO SCALE

NO.	DATE	REVISIONS
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JOB NO: 2042464500 DATE APPROVED: DATE PRINTED:	DEVELOPER: IRVINE COMPANY 101 INNOVATION IRVINE, CA 92618 CONTACT: BOB LISLE	SOILS ENGINEER: IMG GEOTECHNICAL 1946 FLORENCE IRVINE, CALIFORNIA 92614 (949) 442-2442
--	---	---

Stantec
 88 FINE CLOVER DRIVE, SUITE 100
 IRVINE, CA 92618
 949.973.6000
 stantec.com

PREPARED BY:
 MITCHELL A. THESSSEN
 R.C.E. 56867



NEWPORT COAST SHOPPING CENTER
 21133 NEWPORT COAST DRIVE
 DETAILS
CITY OF NEWPORT BEACH
 COMMUNITY DEVELOPMENT DEPARTMENT

PLAN CHECK NO.	
PERMIT NO.	
SHEET OF	6 / 6

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

Construction Materials and Finish Schedule

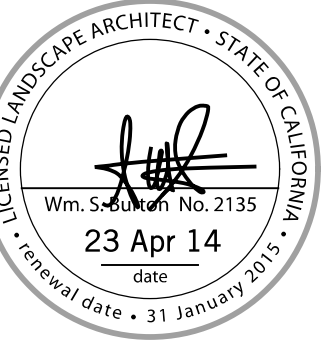
Symbol	Item	Description, Color And Finish	Detail/Sheet
A	Interlocking Concrete Paving	Single soldier course band - 4" x 8" Holland paver (80mm) Color: *Dusk/Canyon Brown Blend* Available through Orco Block, 800 655 6726 *Contractor to confirm color and finish matches existing prior to installation	Refer to: Civil Engineer's documents
B	Interlocking Concrete Paving	Single soldier course radial pattern - 4" x 8" Holland paver (80mm) Color: *Dusk/Canyon Brown Blend* Available through Orco Block, 800 655 6726 *Contractor to confirm color and finish matches existing prior to installation	Refer to: Civil Engineer's documents
C	Concrete Paving	Integral color concrete Color: L.M. Scofield 6063 'Winter Beige' Finish: Light sandblast	Refer to: A / LC-5.01 and Civil Engineer's documents
D	Tubular Steel & Glass Panel Windscreen	Glass - 1/2" PPG® Starphire - tempered Tubular Steel - Color / Finish: Tiger Drylac #238/60030 Integral Color Concrete Base - Color: Thatched Cottage Finish: Light Sandblast	Refer to: L / LC-5.01 and Civil Engineer's documents

Construction Key Notes

Symbol	Description	Detail/Sheet
1	Interlocking Concrete Paving	Refer to: H / LC-5.01 and Civil Engineer's documents
2	Tubular Steel & Glass Panel Windscreen	L / LC-5.01
3	Wood Trellis	Similar to existing
4	Existing Paving to Remain	Contractor to protect in place
5	Existing Wall to Remain	Contractor to protect in place
6	Existing Fountain to Remain	Contractor to protect in place
7	Custom Fireplace	J / LC-5.01
8	Concrete Paving	A / LC-5.01
9	Hand-Tooled Joint	B / LC-5.01
10	Expansion Joint	C / LC-5.01

Construction Legend

Symbol	Description
CL	Centerline
EQ	Equal
PA	Planting Area
EPA	Existing Planting Area
POB	Point of Beginning
PCR	Point of Curb Return
PT	Point of Tangency
PL	Property Line
---	Approximate line of Interface Between Existing and New Paving
∩	Align with Adjacent Surface
⊥	Align Perpendicular
---	Expansion Joint with Sealant



