



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: Seimone Jurjis, Community Development Director
SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending July 2, 2021.

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS**
(Non-Hearing Items)

Item 1: Carden Hall Modular Classroom Staff Approval No. SA2021-005 (PA2021-118)
Site Address: 1541 Monrovia Avenue

Action: Approved

Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

**COMMUNITY DEVELOPMENT DIRECTOR ACTION
LETTER**

Subject: Carden Hall Modular Classroom (PA2021-118)
• Staff Approval No. SA2021-005

Site Location 1541 Monrovia Avenue

Applicant Gorgano Builders

Legal Description Lot 1014, First Addition of Newport Mesa Tract Map

On **July 2, 2021**, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of one new 2,160-square-foot modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to Americans with Disabilities Act of 1990 (ADA) parking and paths of travel are included in the scope of work as well. This approval is based on the following findings and subject to the following conditions.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Private Institutions (PI)
- **Zoning District:** Private Institutions (PI)

PROJECT SUMMARY

The applicant proposes to install one new 2,160-square-foot modular classroom building to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to the existing parking lot include one new ADA parking stall, and paths of travel.

BACKGROUND

On February 16, 1961, the Planning Commission approved Use Permit No. UP0712 to allow the construction of a 250-foot radio tower on the subject property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as school. The building was designed as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code (NBMC). The building contained all requirements for a manufacturing facility as well as those required for a school. This use permit was subsequently amended

by the Planning Commission on May 21, 1970, to extend the development of overall land usage of the total 5 acres, which provided for the new facilities and future growth of the school.

I. FINDINGS

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The project is located in the Private Institutions (PI) Zoning District. The Private Institutions Zoning District is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and other comparable facilities. The proposed modular classroom is for a private institutional use that serves the students and faculty attending the school. The proposed modular classroom, ADA parking improvements, paths of travel, and increase of student enrollment are consistent with the purpose and intent of the Private Institutions zone.

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. There were no specific facts, findings, mitigation measures or conditions that would preclude the proposed improvements to the use.

3. The Class 1 exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use including additions to existing structures provided that the addition will not result in more than 2,500 square feet or 10,000 square feet in areas where all public services and facilities are available.. In this case, the proposed 2,160-square-foot modular classroom, ADA parking, paths of travel improvements, and an increase in enrollment of up to 57 students are consistent with this exemption.
4. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed improvements which include a modular classroom, ADA parking, paths of travel improvements, and increase of student enrollment to the existing private school do not involve a feature that was specifically addressed or was the subject of a condition of approval for Use Permit No. UP0712, Use Permit No. UP1137, and subsequent amendment (Use Permit No. UP1137A).
2. The proposed modular classroom and increase of student enrollment is in accordance with the amendment of Use Permit No. UP1137, which discusses the need of facilities for the future growth of the school. The conditions of approval and project description do not place a limit on enrollment.
3. All necessary parking is provided on-site so there will be no spillover onto public streets. The approved Use Permits do not specify a parking rate or required number of spaces for the school use as specified by the Zoning Code. The Zoning Code identifies a related parking rate of one space per seven students for a day care general use, which provides similar operational characteristics for school-age children that do not drive and are dropped off. The proposed student enrollment of 435 students will accommodate 62 parking spaces on-site. There are currently 72 parking spaces provided on-site.
4. Condition No. 1 of UP1137 and UP1137A requires the parking area and motor court to be used for discharging and pickup of all students. The site will continue to provide

adequate circulation and drop off areas where vehicles enter through the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

5. The addition of one new ADA parking stall and proposed paths of travel provided on-site are consistent with Use Permit No. UP1137 and its subsequent amendment.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The Private School proposes an increase in student enrollment, modular classroom, ADA parking, and path of travel improvements, which will not substantially modify the existing school layout or current operational characteristics.
2. All other school structures and operations will continue as authorized Use Permit No. UP1137 and its subsequent amendment. The school provides K-8 educational programming within the main building. The parking layout and drop-off will continue as authorized under current operations. The proposed modular classroom will provide a dedicated classroom space for a Kindergarten program with more direct access to required play areas.

II. CONDITIONS

All previous findings and conditions of Use Permit No. 0712, Use Permit No. UP1137, and amendment to Use Permit No. UP1137A shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

PLANNING DIVISION

1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
5. A building permit shall be obtained prior to commencement of the construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.
7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
8. This Staff Approval No. SA2021-005 (PA2021-118) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Carden Hall Modular Classroom** including, but not limited to, **Staff Approval No. SA2021-005 (PA2021-118)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

PUBLIC WORKS DEPARTMENT

10. County Sanitation District fees shall be paid prior to the issuance of any building permits.

BUILDING DIVISION

11. Prior to the issuance of building permits, the project plans shall provide state approvals of modular classroom for “E” occupancy.
12. Prior to the issuance of building permits, state approved C.P. seismic piers shall be listed and labeled by BSK Associates on the project plans.
13. Prior to the issuance of building permits, if plans are not state approved, a one (1) hour fire rated corridor shall be required for “E” occupancy greater than ten (10) occupants in non-sprinkler building.
14. Prior to the issuance of building permits, if plans are not state approved, the project plans shall show Office 104 exit access. Exit access shall not pass through a room that can be locked to prevent egress.
15. Prior to the issuance of building permits, if plans are not state approved, the project plans shall provide a minimum 48-inch-wide corridor shall be required for side approach to doors equipped with both latch and closer.
16. Prior to the issuance of building permits, if plans are not state approved, the project plans shall show that restroom door is equipped with both latch and closer.
17. Prior to the issuance of building permits, if plans are not state approved, the project plans shall provide a 5-foot diameter turn around at the end of the corridor in front of Office 104.
18. Prior to the issuance of building permits, the project plans shall provide an accessible ramp to access each classroom.
19. The applicant shall employ the following best available control measures (“BACMs”) to reduce construction-related air quality impacts:

Dust Control

 - Water all active construction areas at least twice daily.
 - Cover all haul trucks or maintain at least two feet of freeboard.
 - Pave or apply water four times daily to all unpaved parking or staging areas.
 - Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
 - Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
 - Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

Off-Site Impacts

- Encourage carpooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.

20. A list of “good housekeeping” practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

FIRE DEPARTMENT

21. An automatic fire alarm system shall be provided in new buildings of private schools. (2019 California Fire Code 907.2.3.8).
22. Fire extinguishers shall be provided and placed according to Chapter 9 of the 2019 California Fire Code. Prior to the issuance of building permits, identify locations of fire extinguishers on plans.
23. Materials for interior wall and ceiling finish shall meet the requirements of Table 803.3 in the 2019 California Fire Code.
24. All interior materials shall meet the requirements of Chapter 8 of the 2019 California Fire Code.
25. Prior to the issuance of building permits, the project plans shall identify Fire Department access, all fire lanes, and hydrant locations.

26. Plans shall identify a safe dispersal area. Safe dispersal area shall be based on 3 square feet per occupant. Safe dispersal areas shall not be less than 50 feet from school buildings. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.3)
27. All buildings housing Group E occupancies shall front directly to a public street or an exit discharge not less than 20 Feet in width. Plans shall identify exit discharge area. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.1).

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Seimone Jurjis, Community Development Director,

Prepared by:



Afshin Atapour
Planning Technician

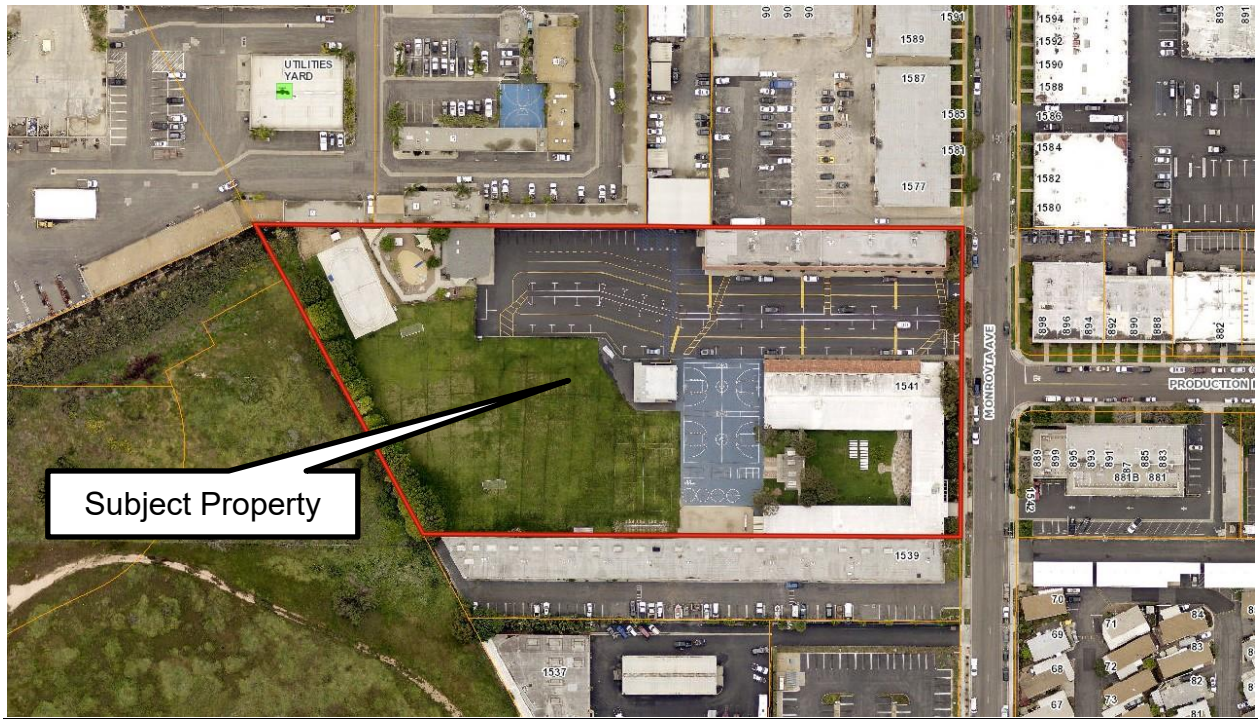
MKN/aa

Attachments: CD 1 Vicinity Map
CD 2 UP0712, UP1137, and UP1137A
CD 3 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval No. SA2021-005
(PA2021-118)

1541 Monrovia Avenue

Attachment No. CD 2

UP0712, UP1137, and UP1137A

IF APPROVED, NOT EFFECTIVE
UNTIL 15 DAYS AFTER DATE
OF APPROVAL

USE PERMIT APPLICATION
Ord. No. 635
CITY OF NEWPORT BEACH

NO. 712
DATE

INSTRUCTIONS: (Read Carefully.) The applicant or his legal representative must be present at all public hearings. Fill out this application completely. It must be accompanied by four copies of a plot plan to scale, and with correct dimensions, showing in detail all boundaries, existing buildings, proposed alterations and additions. The applicant must sign conditions of Use Permit, if any, within thirty days after approval. Application shall be revoked if not used within eighteen months from date of approval.

1. NEWPORT-COSTA MESA BROADCASTING, Inc. 971 - 16th Street, Newport Beach
Applicant Address Involved
2. LOT Por. 1014 BLOCK _____ SECTION _____ TRACT 1st Addn. to Newport ZONE R-1
~~XXXX~~ Mesa
3. DATE OF HEARING February 16, 1961 TIME 8:00 P.M.
4. Application is hereby made for a Use Permit from Section 9105.2(a) to permit:
Construction of a radio tower 250' in height in an R-1 District.

There are _____ sheets attached to and made a part of this application. I hereby certify that the foregoing statements, maps, drawings, plans and specifications attached hereto are true and correct. If approved this Use Permit will not adversely affect persons residing or working in the neighborhood. I further consent to any permit issued in reliance thereon being null and void in the event they are not true and correct.

NEWPORT-COSTA MESA BROADCASTING INC.
James D. Higson ' 1418 W. BAY AVE. OR 3-1232
Signature of Owner or Applicant Home Address NPT. SCH. Phone

FOR DEPARTMENTAL USE ONLY PLANNING COMMISSION ACTION
In accord with Section 9105.2(a) a Use Permit is hereby GRANTED the above applicant subject to requirements of all governmental agencies having jurisdiction and subject to the following:

The subject property to be rezoned from an R-1 to an M-1-A District.

The undersigned hereby agrees to all the above conditions.

James D. Higson
Signature of Grantee

FINDINGS OF PLANNING COMMISSION: Upon a review of the evidence on file and testimony presented at the meeting the Commission found and determined that, under the circumstances of the particular case, a radio tower at this location would not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood and recommended approval, subject to the above condition.

~~XXXXXX~~
APPROVED- By City Planning Commission
on the 16 day of February 19 61.

DENIED-
APPROVED- By the City Council on the
_____ day of _____ 19 _____

Ray Y. Copelin
Ray Y. Copelin, Secretary
Newport Beach City Planning Commission

Margery Schrouder
Margery Schrouder, City Clerk
Newport Beach, California

Use Permit # 712

GITY OF NEWPORT BEACH

CITY ATTORNEY
DEPARTMENT

February 15, 1961

To: City Clerk
From: City Attorney
Subject: License agreement with Newport - Costa Mesa
Broadcasting, Inc.

Attached are the original and four copies of the subject license agreement, execution of which was authorized February 14, 1961, by City Council Resolution No. 5363. All but one copy are complete with the Exhibit "A" attached.