**Newport Coast
Retail Corner
Courtyard Patios**

Landscape
Improvement Plans

Project Location:
Newport Beach Ca

Client:
Irvine Company

Date | Revision
23 Apr 14 | Progress DD
18 Jun 14 | Owner Review

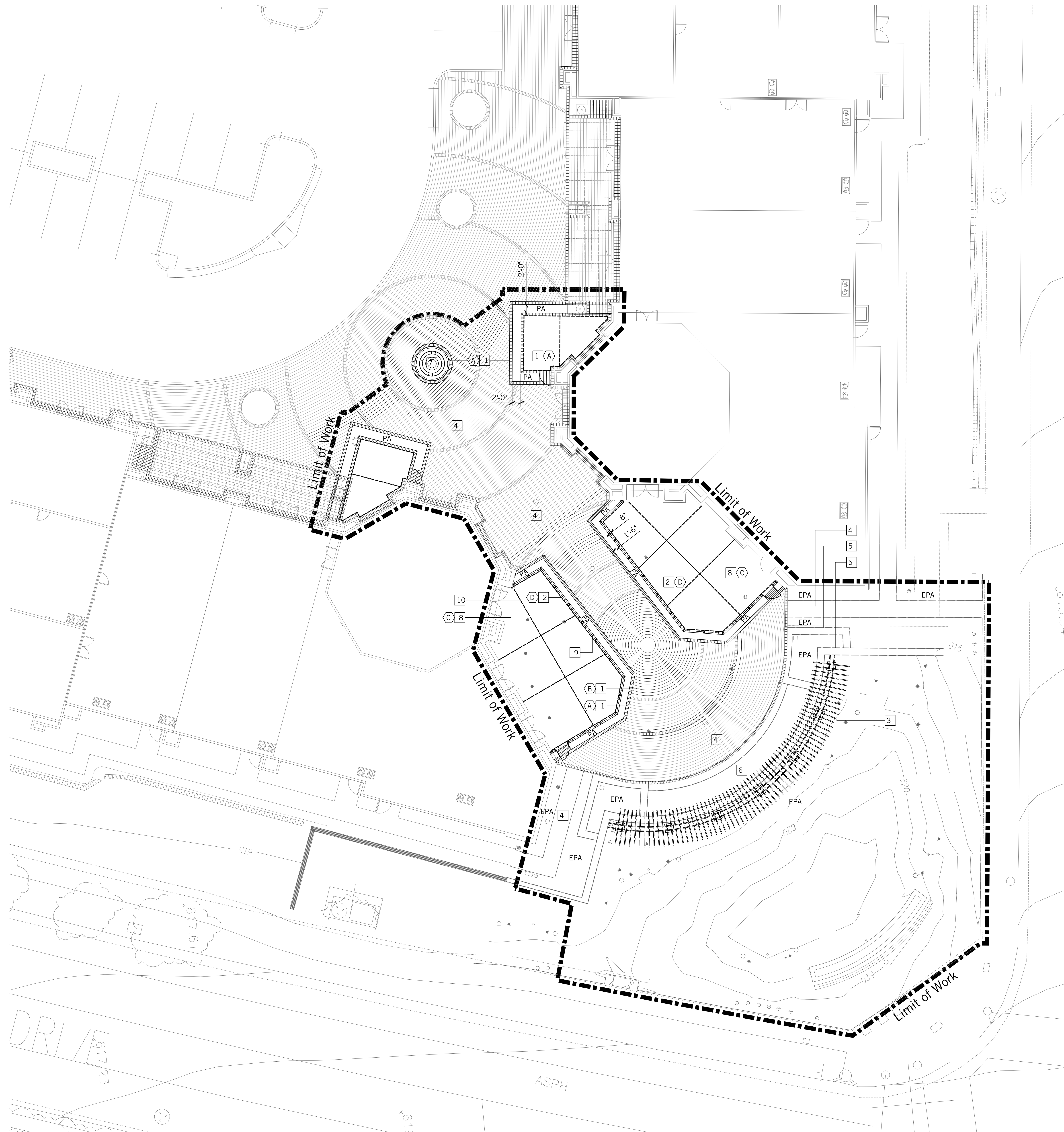
Scale No Scale
Project 12.088

Landscape Construction
Notes & Legends

Sheet

LC-0.01

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERETO REMAINS IN THE LANDSCAPE ARCHITECTS USE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

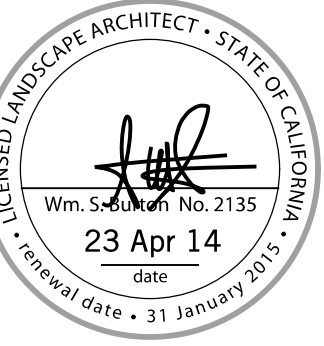


Construction Legend

Symbol	Description
CL	Centerline
EQ	Equal
PA	Planting Area
POB	Point of Beginning
PCR	Point of Curb Return
PT	Point of Tangency
PL	Property Line
R	Radius
	Align with Adjacent Surface
	Align Perpendicular
	Expansion Joint
	Expansion Joint with Sealant
	Score Joint

Construction Key Notes

Symbol	Description	Detail/Sheet
1	Interlocking Concrete Paving	Refer to: H / LC-5.01 and Civil Engineer's documents
2	Tubular Steel & Glass Panel Windscreen	L / LC-5.01
3	Wood Trellis	Similar to existing
4	Existing Paving to Remain	Contractor to protect in place
5	Existing Wall to Remain	Contractor to protect in place
6	Existing Fountain to Remain	Contractor to protect in place
7	Custom Fireplace	J / LC-5.01
8	Concrete Paving	A / LC-5.01
9	Hand-Tooled Joint	B / LC-5.01
10	Expansion Joint	C / LC-5.01



**Newport Coast
Retail Corner
Courtyard Patios**
Landscape
Improvement Plans

Project Location:
Newport Beach Ca
Client:
Irvine Company

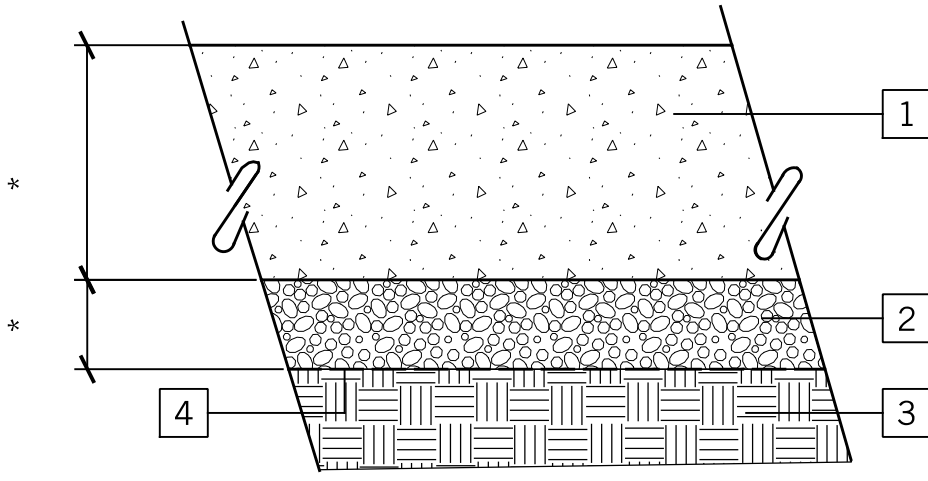
Date | Revision
23 Apr 14 | Progress DD
18 Jun 14 | Owner Review

Scale 1" = 10'-0"
Project 12.088

Landscape Construction
Plan

Sheet
LC-1.01

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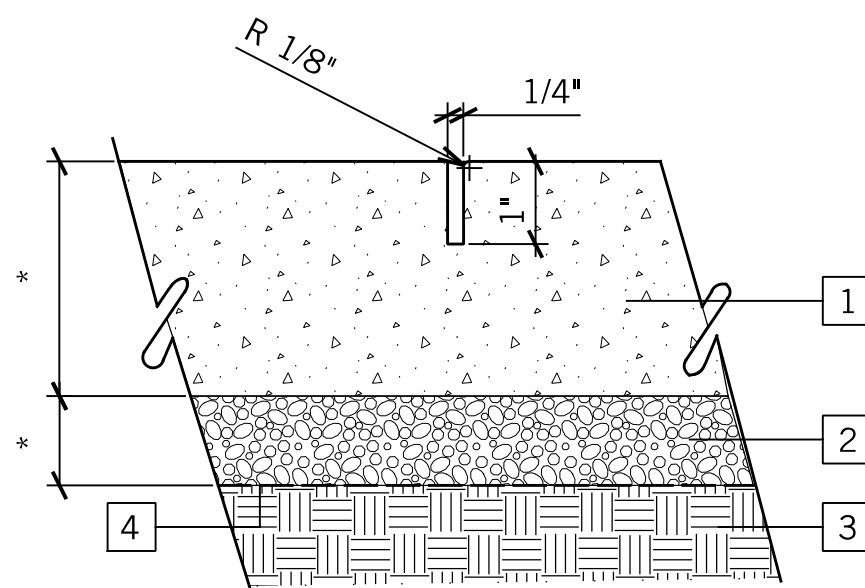


- Notes
- 1 Concrete paving - Refer to: Construction Materials and Finish Schedule
 - 2 Compacted sub-base, if required - Refer to: Landscape Specifications
Refer to: Geotechnical Engineer's documents
 - 3 Compacted subgrade
Refer to: Geotechnical Engineer's documents
 - 4 Geotextile fabric - Refer to: Landscape Specifications
* Refer to: Geotechnical Engineer's documents for depth and reinforcement recommendations

Concrete Paving

Scale: 1"=1'-0"

A

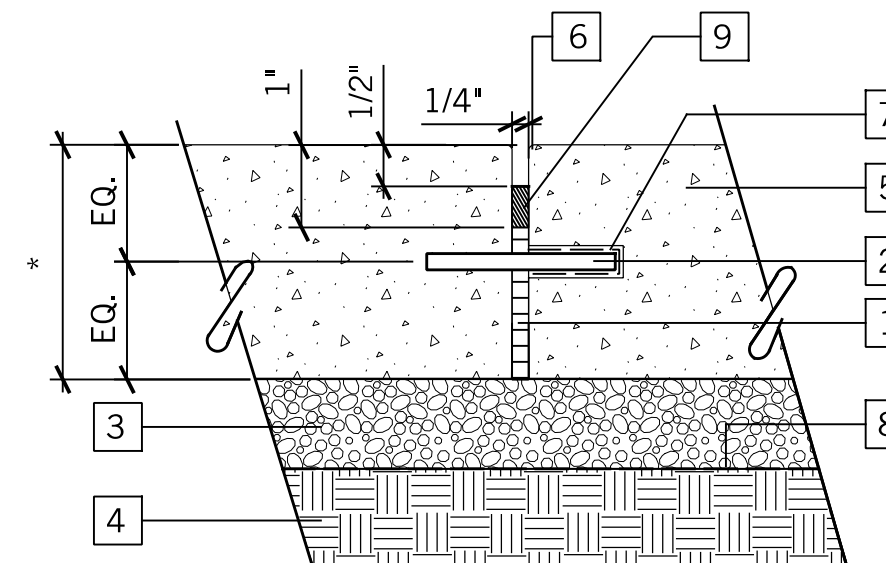


- Notes
- 1 Concrete Paving - Refer to: Construction Materials and Finish Schedule
 - 2 Compacted sub-base, if required - Refer to: Geotechnical Engineer's documents
 - 3 Compacted subgrade - Refer to: Geotechnical Engineer's documents
 - 4 Geotextile fabric - Refer to: Landscape Specifications
* Refer to: Geotechnical Engineer's documents for depth and reinforcement recommendations

Hand-Tooled Joint

Scale: nts

B



- Notes
- 1 Expansion joint filler - Refer to: Landscape Specifications
 - 2 Dowel - Refer to: Landscape Specifications
 - 3 Compacted sub-base
Refer to: Geotechnical Engineer's documents
 - 4 Compacted subgrade - Refer to: Geotechnical Engineer's documents
 - 5 Concrete paving - Refer to: Construction Materials and Finish Schedule
 - 6 1/8" Hand-tooled radius
 - 7 Sleeve one side center in slab - speed dowel system
 - 8 Geotextile fabric - Refer to: Landscape Specifications
 - 9 Joint sealant - Refer to: Landscape Specifications
Refer to: Geotechnical Engineer's documents for depth and reinforcement recommendations