This agreement provides for payment of the first quarterly installment upon execution of the agreement, with the subsequent quarterly payments being due and payable on or before the first day of each subsequent June, September, December, and March during the term thereof.

WWC:mec
Encs.

Walter W. Charamza
City Attorney

cc - City Manager
Director of Public Works
Planning Director
Director of Finance

Variance or Use Permit
1 hearing

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT THE PLANNING COMMISSION OF THE
CITY OF NEWPORT BEACH WILL HOLD A PUBLIC HEARING ON THE
APPLICATION OF NEWPORT - COSTA MESA BROADCASTING, Inc.

FOR A ~~VARIANCE~~ - USE PERMIT # 712 TO PERMIT:
CONSTRUCTION OF A RADIO TOWER 250 FEET IN HEIGHT IN AN R-1 DISTRICT.

ON ~~LOT~~ Portion of Lot 1014 BLOCK _____ TRACT 1st Addition to
Newport Mesa
971 - 16th Street, Newport Beach

NOTICE IS HEREBY FURTHER GIVEN THAT SAID PUBLIC HEARING WILL
BE HELD ON THE 16 DAY OF FEBRUARY 1961, AT THE HOUR
OF 8:00 P.M. IN THE COUNCIL CHAMBERS OF THE NEWPORT
BEACH CITY HALL, AT WHICH TIME AND PLACE ANY AND ALL PERSONS
INTERESTED MAY APPEAR AND BE HEARD THEREON.

RAY Y. COPELIN, SECRETARY
NEWPORT BEACH CITY
PLANNING COMMISSION

AFFIDAVIT OF PUBLICATION

Newport Harbor ENSIGN

STATE OF CALIFORNIA }
 County of Orange } ss.

I, ARIJ B. HAAPA, being first duly sworn, and on oath depose and say that I am the printer and publisher of the Newport Harbor Ensign, a weekly newspaper printed and published in the City of Newport Beach, County of Orange, State of California, and that the Notice of Public Hearing

..... of which copy attached hereto is a true and complete copy, was printed and published in the regular issue(s) of said newspaper, and not in a supplement, 1 consecutive times: to-wit the issue(s) of Feb. 2, 1961

(Signed) Arij B. Haapa

Subscribed and sworn to before me this 17th day of February, 1961

Ernest A. Hansen
 Notary Public in and for the
 County of Orange, State of California.

MY COMMISSION EXPIRES NOV. 30, 1963.

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Newport Beach will hold a public hearing on the application of Newport-Costa Mesa Broadcasting, Inc., for a use Permit, No. 712, to permit: Construction of a Radio Tower 250 feet in height in an R-1 District, on Portion of Lot 1014, Tract 1st Addition to Newport Mesa, 971 16th Street, Newport Beach.

Notice is hereby further given that said public hearing will be held on the 16th day of February, 1961, at the hour of 8:00 P.M. in the Council Chambers of the Newport Beach City Hall, at which time and place any and all persons interested may appear and be heard thereon.

RAY Y. COPELIN, Secretary
 NEWPORT BEACH CITY
 PLANNING COMMISSION

Use Permit # 712

FILING FEE \$30.

IF APPROVED, NOT EFFECTIVE UNTIL 15 DAYS AFTER DATE

USE PERMIT APPLICATION Ord. No. 635 CITY OF NEWPORT BEACH FILING FEE \$30.00

NO. 1137 DATE May 5, 1965

INSTRUCTIONS: (Read Carefully.) The applicant or his legal representative must be present at all public hearings. Fill out this application completely. It must be accompanied by five copies of a plot plan to scale, and with correct dimensions, showing in detail all boundaries, existing buildings, proposed alterations and additions. The applicant must sign conditions of Use Permit, if any, within thirty days after approval. Application shall be revoked if not used within eighteen months from date of approval.

- 1. CORELCO Applicant mail to: 154 Avenida P.O. Box 1325, Newport Beach, California Address Involved First Addition to
2. LOT 1014 BLOCK SECTION TRACT Newport Mesa ZONE M1-A
3. DATE OF HEARING May 20, 1965 TIME 8:00 P.M.

4. Application is hereby made for a Use Permit from Section 9103.9 -9105.1(f) to permit: the proposed building to be used as a school. The building will be designed as a ultimate two story office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code. The building will contain all the normal requirements for a manufacturing facility as well as those required for a school. Landscape and automatic sprinkler systems will be included in the design layout.

There are sheets attached to and made a part of this application. I hereby certify that the foregoing statements, maps, drawings, plans and specifications attached hereto are true and correct. If approved this Use Permit will not adversely affect persons residing or working in the neighborhood. I further consent to any permit issued in reliance thereon being null and void in the event they are not true and correct.

Signature of Owner or Applicant Home Address Phone L. 8-2201 441 Francisco Dr., Newport Beach, Calif. 548-4788

FOR DEPARTMENTAL USE ONLY PLANNING COMMISSION ACTION In accord with Section 9103.9 - 9105.1(f) a Use Permit is hereby GRANTED the above applicant subject to requirements of all governmental agencies having jurisdiction and subject to the following: 1. That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students. 2. That students not be allowed to cross the street on foot. 3. That the school activity and playground area be fenced. 4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department. 5. Approved as a private school for a period of 4 years, in accordance with plot plan submitted.

The undersigned hereby agrees to all the above conditions.

Signature of Grantee

FINDINGS OF PLANNING COMMISSION: Upon a review of the evidence on file and testimony presented at the meeting the Commission found and determined that, under the circumstances of the particular case, the granting of this use permit would not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood and, therefore, recommended approval subject to the above conditions.

APPROVED - By City Planning Commission on the 20 day of May 19 65. DENIED- APPROVED - By the City Council on the day of 19

Ray Y. Copekin, Secretary Newport Beach City Planning Commission Margery Schrouder, City Clerk Newport Beach, California

EXTENDED 4 YRS. ON 4-29-69 BY HD. COM. Use Permit # 1137



CITY OF NEWPORT BEACH

Planning Department

640-2218

April 23, 1980

Corelco
P. O. Box 1325
Newport Beach, CA 92663

SUBJECT: Use Permit No. 1137 and 1137 (Amended)

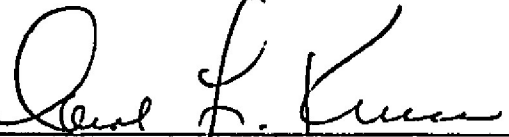
Gentlemen:

At its meeting of April 22, 1980, the Modifications Committee approved a five year extension for the above referenced use permits.

If you have any further questions regarding this matter, please call me at 640-2218.

Very truly yours,

PLANNING DEPARTMENT
JAMES D. HEWICKER, DIRECTOR

By 

Carol L. Kruse
Associate Planner

CLK/dlt



CITY OF NEWPORT BEACH

Planning Department 640-2218

April 7, 1980

Corelco
P. O. Box 1325
Newport Beach, CA 92663

SUBJECT: Use Permit No. 1137 and Use Permit No. 1137 (Amended)

Gentlemen:

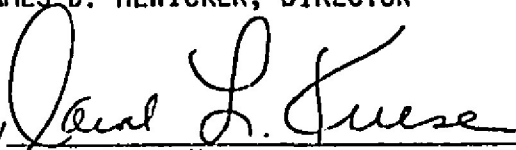
The above referenced use permit which permits a school and the expansion of said school at the above address will expire on May 4, 1980.

If you desire to continue this use at this location, please address a letter to the Modifications Committee requesting an extension.

If you have any further questions regarding this matter, please call me at 640-2218.

Very truly yours,

PLANNING DEPARTMENT
JAMES D. HEWICKER, DIRECTOR

By 

Carol L. Kruse
Associate Planner

CLK/dlt

CORELCO

P.O. BOX 1325 • NEWPORT BEACH, CALIFORNIA • LIBERTY 8-2201

April 14, 1980

City of Newport Beach
Planning Department
Modifications Committee
3300 Newport Boulevard
Newport Beach, California 92663

Gentlemen:

Use Permit No. 1137 and Use Permit No. 1137 (Amended)

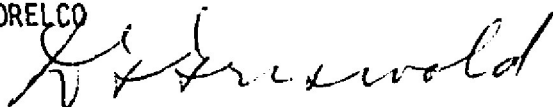
We have been notified by letter dated April 7, 1980 from Ms. Carol Kruse that the subject permits would expire on May 4, 1980.

Please be advised that we do wish to continue the present use at this location and request a five year extension of the subject use permits.

If you should have any questions or need any additional information, please call.

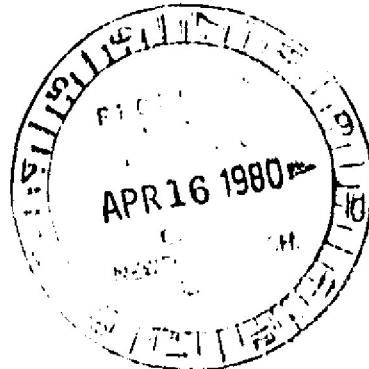
Very truly yours,

CORELCO



D. G. Griswold
President

DGG/gb



XXXXXX 640-2210

May 5, 1976

Corelco
P. O. Box 1325
Newport Beach, CA 92663

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach

Gentlemen:

At its meeting of May 4, 1976, the Modifications Committee approved a four year extension for the above referenced use permits which permits a school and the expansion of said school at the above address.

If you have any further questions or desire further information, please contact the undersigned at 640-2210.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By _____
William R. Laycock
Senior Planner

WRL/dlt

CORELCO

P.O. BOX 1325 • NEWPORT BEACH, CALIFORNIA • LIBERTY 8-2201

April 22, 1976

Modification Committee
Department of Community Development
City of Newport Beach, Ca.
3300 Newport Blvd.
Newport Beach, Ca. 92660

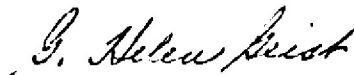
Gentlemen:

Subject: Use Permit #1137 and Amendment to
Use Permit #1137 - 1541 Monrovia,
Newport Beach

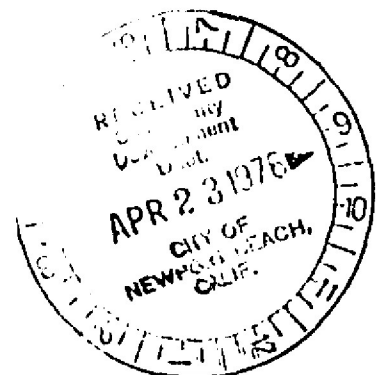
In answer to your letter of April 20, 1976, we desire to
continue the use permit #1137 as described above.

Very truly yours,

CORELCO



G. Helen Geist
Bookkeeper



At its meeting of 5-9-76, the Mod Comm. approved a 4 year extension for U.P. 1137 and U.P. 1137 (Amended)

XXXXXX 640-2210

April 20, 1976

Corelco
P. O. Box 1325
Newport Beach, CA 92663

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach

Gentlemen:

The above referenced use permits which permit a school and the expansion of said school will expire on May 20, 1976.

If you desire to continue this use, please address a letter to the Modifications Committee requesting an extension.

If you desire further information, please contact me at 640-2210 any time after 1:00 P.M.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By _____
William R. Laycock
Senior Planner

WRL/dlt

May 16, 1973

CORELCO
P. O. Box 1325
Newport Beach, Calif. 92663

Gentlemen:

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach, Calif.

The Modifications Committee on May 15, 1973, took action to extend for a period of three years the above referenced use permits which permit a school and the expansion of said school.

If you desire any further information, please contact me at 673-2110 anytime after 1:00 P.M.

Thank you.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By William R. Laycock,
Senior Planner

WRL/sm

CORELCO

P.O. BOX 1325 • NEWPORT BEACH, CALIFORNIA • LIBERTY 8-2201

May 9, 1973

Modification Committee
Department of Community Development
City of Newport Beach, California
3300 Newport Blvd.
Newport Beach, CA 92660

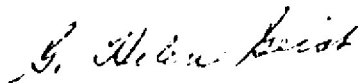
Gentlemen:

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach, CA.

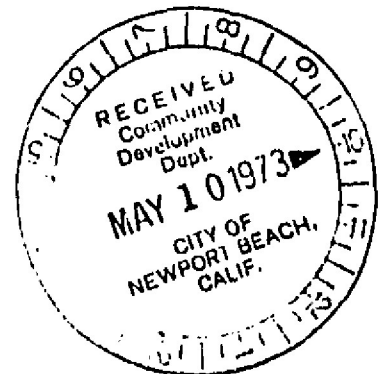
In answer to your letter of April 30, 1973 we desire to
continue the use permit #1137 as described above.

Very truly yours,

CORELCO



G. Helen Geist
Bookkeeper



April 30, 1973

CORELCO
P. O. Box 1325
Newport Beach, Calif. 92663

Gentlemen:

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach, Calif.

The above referenced use permits which permit a school
and the expansion of said school will expire on May 20 and
21, 1973.

If you desire to continue this use, please address a letter
to the Modifications Committee requesting an extension.

If you desire further information, please contact me at
673-2110 any time after 1:00 P.M.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By _____
William R. Laycock,
Senior Planner

WRL/sm

April 30, 1969

Miss Patricia Gilbert
Director, Carden Hall
1541 Monrovia Avenue
Newport Beach, California

Subject: Use Permit No. 1137

Dear Miss Gilbert:

The Modifications Committee, on April 29, 1969, extended for a period of four years the above referenced use permit which permits a school at the above location.