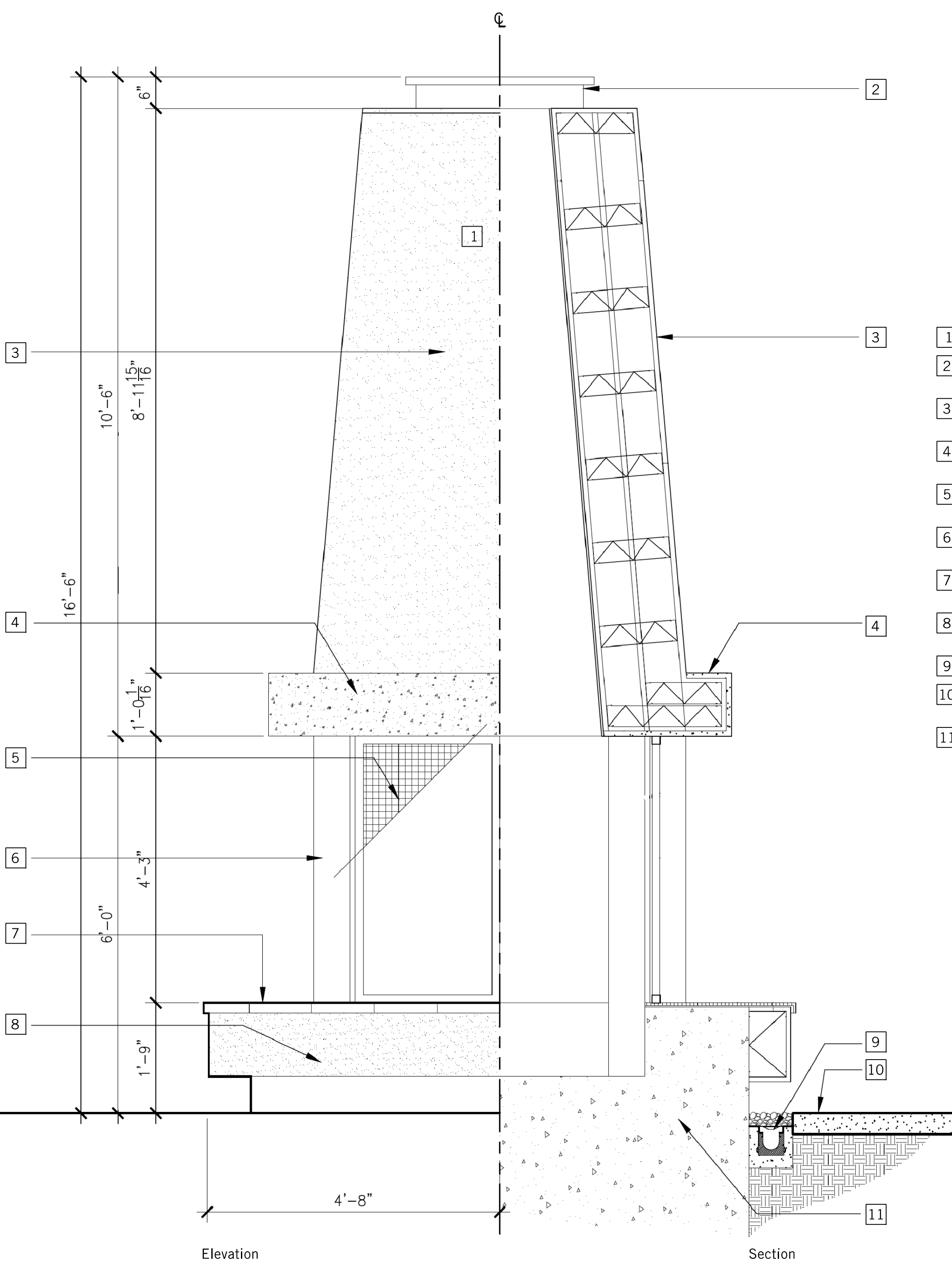
Expansion Joint

Scale: nts

C

Not Assigned

D



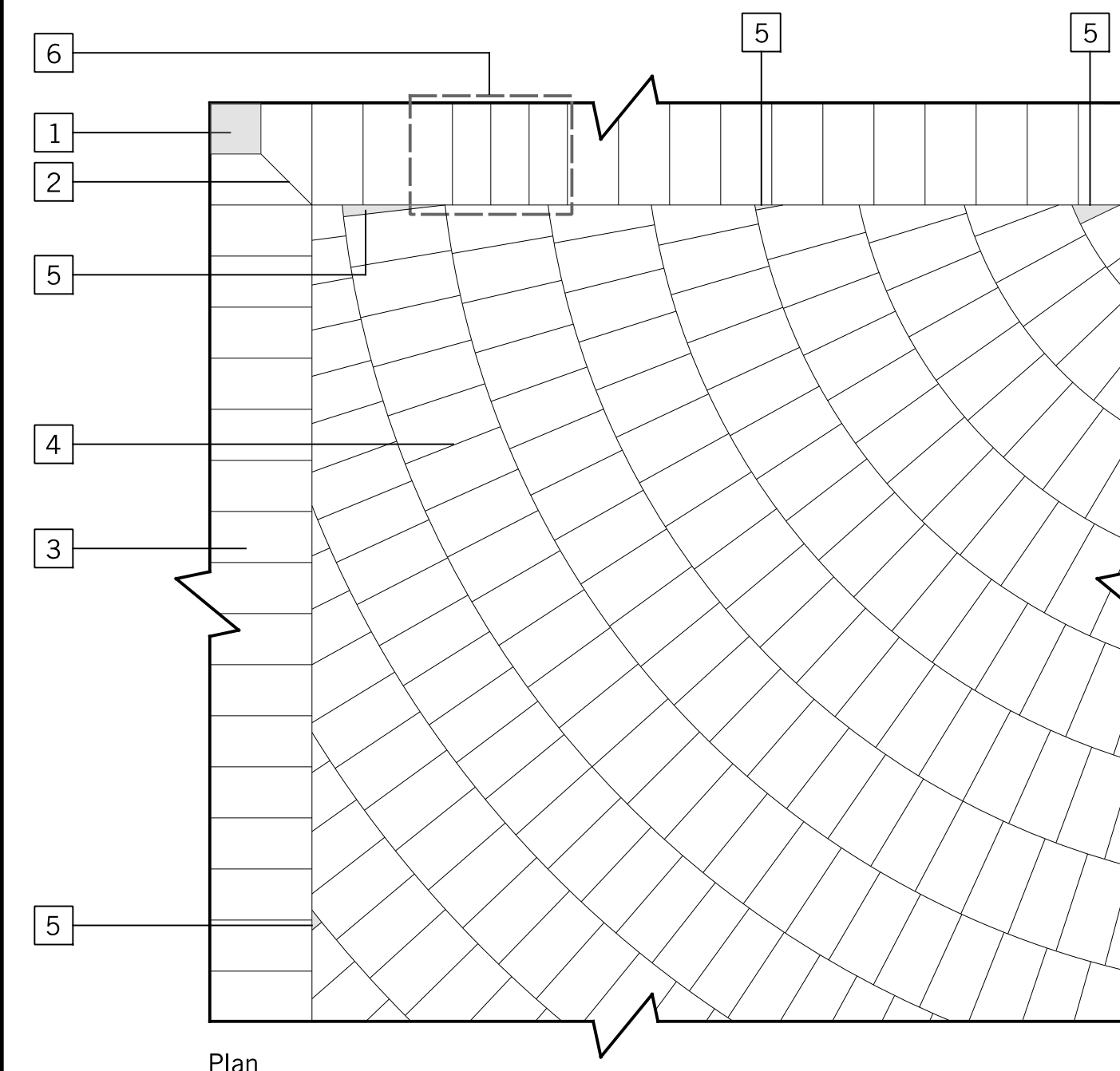
- Notes:
- 1 Custom fabricated fireplace
 - 2 Custom metal cap
Color / Finish: TBD
 - 3 Trowelled cement
Color / Finish: TBD
 - 4 Custom precast concrete lintel
Color / Finish: TBD
 - 5 Metal mesh/screen
Color / Finish: TBD
 - 6 Steel framing and surround
Color / Finish: TBD
 - 7 Custom precast concrete hearth
Color / Finish: TBD
 - 8 Trowelled cement base
Color / Finish: TBD
 - 9 Trench drain if required
 - 10 Finish surface paving
Refer to: Construction Materials and Finish Schedule
 - 11 Concrete footing and reinforcement
Refer to: Structural Engineer's documents

- Additional Notes:
1. Contractor to provide shop drawings for review / approval prior to fabrication
 2. All gas connections by installing Contractor

Custom Fireplace

Scale: 3/4"=1'-0"