Very truly yours,

MODIFICATIONS COMMITTEE

By

James E. Nuzum
Associate Planner

JEN:h

Carden Hall

DIRECTOR: PATRICIA GILBERT

April 21, 1969

Mr. Laurence Wilson, Planning Director
Mr. James E. Nuzum, Associate Planner
City of Newport Beach
Modifications Committee
3300 Newport Boulevard
Newport Beach, California

Subject: Use Permit No. 1137

Dear Mr. Wilson and Mr. Nuzum:

The expiration date for the above Use Permit No. 1137
is May 20, 1969. We respectfully request an extension
to continue this use.

Thank you very much for your consideration.

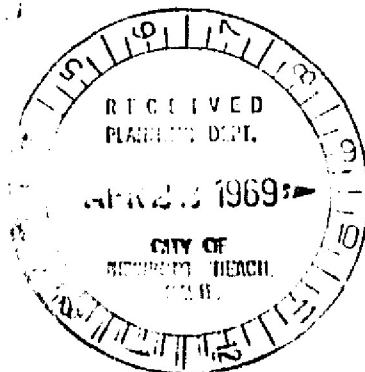
Yours very truly,

CARDEN HALL

Patricia Gilbert
Patricia Gilbert
Director

PG:mn

*approved for
4/23/69*



April 16, 1969

Carden Hall
1541 Monrovia
Newport Beach, California

Subject: Use Permit No. 1137

Gentlemen:

The above referenced use permit which permits a school at the above location will expire on May 20, 1969.

In order to continue this use, will you please address a letter to the Modifications Committee and request an extension.

Very truly yours,

Laurence Wilson
Planning Director

James E. Nuzum
Associate Planner

LW:JEN:hh

May 12, 1967

SUBJECT: Use Permit 1137
 CORELCO
 1541 Monrovia, Newport Beach

After reviewing the application and the plot plans attached thereto, Staff determined no future building program was noted or included at the time of approval of the subject Use Permit on May 20, 1965.

No mention of a proposed building program was made at the Meeting of the Commission according to the recordings taken verbatim. (At one point in the recording when the applicant, Mr. Erickson, was speaking he was not at the microphone and his statements were not distinguishable.)

Whenever expansion or changes to the original Use Permit are proposed (as in the case of the service station at the corner of Westcliff and Irvine), a new Use Permit is required for Commission review.

Newport Harbor News Press combined with DAILY PILOT was decreed a newspaper of general circulation in the City of Newport Beach by Decree of the Superior Court of Orange County, California, Number A24831, dated 11 June, 1963.

STATE OF CALIFORNIA }
County of Orange } ss.

I, Joseph E. Davis, being first duly sworn, **Legal Advertising**
and on oath depose and say that I am the Manager

of the Newport Harbor News Press/Daily Pilot, a newspaper of general circulation in the City of Newport Beach, County of Orange, State of California, and that a Notice of Public
Hearing (Corelco)

of which copy attached hereto is a true and complete copy, was printed and published in the regular Newport Beach, Costa Mesa and Huntington Beach issue (s) of said newspaper for _____

1 consecutive weeks: to-wit the issues (s) of
May 10 _____, 1965

_____, 196_____

_____, 196_____

_____, 196_____

_____, 196_____

(signed) Joseph E. Davis

Subscribed and sworn to before me this 10th day of

May, 1965

Roselle C. Knox

Notary Public in and for the
County of Orange, State of California
My commission expires

ROSELLE C. KNOX
My Commission Expires July 1, 1968

LEGAL NOTICE

Variance of Use Permit
NOTICE IS HEREBY GIVEN That The Planning Commission of the City of Newport Beach will hold a public hearing on the application of CORELCO for a Use Permit No. 1137 to permit:

A Private school in an M-1-A District, on Portion of Lot 1814 Tract First Addn. to Newport Mesa, 1541 Monrovia, Newport Beach, California.

NOTICE IS HEREBY FURTHER GIVEN That said public hearing will be held on the 20th day of May 1965, at the hour of 8:00 P.M. in the Council Chambers of the Newport Beach City Hall, at which time and place any and all persons interested may appear and be heard thereon.

RAY Y. COPELIN,
SECRETARY
NEWPORT BEACH CITY
PLANNING COMMISSION
Published Newport Harbor News-Press,
Newport Beach, Calif., May 18, 1965 637-43

Variance or Use Permit
1 Hearing

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT THE PLANNING COMMISSION OF THE CITY OF
NEWPORT BEACH WILL HOLD A PUBLIC HEARING ON THE APPLICATION OF

CORELCO

FOR A ~~VARIANCE~~- USE PERMIT # 1137 TO PERMIT: _____

A PRIVATE SCHOOL IN AN M-1-A DISTRICT.

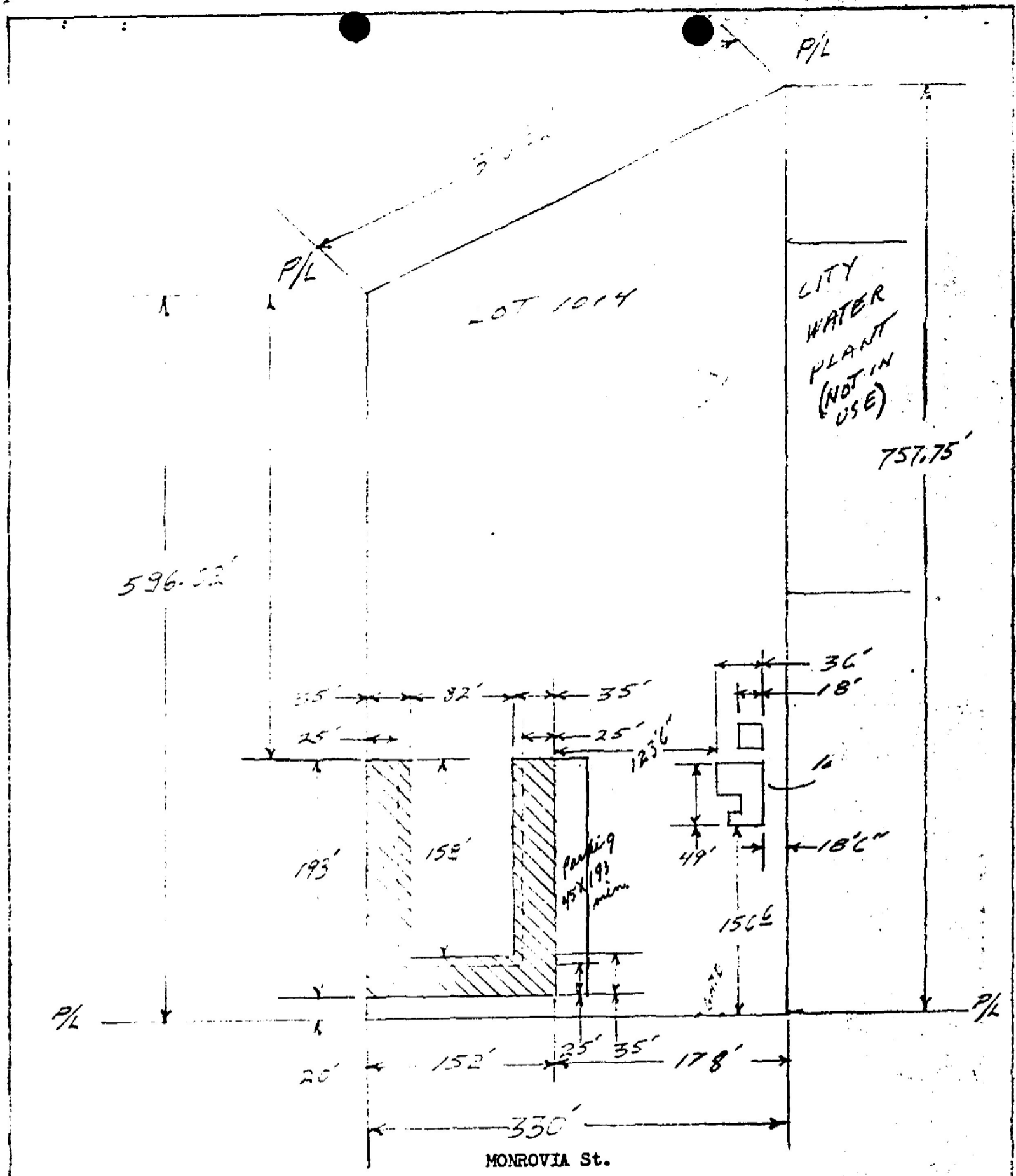
ON ~~THE~~ PORTION OF LOT 1014 BLOCK _____ TRACT _____ First Addn.
to Newport Mesa

1541 MONROVIA, NEWPORT BEACH, CALIFORNIA

NOTICE IS HEREBY FURTHER GIVEN THAT SAID PUBLIC HEARING WILL BE HELD
ON THE 20 DAY OF MAY 19 65, AT THE HOUR
OF 8:00 P.M. IN THE COUNCIL CHAMBERS OF THE NEWPORT BEACH
CITY HALL, AT WHICH TIME AND PLACE ANY AND ALL PERSONS INTERESTED MAY
APPEAR AND BE HEARD THEREON.

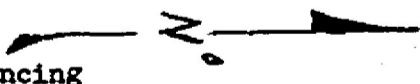
RAY Y. COPELIN, SECRETARY
NEWPORT BEACH CITY
PLANNING COMMISSION

Publication Date 4/10/65
Received for Pub. 4/11/65
Date Received [Signature]

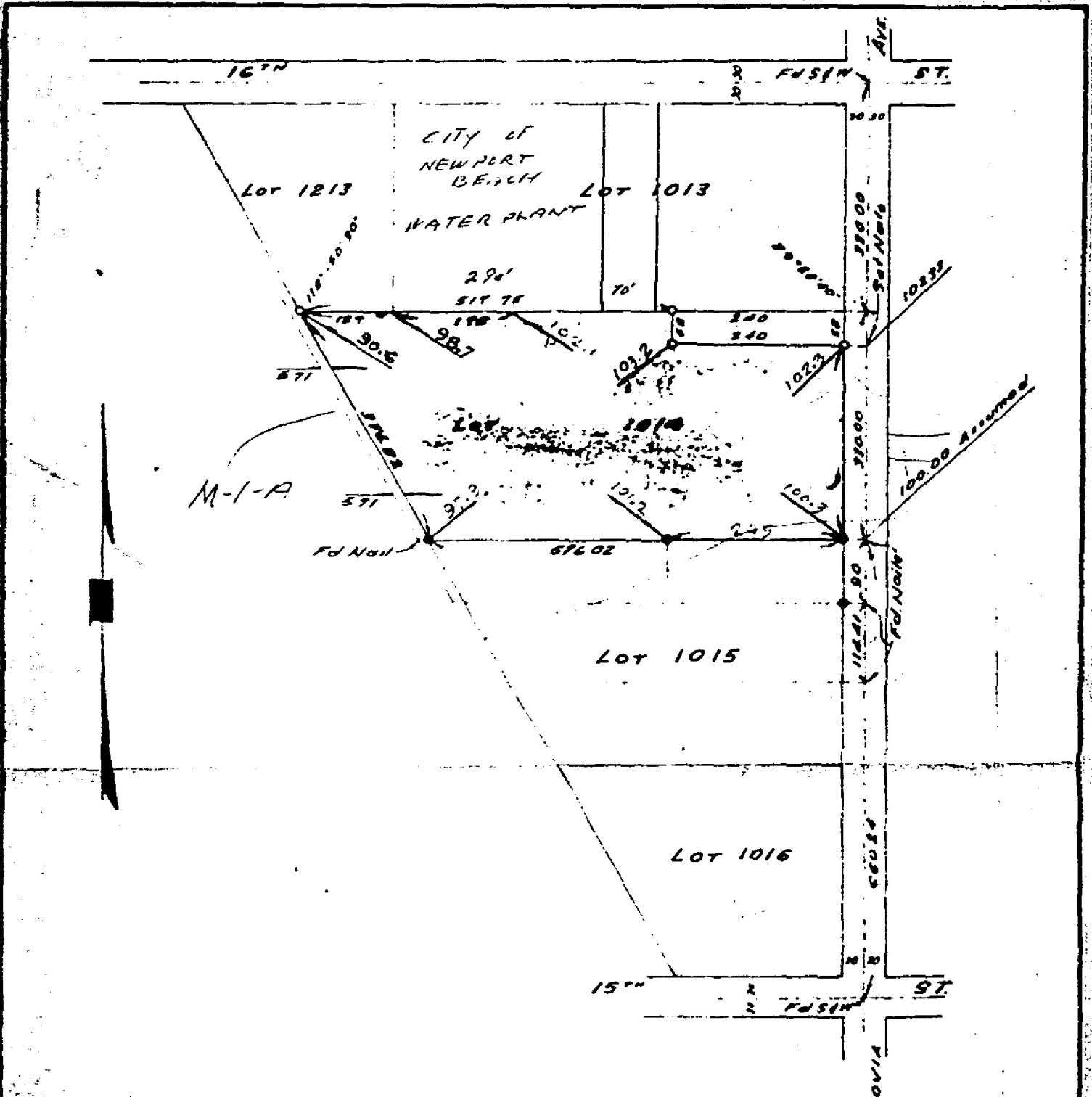


NOTES:

1. Old house & garage - 2 units - Use .. Storage. To be destroyed in the future.
2. All property lines are now fenced with chain link fencing and is 6' hi with a top of 3 strands barb wire.