J

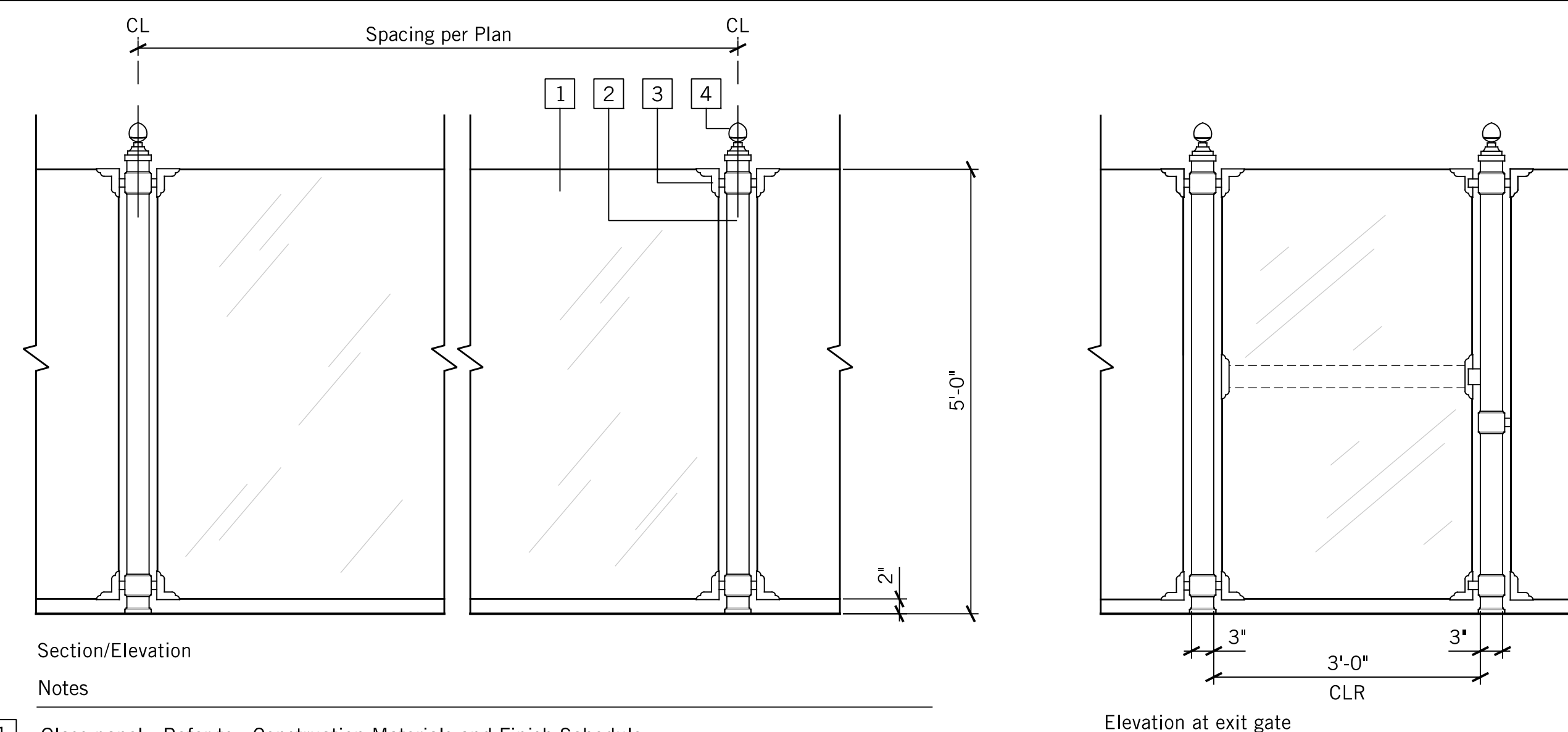


- Notes:
- 1 4" X 8" Concrete paver band in single soldier course - Refer to: Construction Materials and Finish Schedule (Shall be full 4" x 4" paver)
 - 2 4" X 8" Concrete paver band in single radial course - Refer to: Construction Materials and Finish Schedule (Acceptable mitre joint location)
 - 3 4" X 8" Concrete paver band in single soldier course - Refer to: Construction Materials and Finish Schedule (Locate / make-up cut pavers in the middle of band along planter, side of walk, etc.)
 - 4 4" X 8" Concrete paver field, radial pattern
Refer to: Construction Materials and Finish Schedule
 - 5 4" x 8" Concrete paver field, no sliver pieces shall be less than 2" dimension on any side
Replace sub-standard pieces by adjusting pattern of adjacent pavers
Correct to replace pieces that are less than 2" in any dimension
 - 6 3 to 4 Pavers cut to spread undersized module
Pavers cut to +/- 3" wide
- Additional Notes:
1. All pavers in radial patterns shall be cut equally to accept radius shown on drawings

Typical Paver Layout

Scale: 1"=1'-0"

H



- Section/Elevation Notes
- 1 Glass panel - Refer to: Construction Materials and Finish Schedule
 - 2 3" square steel tube, painted - Refer to: Construction Materials and Finish Schedule
 - 3 Metal mounting brackets at corners, painted - Refer to: Construction Materials and Finish Schedule
 - 4 Decorative metal ball and base, painted - Refer to: Construction Materials and Finish Schedule

- Additional notes
1. Contractor to provide shop drawings for review / approval prior to fabrication
 2. All welds to be continuous

Custom Windscreen

Scale: 3/4"=1'-0"

L



Newport Coast Retail Corner Courtyard Patios

Landscape Improvement Plans

Project Location:
Newport Beach Ca
Client:
Irvine Company

Date | Revision
23 Apr 14 | Progress DD
18 Jun 14 | Owner Review

Scale No Scale
Project 12.088

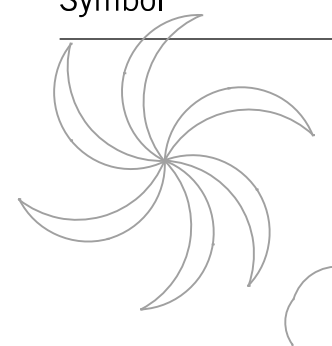

Landscape Construction Details

Sheet
LC-5.01

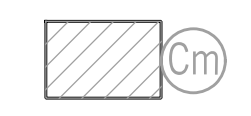
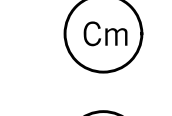
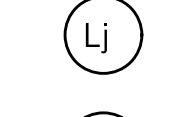

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Plant Legend


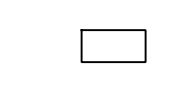
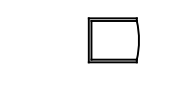
Trees

Symbol	Botanical name	Common Name	Size	Quantity
	Existing Palm to Remain			
	Existing Tree to Remain			

Shrubs, Perennials, and Annuals

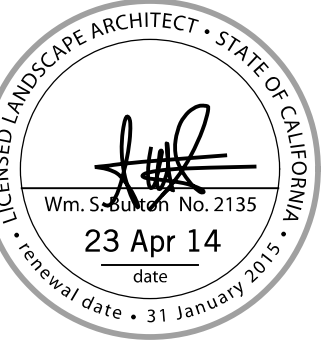
Symbol	Spacing	Botanical name	Common Name	Size	Quantity
		Existing shrub to remain			
	2'-6" OC	Carissa m. 'Tuttle'	Natal Plum	5 gal	46
	2'-0" OC	Ligustrum j. 'Texanum' - shrub	Wax-leaf Privet	15 gal	84
	2'-6" OC	Rosa spp. Flower Carpet' - shrub	White Carpet Rose	5 gal	755