OWNER CARELCO	PROSPECTIVE TENANT GARDEN HALL
DESCRIPTION LOT 1014 - ... TO NEWPORT NEWPORT - CITY OF NEWPORT BEACH CALIFORNIA	
DATE	SCALE 1" = 100'



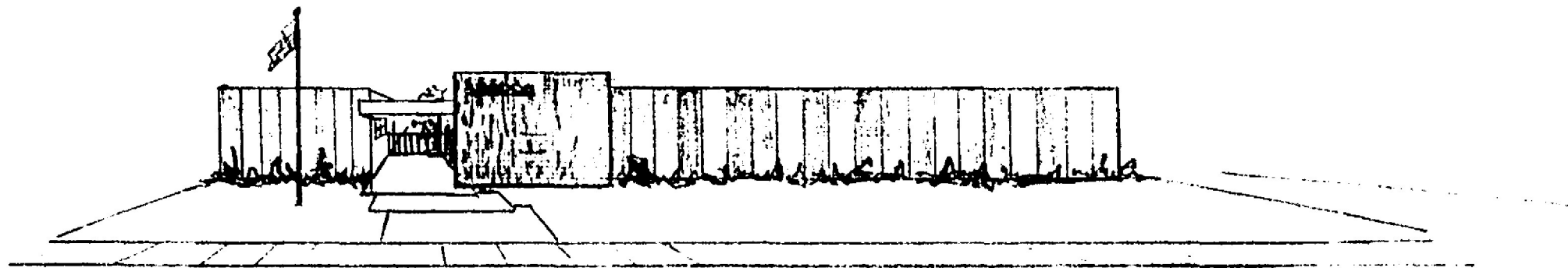
NOTE
 Set iron pipe and disk LS 2312
 at points shown thus -o
 Found iron pipe at points shown thus -o

JACK S. RAUB LAND SURVEYOR

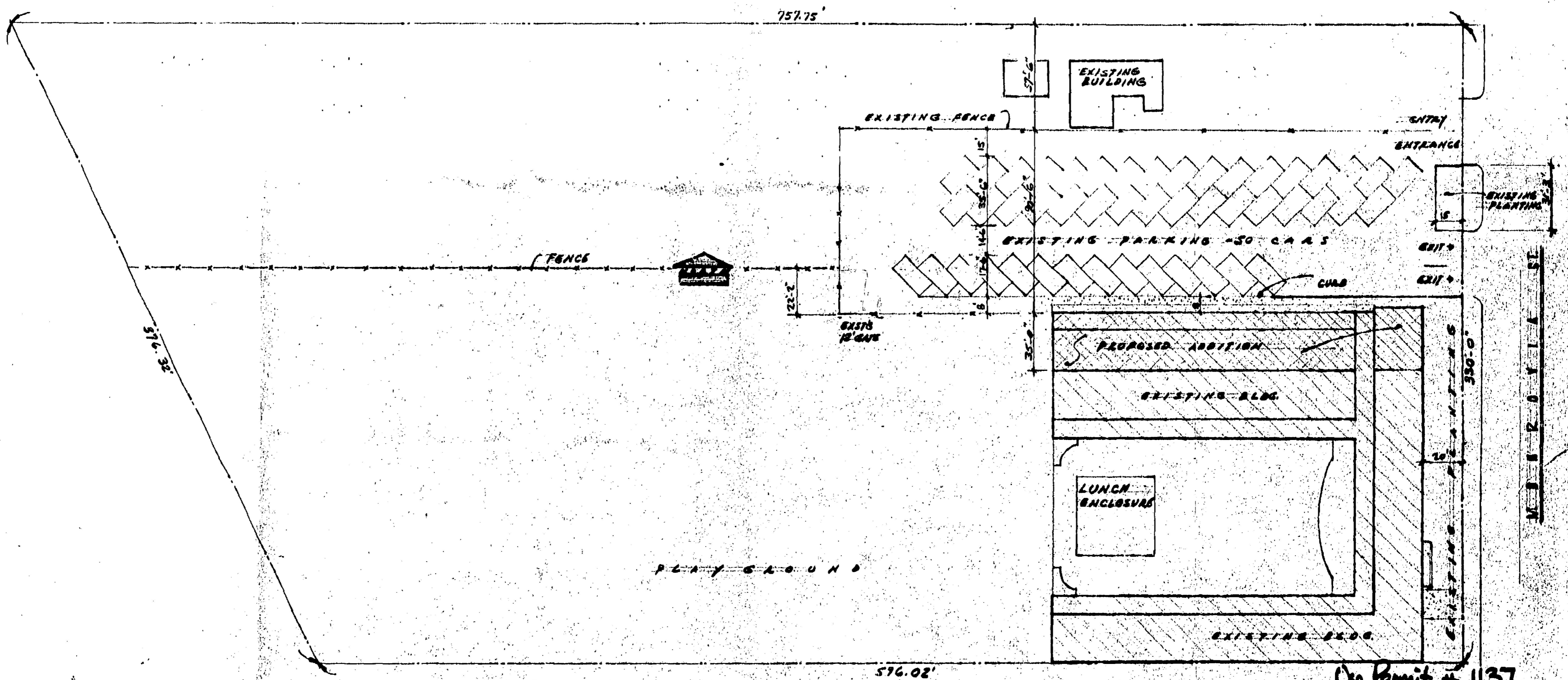
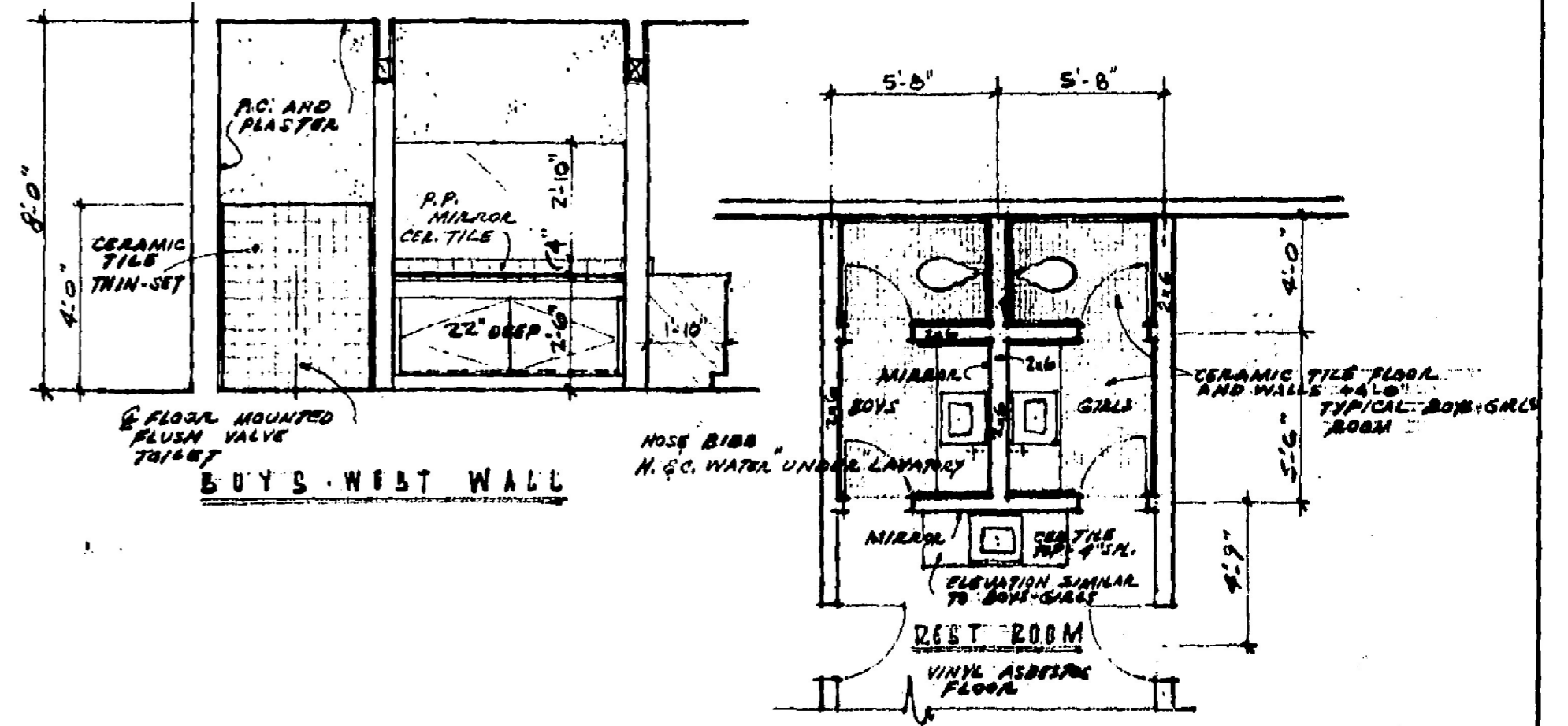
136 ROCHESTER STREET LICENSE No. 2312 P. O. Box 117 COSTA MESA, CALIF.

SKETCH SHOWING SURVEY OF
 PORTION OF LOT 1014
 FIRST ADDITION TO NEWPORT MESA TRACT
 ORANGE COUNTY
 CALIFORNIA

DATE February 7, 1955	SCALE 1" = 200'	FIELD BOOK	CALC. BOOK	JOB No. 3895
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Use Permit # 1137



ALL INFORMATION FROM PLOT PLAN PASSED BY G. L. PENN., STRUCTURAL ENG. DTD. 7-30-68

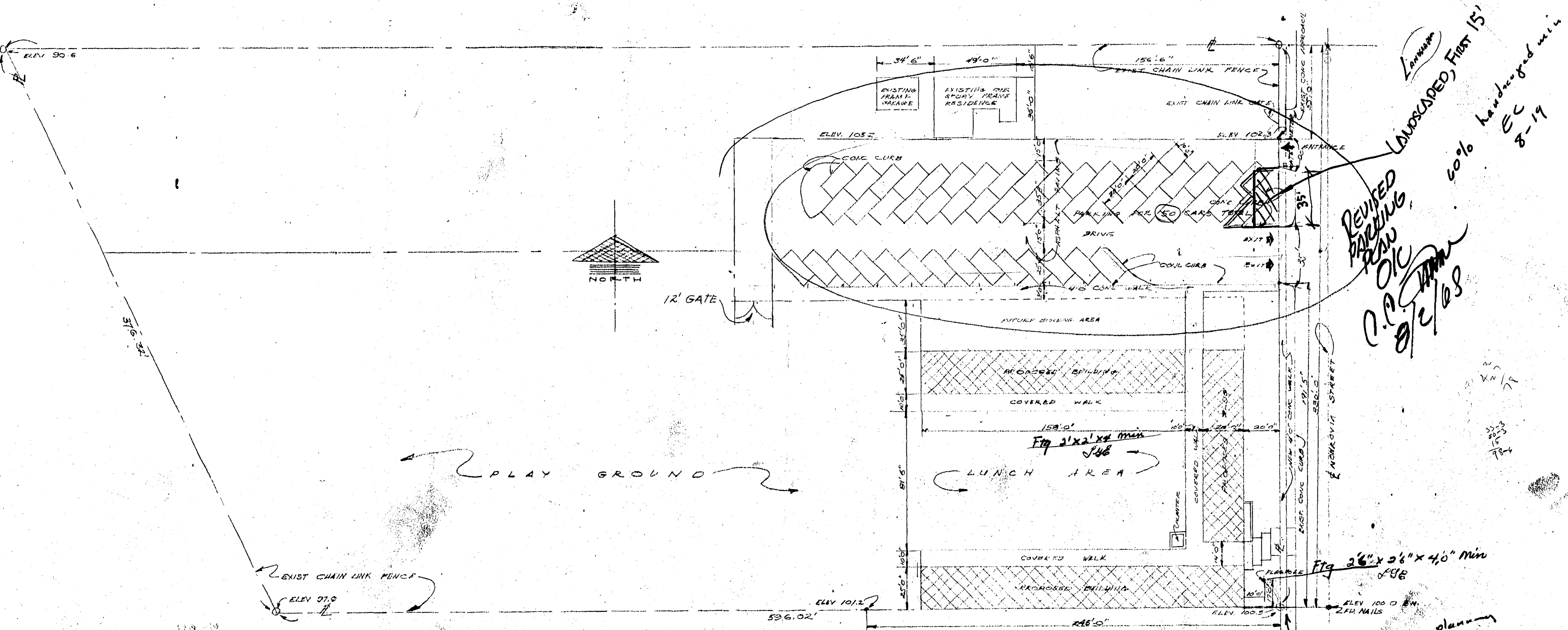
PLOT PLAN 1/30

Use Permit # 1137
Pg. 1 of 3
Structural Engineer

GARDEN HALL - STAGE 2

REVISIONS	ADDITIONAL CEAS ROOMS	SHEET OF RING 1
	CORRECTED	

68134-1



REVISED
 PLAN
 8/2/88
 OLC
 LANDSCAPED, FIRST 15'
 60% landscaped min
 EC
 8-19

PLOT PLAN
 SCALE 1" = 30'-0"

REVISED PLOT PLAN FOR
CORECO
 1541 MONROVIA RD. BOX 1295
 NEWPORT BEACH CALIF. 92655

Use Permit # 1137
 Pg. 2 of 3

USE PERMIT APPLICATION
CITY OF NEWPORT BEACH

AMENDMENT TO

No. 1137

Fee \$150.00

Planning Department
3300 Newport Boulevard
Phone (714) 673-2110

Applicant CORELCO Phone (714) 548-2201

Mailing Address 1541 Monrovia Ave N.B. 92663
P. O. Box 1325, Newport Beach, California, 92663 *11/2/71*

Property Owner CORELCO Phone (714) 548-2201 *645-1773*

Mailing Address P. O. Box 1325, Newport Beach, California, 92663

Address of Property Involved 1541 Monrovia, Newport Beach, California

Purpose of Application (describe fully) To extend Use Permit #1137 to include the development of overall land usage of the total 5 acres, which provides for the new facilities needed immediately, and future growth. These facilities and land to be used as a private school. Landscaping, to be provided, will be compatible with existing landscaping.

Zone M-1 Present Use School

Legal Description of Property Involved (if too long, attach sheet)

First Add To Newport Mesa TR Lot 1014 All Ex N 58 Ft E 240 Ft

Linda L. Ericson
Signature of Applicant or Agent Date 4-30-70

D. J. Gruswold
Signature of Owner Date 4/30/70

XX

DO NOT COMPLETE APPLICATION BELOW THIS LINE

Date Filed 4-30-70 Fee Pd. 150⁰⁰ Receipt No. 27366

Hearing Date 5-21-70 Publication Date 5-7-1970

Posting Date 5-11-1970 Mail Date _____

P.C. Action APPROVED, SUBJECT TO ATTACHED CONDITIONS.

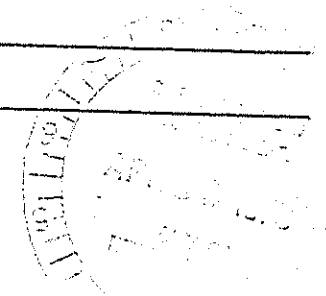
Date 5-21-1970 Appeal _____

C.C. Hearing _____ C.C. Action _____

Date _____

4/85: Now Carden Hall Elem. & Jr. High Sch. Expires 5/21/73

Expires 5/20/76
Expires 5-4-80
4-22-85



AMENDMENT TO

USE PERMIT APPLICATION
CITY OF NEWPORT BEACH

No. 1137

Fee \$150.00

Planning Department
3300 Newport Boulevard
Phone (714) 673-2110

Applicant CORELCO Phone (714) 548-2201

Mailing Address P. O. Box 1325, Newport Beach, California, 92663

Property Owner CORELCO Phone (714) 548-2201

Mailing Address P. O. Box 1325, Newport Beach, California, 92663

Address of Property Involved 1541 Monrovia, Newport Beach, California

Purpose of Application (describe fully) To extend Use Permit #1137 to include the development of overall land usage of the total 5 acres, which provides for the new facilities needed immediately, and future growth. These facilities and land to be used as a private school. Landscaping, to be provided, will be compatible with existing landscaping.

Zone M-1 Present Use School

Legal Description of Property Involved (if too long, attach sheet)

First Add To Newport Mesa TR Lot 1014 All Ex N 58 Ft E 240 Ft

Luis L. Ericson Signature of Applicant or Agent Date 4-30-70

D. J. Grunwald Signature of Owner Date 4/30/70

XX

DO NOT COMPLETE APPLICATION BELOW THIS LINE

Date Filed 4-30-70 Fee Pd. \$150.00 Receipt No. 27366

Hearing Date 5-21-70 Publication Date 5-7-1970

Posting Date 5-11-1970 Mail Date _____

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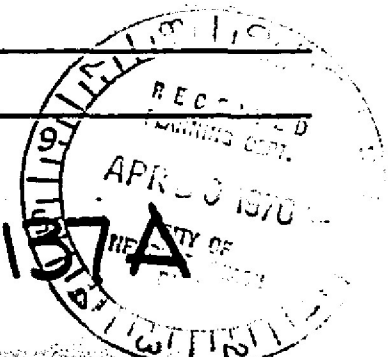
Date 5-21-1970 Appeal _____

C.C. Hearing _____ C.C. Action _____

Date _____

Extended 3 yrs by mod. Comm on 5/15/73
" 5 yrs " " " 4/22/80

Use Permit # 1137A





CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92658-8915

PLANNING DEPARTMENT (714) 644-3200

May 17, 1995

Carden Hall School
1541 Monrovia Avenue
Newport Beach, Ca. 92663

Subject: Use Permit No. 1137 (Amended)

TO WHOM IT MAY CONCERN:

At its meeting of May 16, 1995 the Modifications Committee approved a 5-year extension of the above referenced use permit. If you have any questions regarding this matter, please give the undersigned a call at the above number.

Very truly yours,

PLANNING DEPARTMENT
JAMES D. HEWICKER, Director

By *Dana O. Aslami*
Dana O. Aslami
Associate Planner

3300 Newport Boulevard, Newport Beach



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

February 4, 1991

Albert Jones
Carden Hall School
P O Box 1325
Newport Beach, CA 92660

RE: MONROVIA/PRODUCTION AVENUES

Dear Mr. Jones:

We have recently reviewed parking on Monrovia Avenue and Production Place in response to a variety of requests and complaints. Our review indicates that unauthorized painting of red and green curb has occurred in the area near Carden Hall.

We will be remarking the curbs in the area in the near future. A single green, half-hour space will be provided on Monrovia southerly of your main entrance. This location will require parents to walk a few extra steps, but should be close enough to adequately serve the school.

Your cooperation in leaving the curb painting to the City will be appreciated.

Sincerely,

Richard M. Edmonston, P.E.
Traffic Engineer

RME:bb

WP:JONES

cc: Jim Sinasek
Use Permit File 1137A

RECEIVED BY
PLANNING DEPARTMENT
CITY OF NEWPORT BEACH

FEB 6 1991
AM 7 8 9 10 11 12 1 2 3 4 5 6 PM

3300 Newport Boulevard, Newport Beach



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

February 4, 1991

Albert Jones
Carden Hall School
P O Box 1325
Newport Beach, CA 92660

RE: MONROVIA/PRODUCTION AVENUES

Dear Mr. Jones:

We have recently reviewed parking on Monrovia Avenue and Production Place in response to a variety of requests and complaints. Our review indicates that unauthorized painting of red and green curb has occurred in the area near Carden Hall.

We will be remarking the curbs in the area in the near future. A single green, half-hour space will be provided on Monrovia southerly of your main entrance. This location will require parents to walk a few extra steps, but should be close enough to adequately serve the school.

Your cooperation in leaving the curb painting to the City will be appreciated.

Sincerely,

Richard M. Edmonston, P.E.
Traffic Engineer

RME:bb

WP:JONES

cc: Jim Sinasek
Use Permit File 1137A



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

PLANNING DEPARTMENT - (714) 644-3215

January 17, 1991

Dvorak and Payne Ltd.
1580 E. Edinger Ave.
Santa Ana, CA 92705

SUBJECT PROPERTY: 1539 Monrovia Avenue (A.P. #424-401-06; Lot 1015, First Addition to Newport Mesa Tract) Newport Beach, CA

Gentlemen:

The City has received complaints with respect to the on-street parking situation in front of your property on Monrovia Avenue and, also, on Production Place close to Monrovia.

In an attempt to ameliorate those complaints, we are requesting your assistance in addition to the assistance of other businesses in the area. We hope that, in the spirit of cooperation, you would request the help of your commercial tenants in asking their employees to refrain from parking their private vehicles as well any commercial vehicles on the public street and to utilize, instead, the parking spaces available on site.

We would like to thank you for your anticipated cooperation in helping us to resolve this matter. Hopefully, with your cooperation and the cooperation of others in your vicinity, the parking problems will be resolved to everyone's benefit along with everyone's cooperation.

Thank you again for your consideration in this matter.

To discuss this letter, you should contact Jim Sinasek between 7:30 and 8:30 a.m. or 4:00 and 4:30 p.m. at the above phone number.

PLANNING DEPARTMENT
JAMES D. HEWICKER, Director

By


Jim Sinasek

Code Enforcement Supervisor

JS:ll

3300 Newport Boulevard, Newport Beach

Dvorak & Payne Ltd.

January 17, 1991

Page 2

xc: Jim Hewicker, Planning Director
Bill Laycock, Current Planning Manager
Washbon Reid Precision Metal Crafting, 1539 Monrovia Ave.
Davis Screen & Mirror, 1539 Monrovia Ave.
Rhoten Kevin, 1539 Monrovia Ave.
Able Abe Tool & Machine Co., 1539 Monrovia Ave.
John Janis Plumbing, 1539 Monrovia Ave.
Newport Aire Systems, Inc., 1539 Monrovia Ave.
Great Western Sales, 1539 Monrovia Ave.
James Ruhl, 1539 Monrovia Ave.
Azizi Enterprises, 1539 Monrovia Ave.
Davis Screen & Mirror, 1539 Monrovia Ave.
Freeform R & D, 1539 Monrovia Ave.
Famous Artist, 1539 Monrovia Ave.
Merritt James, 1539 Monrovia Ave.
Sunset Design Associates Studio, 1539 Monrovia Ave.
Richard Hutchison Painting & Decorating, 1539 Monrovia Ave.
Bob Electric, 1539 Monrovia Ave., #7
Archaeological Advisory Group, 1539 Monrovia Ave., #11
Creative Metal Images, 1539 Monrovia Ave., #20

PLANNING DEPARTMENT - (714) 644-3215

January 9, 1991

Stephanie Webster
c/o J.R. Medical, Inc.
894 Production Place
Newport Beach, CA 92663

SUBJECT: Parking of Automobiles on Production Place

Dear Ms. Webster:

The parking situation that you have described in your September 7, 1990 letter has been investigated by Jim Sinasek, the Code Enforcement Supervisor of the Planning Department. His investigation did reveal that Production Place was being utilized, as you have indicated, by a few of the teachers from Carden Hall School. Accordingly, a letter has been sent to Carden Hall requesting their help, in the spirit of cooperation, in ameliorating the parking situation on Production Place.

We would like to call your attention, however, to the fact that the majority of the vehicles that are utilizing Monrovia Avenue and to some extent, Production Place, are private vehicles that are utilized by the construction type businesses located at 1539 Monrovia Avenue as opposed to the faculty from Carden Hall School. During the time of our investigation, there were 17 vehicles parked on both Production Place and Monrovia Avenue. Twelve of those vehicles were associated with employees from the 1539 Monrovia Avenue location, four of the vehicles were associated with the school facility located at 1541 Monrovia Avenue, and one vehicle was from an undetermined location. Of those 17 vehicles, only four were parked on Production Place.

Since we have no authority over the parking of private vehicles for the use of the facility of 1539 Monrovia Avenue, a letter from us to those individuals at this time would be inappropriate.

Hopefully, this information will help to alleviate some of your concerns regarding Carden Hall School and its faculty. Thank you for bringing this matter to our attention. Should you care to discuss this letter, you should contact Jim Sinasek between 7:30 and 8:30 a.m. or 4:00 and 4:30 p.m. at the above phone number.

Very truly yours,

James D. Hewicker
Planning Director

JDH:ll

xc: Current Planning Manager
Code Enforcement Supervisor
Traffic Engineer



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

PLANNING DEPARTMENT (714) 644-3215

January 9, 1991

Mr. Albert Jones
c/o Carden Hall School
P.O. Box 1325
Newport Beach, CA 92660

SUBJECT PROPERTY: 1541 Monrovia Avenue (A.P.#424-401-05; Lot 1014, Tract 257)
Newport Beach, CA

SUBJECT: Use Permit No. 1137 (Amended)

Dear Mr. Jones:

It has come to the attention of this department that a portion of your faculty is utilizing Production Place and Monrovia Avenue for the parking of their private vehicles while employed at your facility.

Please be advised that your facility operates "subject to" Use Permit No. 1137 (Amended), approved by the Planning Commission on May 21, 1970. At the time of that amendment it was staff's feeling and recommendation that "the school has proven to be a good neighbor at its present location and staff feels that the proposed expansion is in order and recommends approval of its application..." Fifty automobile parking spaces were provided at that time with an additional 29 spaces being provided under the proposed expansion of your facility.

We therefore request your help, in the spirit of cooperation, to restrict your faculty parking to the onsite parking provided as shown on your previously submitted plot plan.

May we further remind you that when your original use permit was approved on the 20th of May 1965, the Planning Commission "upon a review of the evidence on file and testimony presented at the hearing the Commission found and determined that, under the circumstances of the particular case, the granting of this use permit would not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood and, therefore, recommended approval subject to the above conditions."

Hopefully, with your cooperation, this matter will be resolved.

To discuss this letter you should contact Jim Sinasek between 7:30 and 8:30 a.m. or 4:00 and 4:30 p.m. at the above phone number.

3300 Newport Boulevard, Newport Beach

Mr. Albert Jones
January 9, 1991
Page 2

PLANNING DEPARTMENT
JAMES D. HEWICKER, Director

By


Jim Sinasek

Code Enforcement Supervisor

xc: Jim Hewicker, Planning Director
Bill Laycock, Current Planning Manager
Bill Ward, Senior Planner
Rich Edmonston, Traffic Engineer
Use Permit File No. 1137 (Amended)

JS:ll



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

Planning Department (714) 644-3232

November 27, 1990

Ms. Stephanie Webster
J. R. Medical, Inc.
894 Production Place
Newport Beach, CA 92663

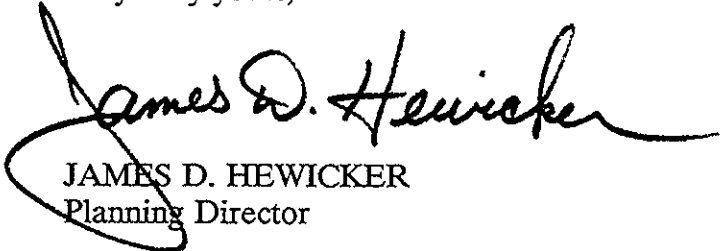
Dear Ms. Webster:

I am in receipt of your letter of September 7, 1990, as well as your letter to the Planning Commission dated November 20, 1990, regarding the parking situation on Production Place.