Pot / Amenity Legend

Symbol	Description	Material	Quantity
	Double Rim' FGDR2-45 (Terra Cotta) Pot Available thru: Architectural Pottery 714.895.3359	(3) 15 Gallon Strelitzia reginae w/ (8) 1 Gallon Mandevillea splendens 'Faire Lady' TYP each pot	2
	Coffee Table - Relocated		3
	Lounge Chair - Relocated		12
			2

Notes

- All plant material 1 gallon and larger excluding palms to be supplied by D.L.Cunningham, Inc. (Attn: Rob Cunningham 949.261.7191)
- Pots are not to receive irrigation
- All pots to receive 'Antique Finish' by Andrew Doubroff 310.283.6095
Pots to be set in place and prior to installation of plant material, 'Antique Finish' will be applied



Newport Coast Retail Corner Courtyard Patios

Landscape Improvement Plans

Project Location:
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Scale No Scale
Project 12.088

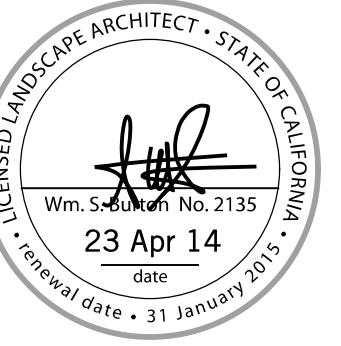
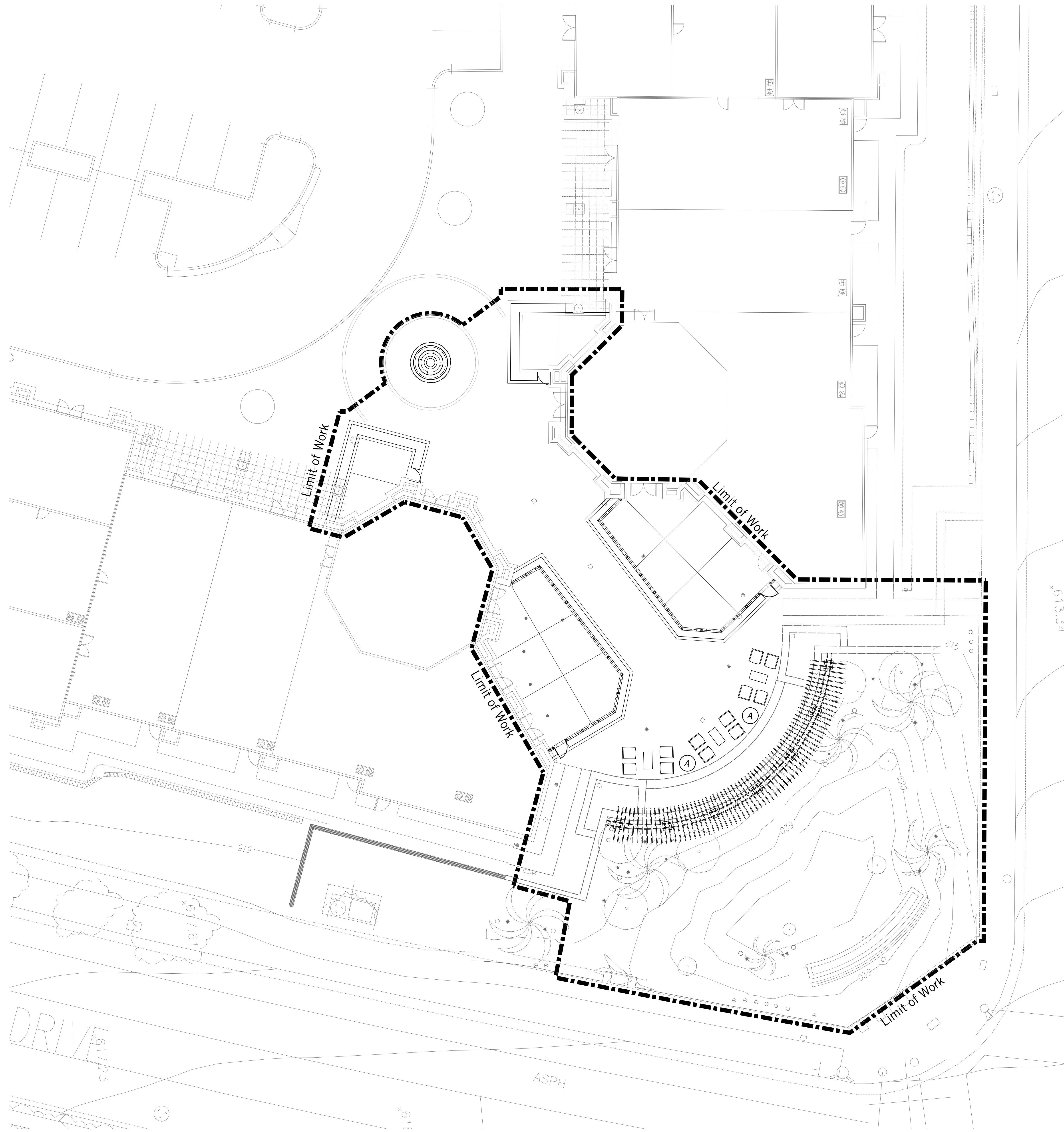
Landscape Planting
Notes & Legends

Sheet

LP-0.01

Note:
Total irrigated area shown on these drawings is 13,700 s.f. (.31 acres)
All landscape and irrigated areas shown on these drawings
are to be privately maintained.

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**Newport Coast
Retail Corner
Courtyard Patios**