We are currently reviewing our Use Permit files on the Carden Hall School and we will advise you of our progress.

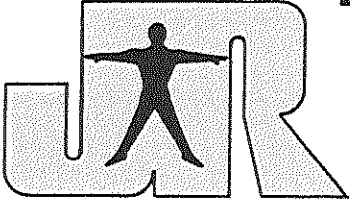
In the meantime, I apologize for not corresponding with you earlier.

Very truly yours,



JAMES D. HEWICKER
Planning Director

JDH:dee



M E D I C A L I N C

November 20, 1990

Planning Commission
City of Newport Beach
3300 Newport Blvd.
Newport Beach, CA 92663

On September 7, 1990, we wrote to Mr. Jim Hewicker, the Planning Director for Newport Beach and requested his attention to a parking problem that has existed on Production Place in Newport Beach for some time. To date, we have not received a response to our inquiry.

I have attached a copy of that original correspondence and would like to request a response to our situation.

Please feel free to contact me either by telephone or by mail at the telephone number and address listed below.

Thank you for your time.

Yours,


Stephanie Webster

RECEIVED BY
PLANNING DEPARTMENT
CITY OF NEWPORT BEACH

NOV 27 1990
AM 7 8 9 10 11 12 1 2 3 4 5 6 PM



September 7, 1990

Mr. Jim Hewicker
Planning Director
City of Newport Beach
3300 Newport Blvd.
Newport Beach, CA 92663


Dear Mr. Hewicker:

During the past few years, we have experienced a significant shortage of parking on Production Place during the period of September through June. We believe that this corresponds with the same time that school is in session at Carden Hall School located on Monrovia at the end of Production Place.

We have repeatedly requested that the faculty make use of the parking lot that is located on the school property but these requests have virtually been ignored. At one time, we were told that it was inconvenient for the teachers to wait for the front parking lot to clear before they could leave. The front parking area is where the parents pick up the students after school is dismissed and that lot takes a maximum of ten minutes to clear.

This year, we talked with the businesses along the west end of Production Place and found that everyone has experienced a parking shortage due to the teachers parking along the street. We thought it necessary to express our concerns to the school and to you so we have sent a copy of the attached letter to Mr. Jones, the Administrator at Carden Hall School and, once again, request his cooperation.

We appreciate you taking the time to listen to our concerns. Thank you for your consideration.


Stephanie Webster
J. R. Medical, Inc.

September 5, 1990

The businesses along the west end of Production Place have very limited parking for their employees and patrons. Because of the shortage of adequate parking and considering the fact that Carden Hall School has its own parking lot for its faculty, we, the undersigned would like to respectfully request that the staff of the school make use of their parking lot and not park on Production Place. We hope this will alleviate the parking congestion that has developed during the previous school sessions.

Thank you for your anticipated cooperation.

J.R. Medical, Inc.

894 Production Place

L. Gaylord Sportswear

894 Production Place

Cal Tech Silkscreen

896 Production Place

Susan B. Purson

Light Adventure
898 Production Place

899 Production Place

Penfield Development

Jannie Peña

899 Production Place

[Signature]

897 Production Place

The Typesetter

893 Production Place

Manuel Haus

881 Production Place

Bruce M. C. C. C.

888 Production Place

[Signature]

890 Production Place



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

PLANNING DEPARTMENT (714) 644-3200

April 19, 1990

Carden Hall School
1541 Monrovia Avenue
Newport Beach, CA 92663

SUBJECT: Use Permit No. 1137 and Use Permit No. 1137 (Amended)

Gentlemen:

At its meeting of April 17, 1990, the Modifications Committee approved a five year extension for the above referenced use permits which permitted a school and the expansion of said school on the subject property.

If you have any further questions, please don't hesitate to contact me during regular business hours.

PLANNING DEPARTMENT
JAMES D. HEWICKER, Director

By 
Javier Garcia
Senior Planner

JG:jm



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92658-8915

PLANNING DEPARTMENT (714) 644-3200

April 11, 1985

Carden Hall School
1541 Monrovia Avenue
Newport Beach, CA 92663

SUBJECT: Use Permit No. 1137 and Use Permit No. 1137 (Amended)

Gentlemen:

At its meeting of April 9, 1985, the Modifications Committee approved a five year extension for the above referenced use permits which permitted a school and the expansion of said school on the subject property.

If you have any further questions, please don't hesitate to contact me during regular business hours.

PLANNING DEPARTMENT
JAMES D. HEWICKER, Director

By William R. Laycock
William R. Laycock
Current Planning Administrator



CITY OF NEWPORT BEACH

Planning Department 640-2218

April 7, 1980

Corelco
P. O. Box 1325
Newport Beach, CA 92663

SUBJECT: Use Permit No. 1137 and Use Permit No. 1137 (Amended)

Gentlemen:

The above referenced use permit which permits a school and the expansion of said school at the above address will expire on May 4, 1980.

If you desire to continue this use at this location, please address a letter to the Modifications Committee requesting an extension.

If you have any further questions regarding this matter, please call me at 640-2218.

Very truly yours,

PLANNING DEPARTMENT
JAMES D. HEWICKER, DIRECTOR

By Carol L. Kruse
Carol L. Kruse
Associate Planner

CLK/dlt

XXXXXX 640-2210

May 5, 1976

Corelco
P. O. Box 1325
Newport Beach, CA 92663

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach

Gentlemen:

At its meeting of May 4, 1976, the Modifications Committee approved a four year extension for the above referenced use permits which permits a school and the expansion of said school at the above address.

If you have any further questions or desire further information, please contact the undersigned at 640-2210.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By _____
William R. Laycock
Senior Planner

WRL/dit

XXXXXX 640-2210

April 20, 1976

Corelco
P. O. Box 1325
Newport Beach, CA 92663

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach

Gentlemen:

The above referenced use permits which permit a school and the expansion of said school will expire on May 20, 1976.

If you desire to continue this use, please address a letter to the Modifications Committee requesting an extension.

If you desire further information, please contact me at 640-2210 any time after 1:00 P.M.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By

William R. Laycock
Senior Planner

WRL/dit

May 16, 1973

CORELCO
P. O. Box 1325
Newport Beach, Calif. 92663

Gentlemen:

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach, Calif.

The Modifications Committee on May 15, 1973, took action to extend for a period of three years the above referenced use permits which permit a school and the expansion of said school.

If you desire any further information, please contact me at 673-2110 anytime after 1:00 P.M.

Thank you.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By William R. Laycock,
Senior Planner

WRL/sm

April 30, 1973.

CORELCO
P. O. Box 1325
Newport Beach, Calif. 92663

Gentlemen:

Subject: Use Permit No. 1137 and Amendment to Use Permit
No. 1137 - 1541 Monrovia, Newport Beach, Calif.

The above referenced use permits which permit a school
and the expansion of said school will expire on May 20 and
21, 1973.

If you desire to continue this use, please address a letter
to the Modifications Committee requesting an extension.

If you desire further information, please contact me at
673-2110 any time after 1:00 P.M.

Very truly yours,

DEPARTMENT OF COMMUNITY DEVELOPMENT
R. V. HOGAN, DIRECTOR

By _____
William R. Laycock,
Senior Planner

WRL/sm

Jakosky
Watson
Dosh
Adkinson
Brown
Glass
Martin

May 21, 1970

Location: Portion of Lot 169, Block 2, of Irvine's Subdivision, located at 393 Hospital Road, north side of Hospital Road, between Newport Boulevard and Placentia Avenue.

Zone: R-3

Applicant: Kenneth W. McCulloch

Owner: Central Newport Healthcare Corp.
c/o Mission Convalescent Hospital
San Gabriel, California

Planning Director Wilson read into the record a letter dated May 19, 1970 from Mr. McCulloch regarding this application and requesting another extension of time due to the fact that he has not received an encroachment permit from the State Division of Highways but is expecting to receive it momentarily.

The applicant was not present at the meeting; however the Commission discussed the application and felt they had been very lenient regarding this matter.

After further discussion, the applicant was given until June 18, 1970 to complete all conditions of Use Permit 1285, otherwise revocation proceedings will be instituted.

Motion
Second
All Ayes

x

x

Item 4.

AMENDMENT
TO USE
PERMIT 1137

Request to permit expansion of an existing private school.

Location: Portion of Lot 1014 of the First Addition to Newport Mesa Tract, located at 1541 Monrovia Avenue on the west side of Monrovia Avenue between 15th Street and 16th Street.

Zone: M-1-A

Applicant: Corelco, Newport Beach

Owner: Same as applicant.

APPROVED

Jakosky
Watson
Dosh
Adkinson
Brown
Glass
Martin

May 21, 1970

Lois Ericson, Secretary-Treasurer of Corelco was present at the meeting. The Commission complimented her on the operation of the school and approved the application subject to the conditions as outlined in the original application of Use Permit No. 1137, as follows:

Motion
Second
All Ayes

1. That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students.
2. That students not be allowed to cross the street on foot.
3. That the school activity and playground area be fenced.
4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department.
5. Approved as a private school until May 20, 1973, in accordance with plot plan submitted.

Item 5.

USE PERMIT NO. 1479

Request to permit a rooftop heliport in Newport Center.

CONTINUED UNTIL JUNE 4

Location: Portion of Block 93, Irvine's Sub-division, located on the northwest corner of San Nicolas Drive and future Avocado Drive.

Zone: C-O-H-UL

Applicant: E. O. Rodeffer, Corona del Mar

Owner: The Irvine Company, Newport Beach

Mr. Rodeffer was present at the meeting and addressed the Commission. The helicopter is used exclusively for their business, real estate and land development, and will not be used by other tenants of the building. They are moving their headquarters from Arcadia, where they had a similar operation, without complaints, to Newport Beach and anticipate making about two flights per day. They do use the helicopter occasionally as a public service, such as

CITY OF NEWPORT BEACH

May 14, 1970

TO: Planning Commission
FROM: Planning Department
SUBJECT: Amendment to Use Permit No. 1137
Request to permit expansion of an existing private school.
LOCATION: Portion of Lot 1014 of the First Addition to Newport Mesa Tract, located at 1541 Monrovia Avenue on the west side of Monrovia Avenue between 15th Street and 16th Street.
ZONE: M-1-A
APPLICANT: Corelco, Newport Beach
OWNER: Same as applicant.

Application

This application requests permission to expand the existing Carden Hall School in three phases, utilizing a total of five acres. A use permit is required in accordance with Section 20.08.080 of the Municipal Code.

Subject Property and Surrounding Land Use

The subject property is located in an M-1-A District that is almost completely developed with light manufacturing uses in modern buildings. However, the Seacliffe Trailer Park is situated diagonally across Monrovia Avenue from the main building of Carden Hall School and there are some single family dwellings southerly of the school facing on Monrovia Avenue.

The site of the proposed expansion presently has an old abandoned dwelling on it. The property is fenced and is immediately south of the Bartell Corporation.

All street improvements, including curb, gutter and sidewalk, are existing.

Analysis

Use Permit No. 1137 permitting a private school in an M-1-A District was approved by the Planning Commission on May 20, 1965, subject to the following conditions:

TO: Planning Commission - 2.

1. That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students.
2. That students not be allowed to cross the street on foot.
3. That the school activity and playground area be fenced.
4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department.
5. Approved as a private school for a period of four years, in accordance with plot plan submitted.

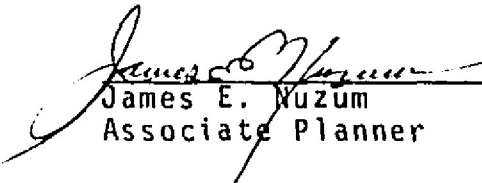
On April 29, 1969 the use permit was extended for four years by the Modifications Committee.

The expansion of the school would take place in three phases. Phase #1 calls for one building 40 feet by 134 feet. Phase #2 calls for an addition to building No. 1 of 40 feet by 80 feet. Phase #3 includes a gymnasium and a swimming pool.

At present there is parking provided for 50 cars; under the proposed expansion there would be 79 parking spaces provided. The applicants wish to defer construction of some of the parking spaces until the completion of Phase #3. The City has no specific requirements for parking in conjunction with a school.