Landscape
Improvement Plans

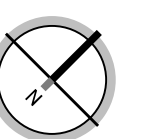
Project Location:
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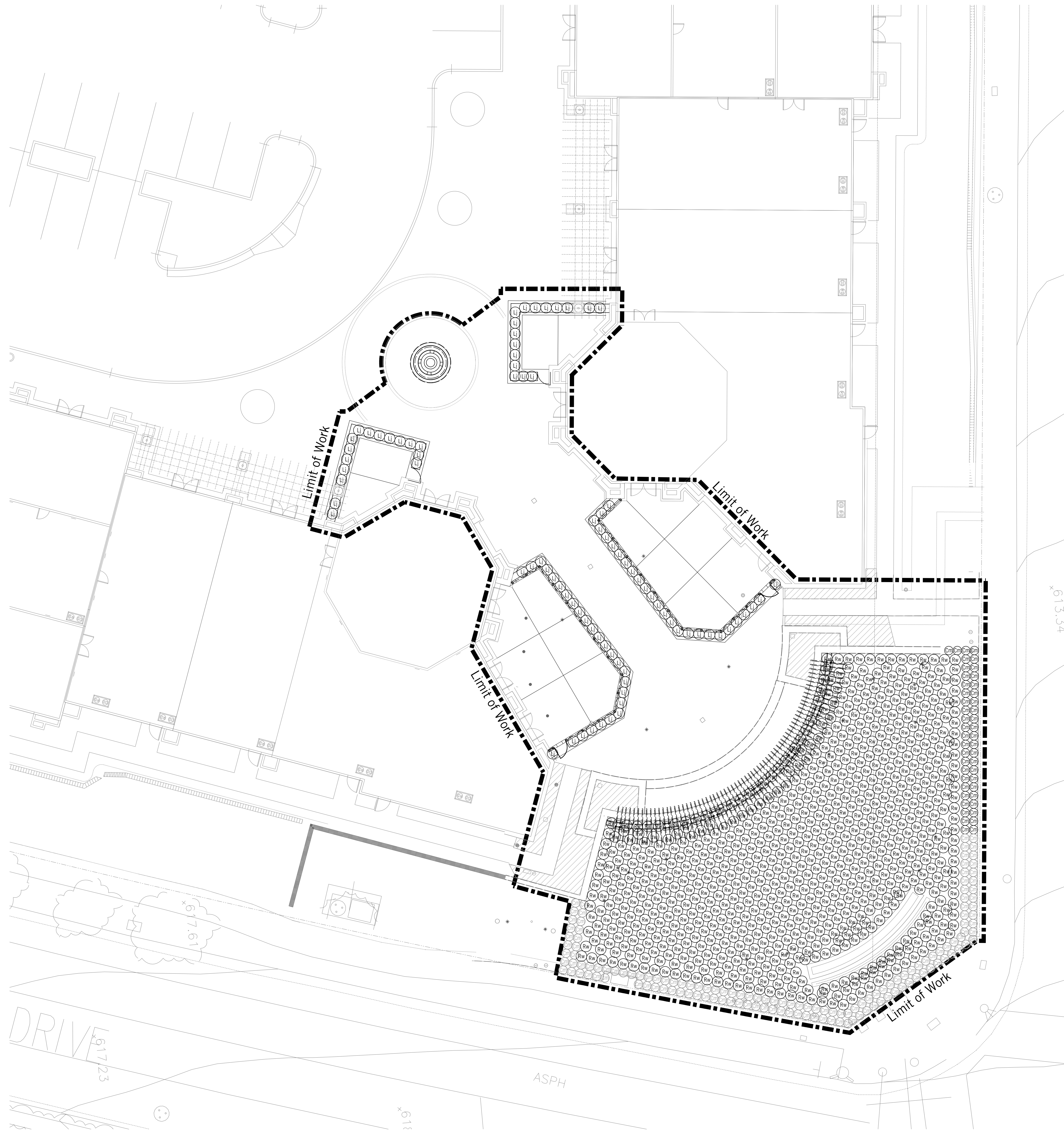
Scale 1" = 10'-0"
Project 12.088

Landscape Planting Plan
Tree and Vine

Sheet

LPT-1.01

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**Newport Coast
Retail Corner
Courtyard Patios**

Landscape
Improvement Plans

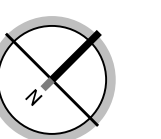
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Scale 1" = 10'-0"
Project 12.088

Landscape Planting Plan
Shrub and Groundcover

Sheet

LPS-1.01

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Not Assigned

A

Not Assigned

B

Not Assigned

C

Not Assigned

D

Not Assigned

E

Not Assigned

F

Not Assigned

G

Not Assigned

H

Not Assigned

I

Shrub Planting

Scale: 3/4"=1'-0"

J

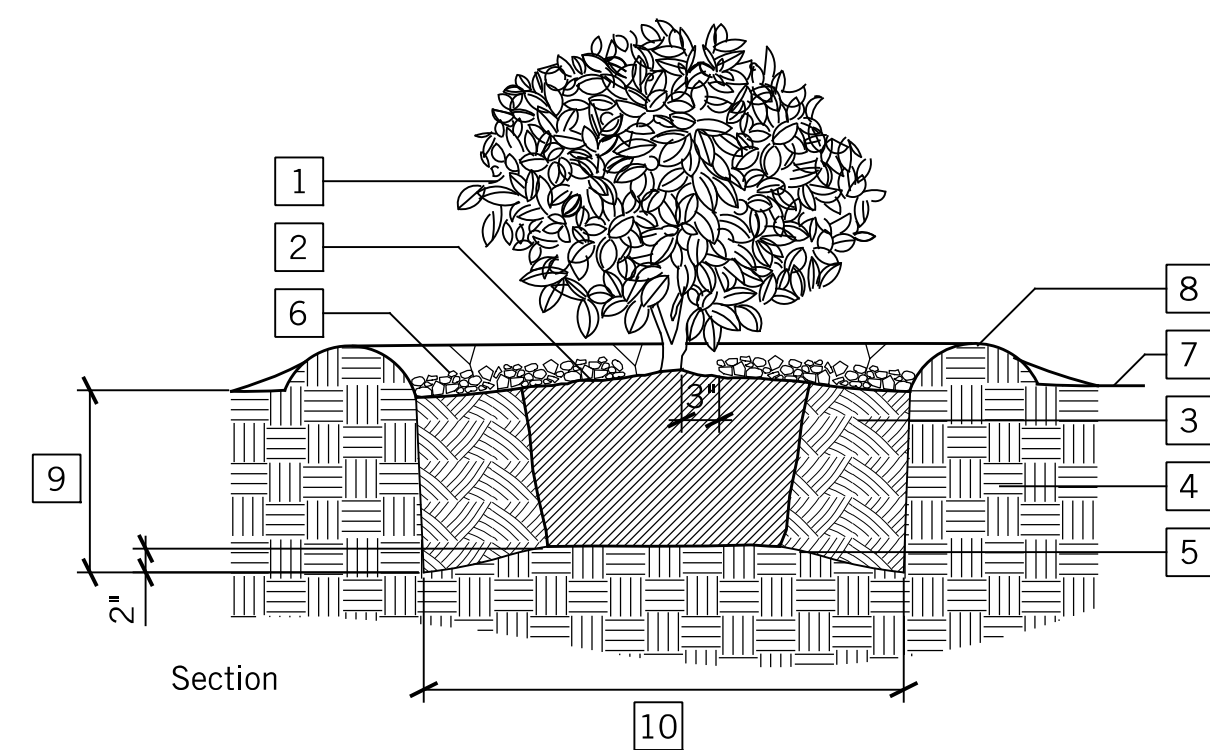
Pot Planting

Scale: 3/4"=1'-0"

K

Not Assigned

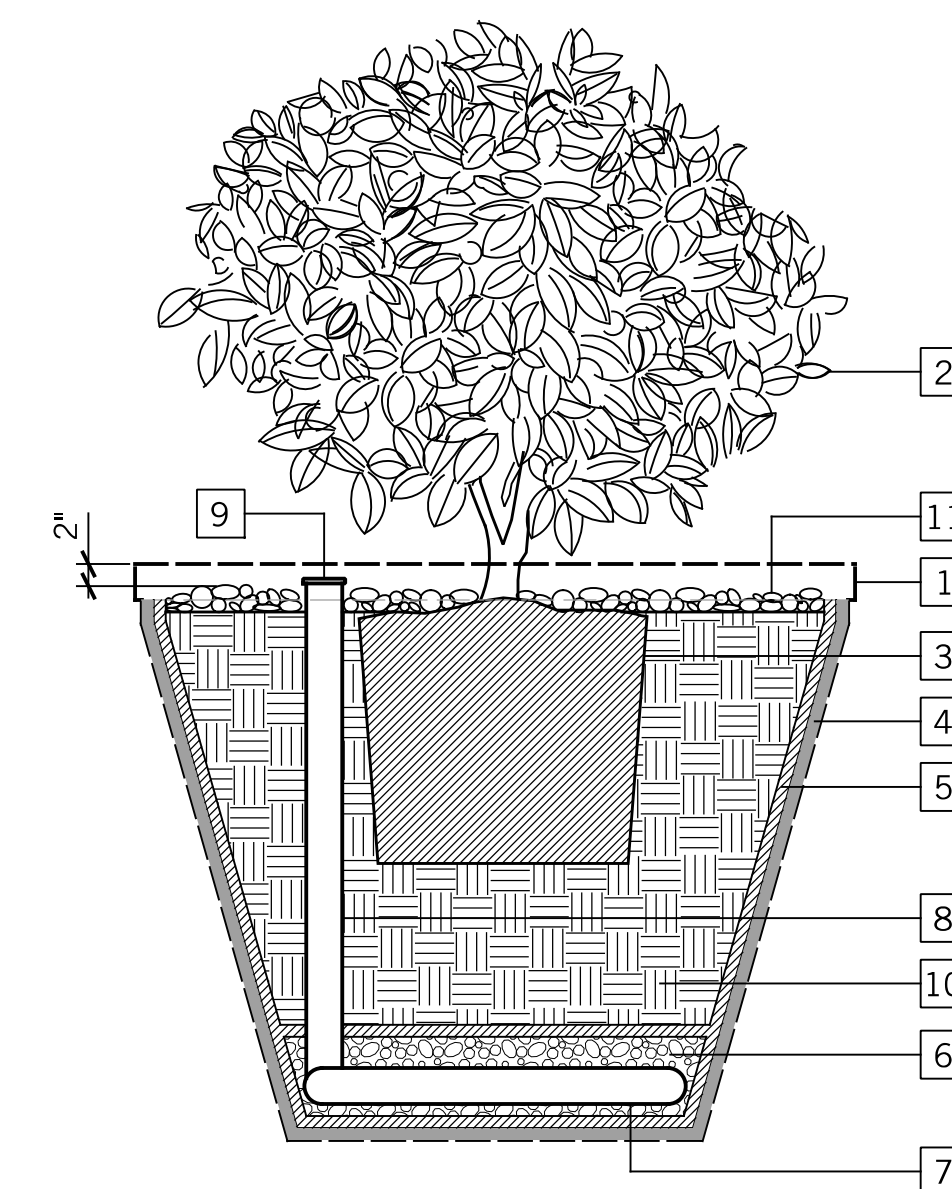
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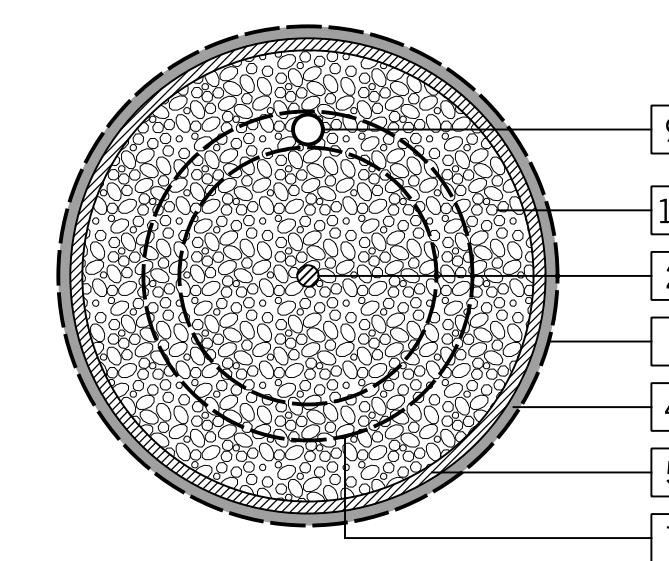
Section

Notes

- 1 Shrub - Refer to: Landscape Shrub Plans
- 2 Set top of rootball crown 1" above finished grade
- 3 Amended backfill mix - Refer to: Landscape Specifications
- 4 Native subgrade
- 5 Place rootball on native subgrade - Refer to: Landscape Specifications
- 6 Mulch layer - Refer to: Landscape Specifications for depth, keep mulch 3" away from base of shrubs 5 gal. and smaller
- 7 Finished grade - Refer to: Civil Engineer's documents
- 8 Watering basin, 4" min. height, 12" wider than rootball diameter
- 9 Container depth (12" min. for liners)
- 10 Width equals twice the container diameter (12" min. for liners)



Section



Plan View (N.T.S.)

Notes

- 1 Pot
- 2 Shrub - Refer to: Pot Legend, LP-0.01
- 3 Shrub rootball - set crown 1" above finished grade
- 4 Waterproofing of interior pot surfaces
Refer to: Landscape Specifications
- 5 Filter fabric
Refer to: Landscape Specifications
- 6 Drainage fill
Refer to: Landscape Specifications
- 7 3" dia. perforated drainage pipe
Refer to: Landscape Specifications
- 8 3" dia. drainage pipe inspection tube
Refer to: Landscape Specifications
- 9 3" dia. black flat drain grate - top of grate to be 2" above finished grade. Not to be used for surface drainage
- 10 Planting mix
Refer to: Landscape Specifications
- 11 2" layer of decorative gravel
Refer to: Construction Materials and Finish Schedule