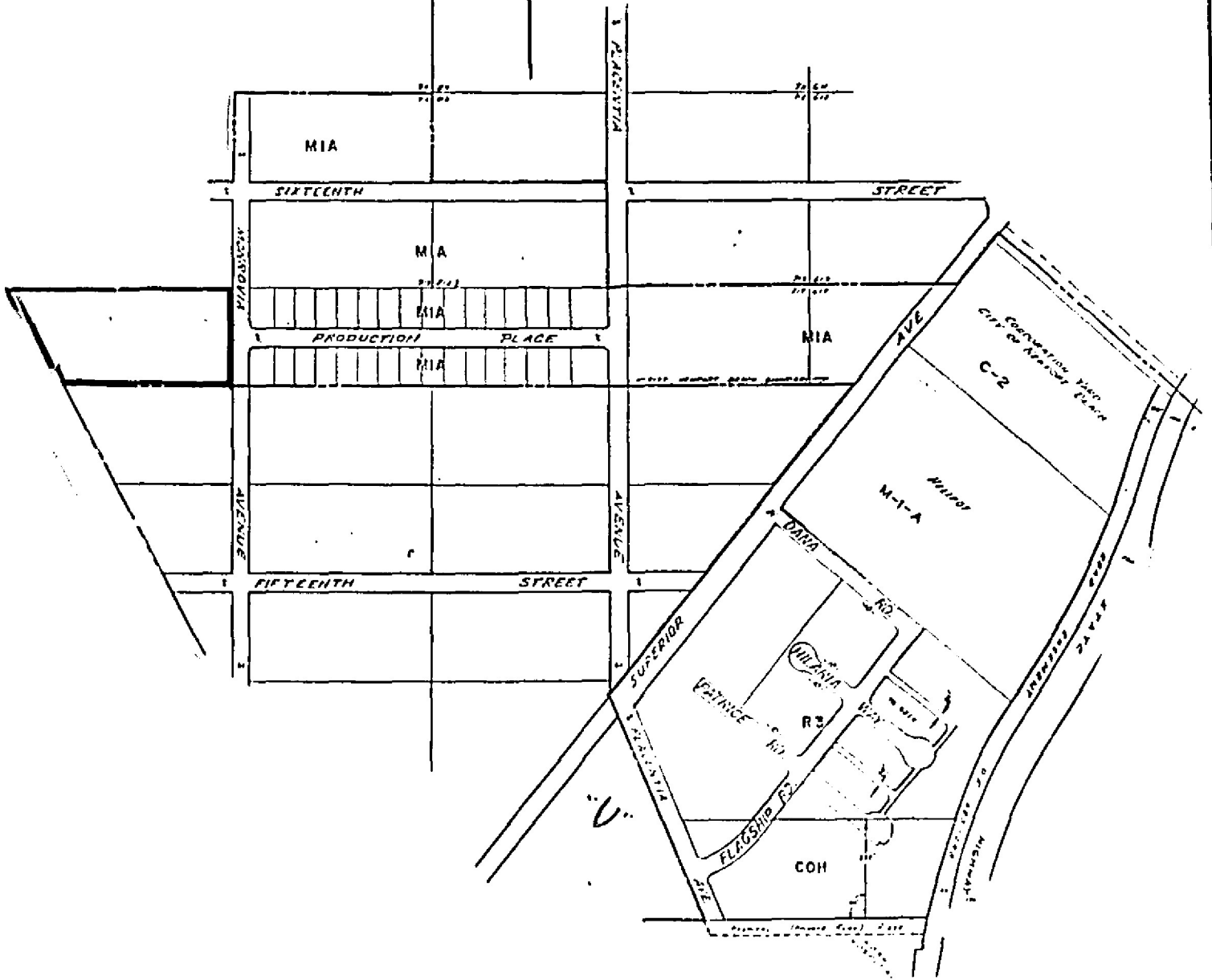
Recommendation

The school has proven to be a good neighbor at its present location and staff feels that the proposed expansion is in order and recommends approval of this application subject to the condition as originally outlined.


James E. Nuzum
Associate Planner

JEN:hh

Attachments: Vicinity Map
Plot Plan



AMENDMENT
TO U.P. 1137

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Newport Beach will hold a public hearing on the application of

CORELCO

for a Variance Amendment to Use Permit No. 1137

on property located at 1541 Monrovia, Newport Beach

to permit expansion of an existing private school located in an M-1-A District.

Notice is hereby further given that said public hearing will be held on the 21st day of May 19 70, at the hour of 8:00 P.M. in the Council Chambers of the Newport Beach City Hall, at which time and place any and all persons interested may appear and be heard thereon.

Don R. Adkinson, Secretary
Newport Beach City
Planning Commission

Publication Date May 7, 1970
Received for Pub. May
By Don R. Adkinson

**AFFIDAVIT OF PUBLICATION
NEWPORT HARBOR ENSIGN**

STATE OF CALIFORNIA }
County of Orange } ss.

I, ARVO E. HAARA, being first
duly sworn, and on oath depose and say that I am the
printer and publisher of the Newport Harbor Ensign, a
weekly newspaper printed and published in the City of
Newport Beach, County of Orange, State of California,
and that the NOTICE OF PUBLIC HEARING

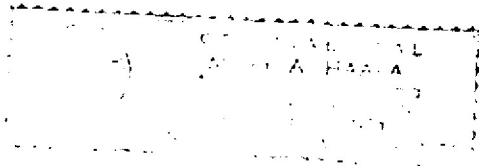
..... of which
copy attached hereto is a true and complete copy, was
printed and published in the regular issue(s) of said
newspaper, and not in a supplement, 1 consecu-
tive times: to-wit the issue(s) of

May 7, 1970

(Signed) Arvo E. Haara

Subscribed and sworn to before me this 15th day of
May, 1970

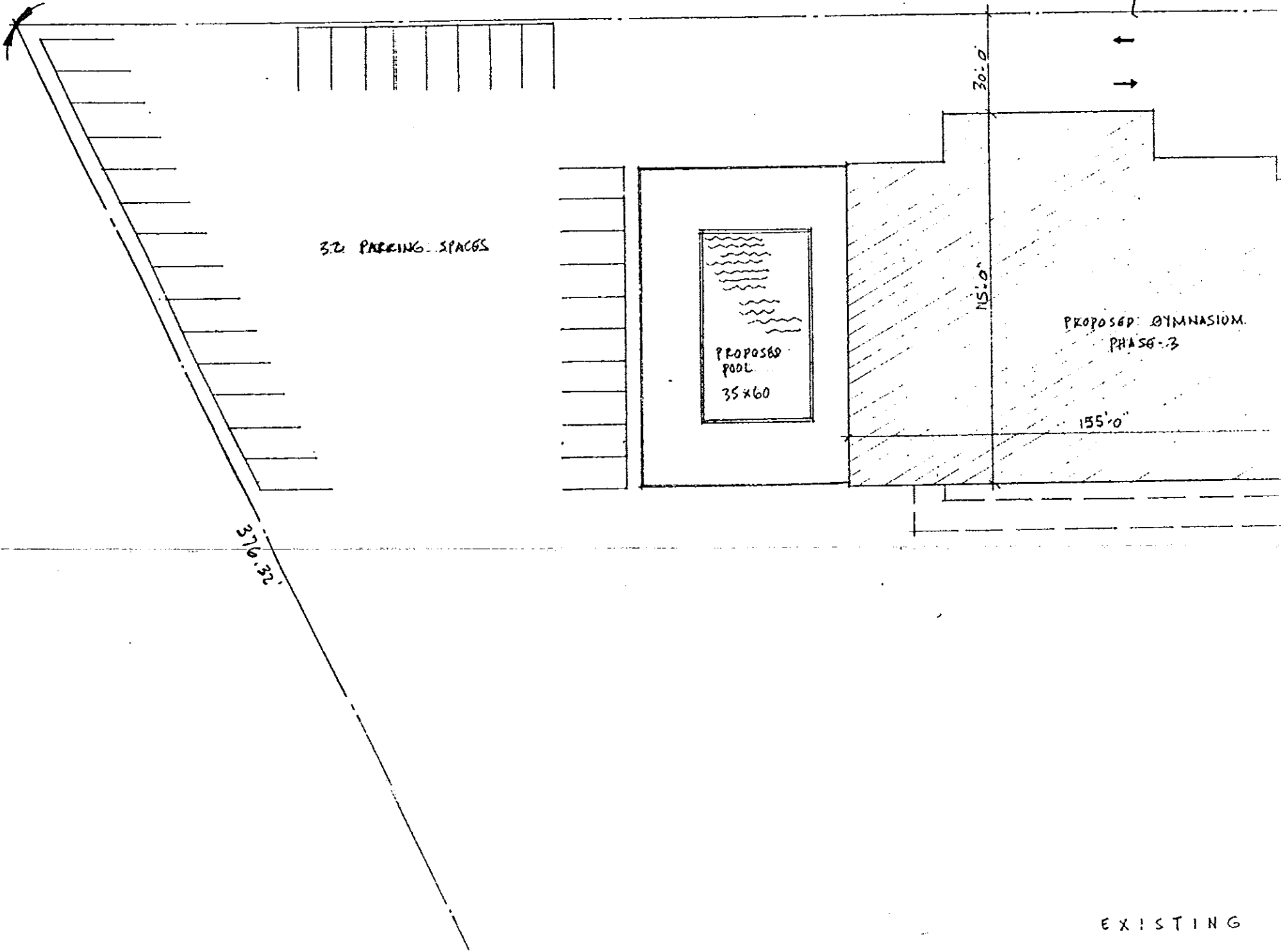
Mary A. Haara
Notary Public in and for the
County of Orange, State of California.



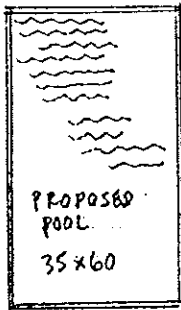
LEGAL NOTICE

NOTICE OF PUBLIC HEARING
Notice is hereby given that the
Planning Commission of the
City of Newport Beach will hold
a public hearing on the applica-
tion of CORELCO for Amend-
ment to Use Permit No. 1137
on property located at 1541
Monrovia, Newport Beach, to
permit expansion of an existing
private school located in an
M-1-A District.
Notice is hereby further given
that said public hearing will be
held on the 21st day of May,
1970, at the hour of 8:00 p.m.
in the Council Chambers of the
Newport Beach City Hall, at
which time and place any and
all persons interested may ap-
pear and be heard thereon.
Don R. Adkinson, Secretary
Newport Beach City
Planning Commission
Publish: May 7, 1970, in
the Newport Harbor Ensign.

Use Permit # 1137 A



32 PARKING SPACES



30'-0"

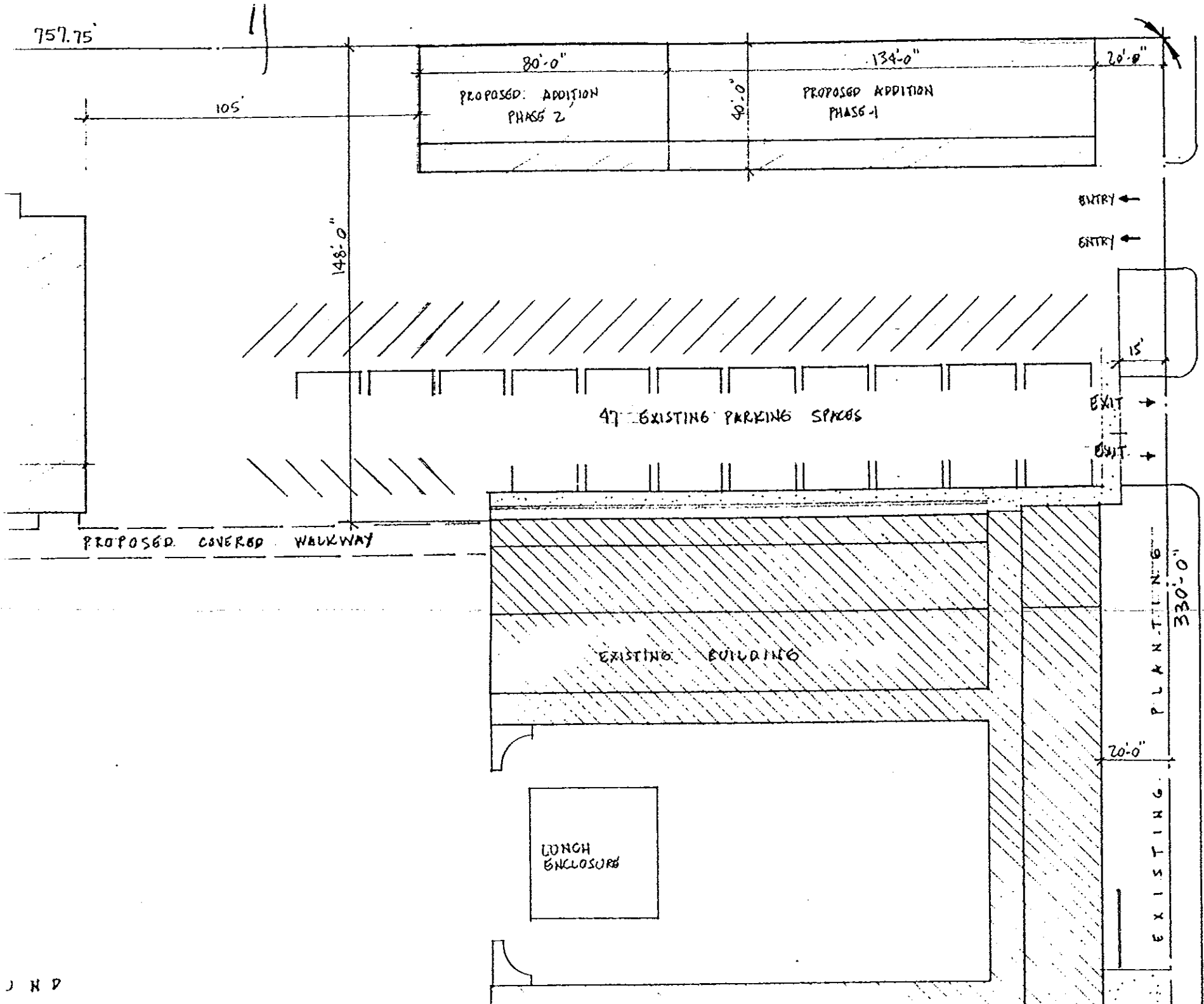
15'-0"

PROPOSED GYMNASIUM
PHASE-3

155'-0"

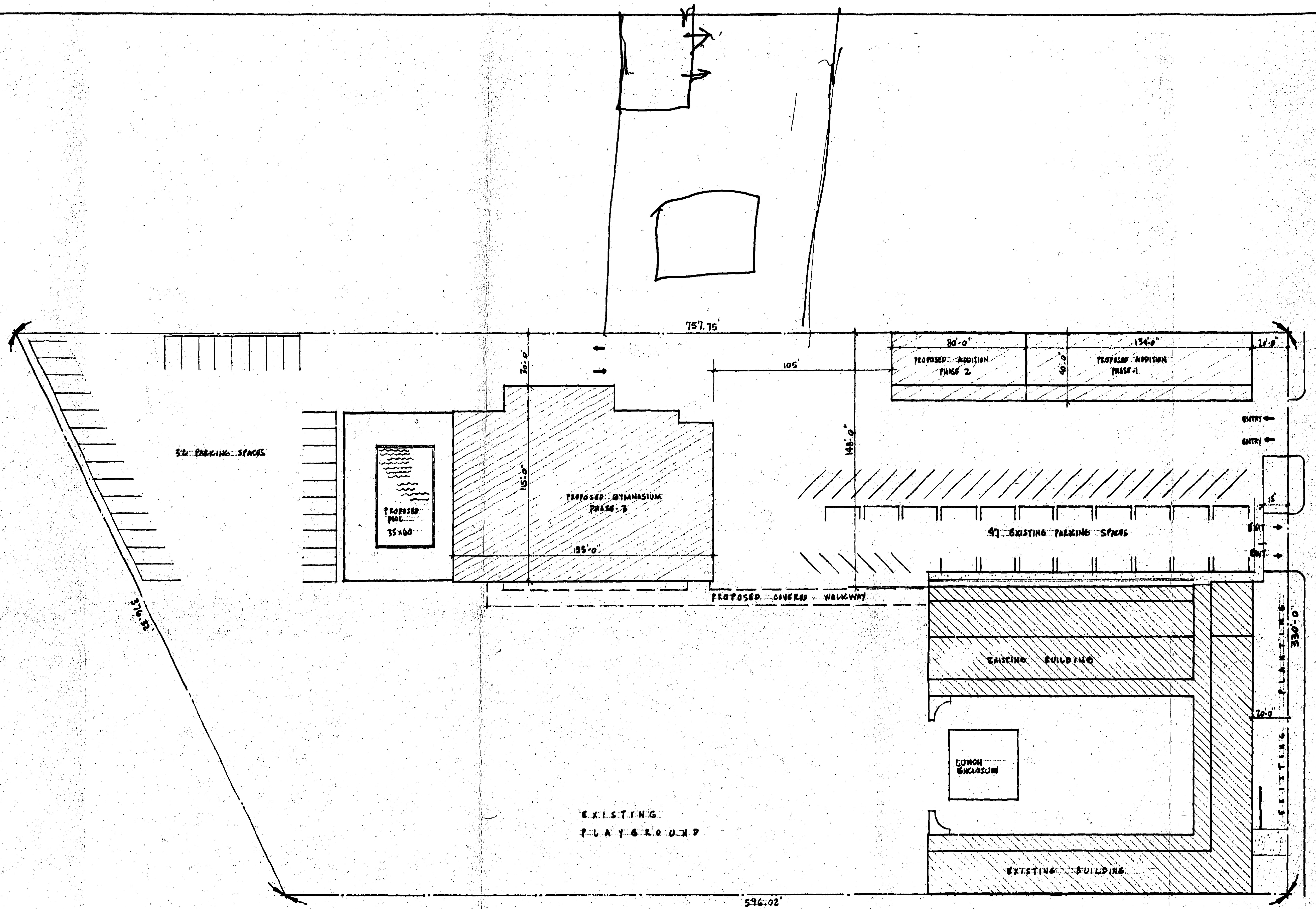
276'-32"

EXISTING



M O N Z O Y I A S T

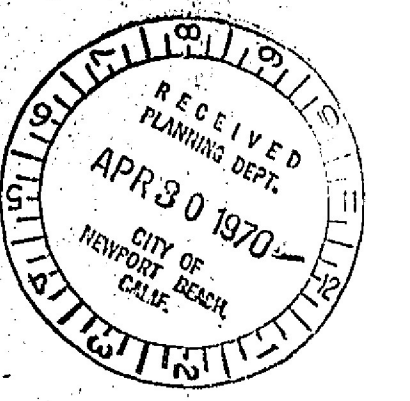
J R P



PLANT PLAN 1/30'

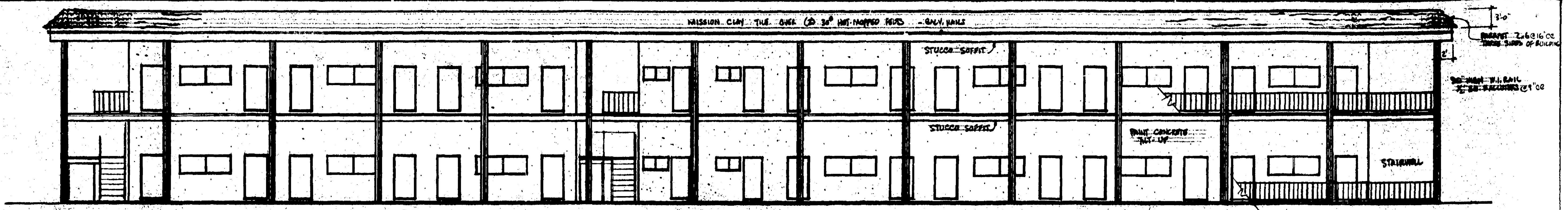


M O N T O R Y I A S I

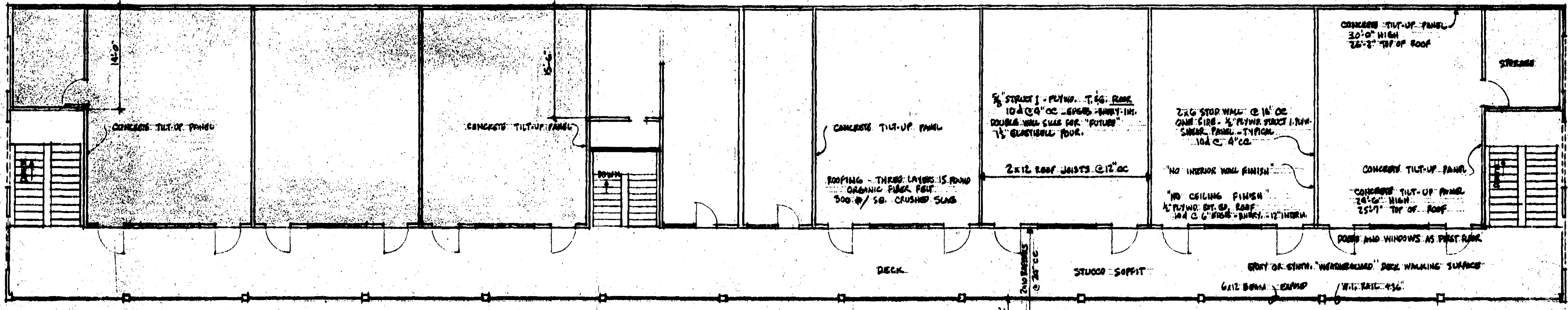


CLASSROOM - ADDITION
 CARDEN HALL SCHOOL

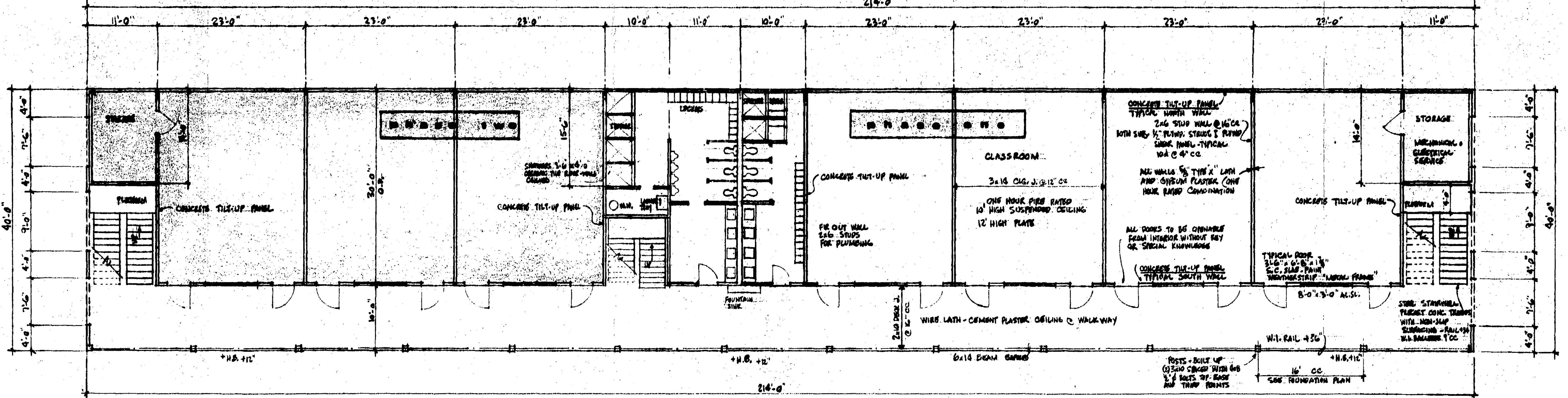
1541 - MINORVIA - NEWPORT BEACH, CALIF.
 Use Permit # 1137 A
 Pg. 1 of 3



SOUTH ELEVATION



SECOND FLOOR PLAN

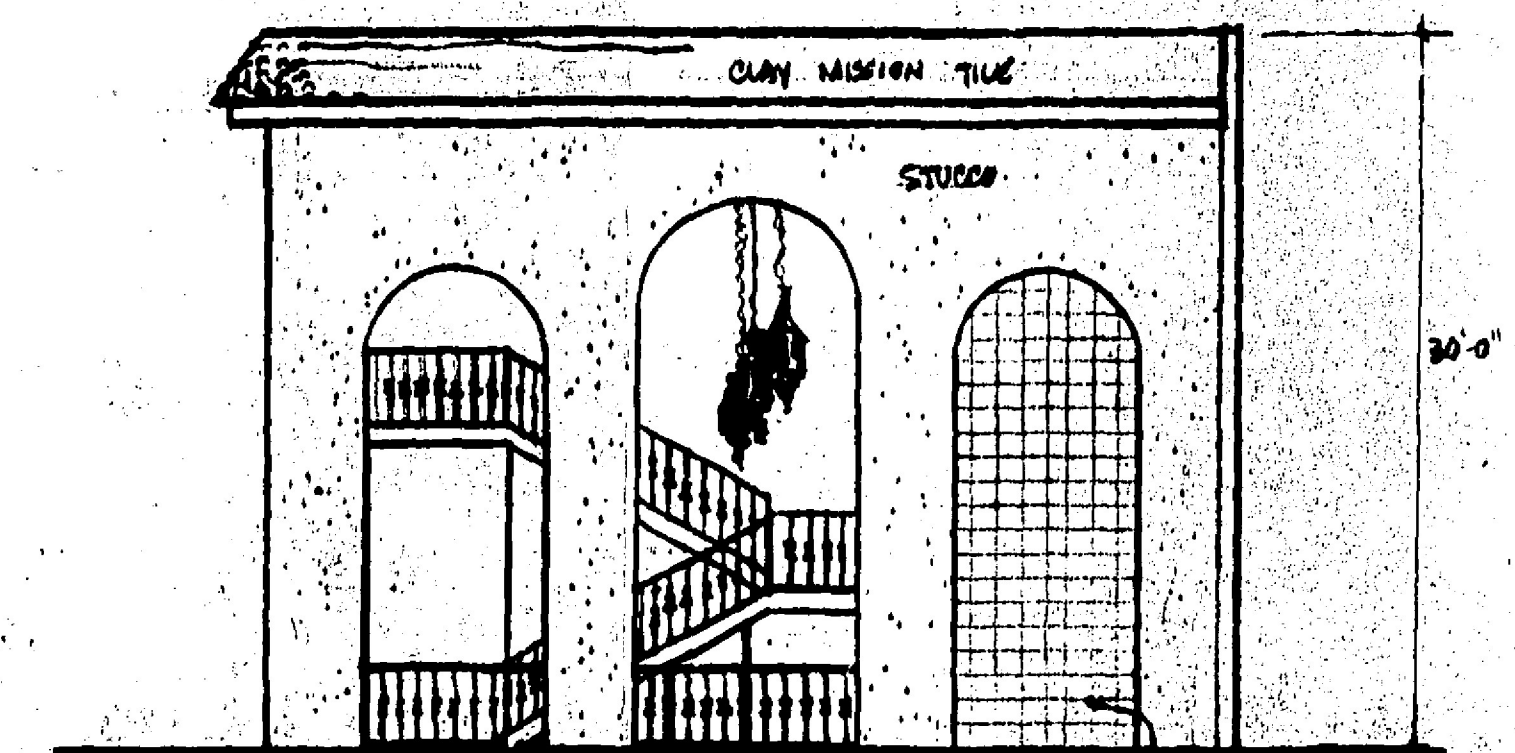


FIRST FLOOR PLAN

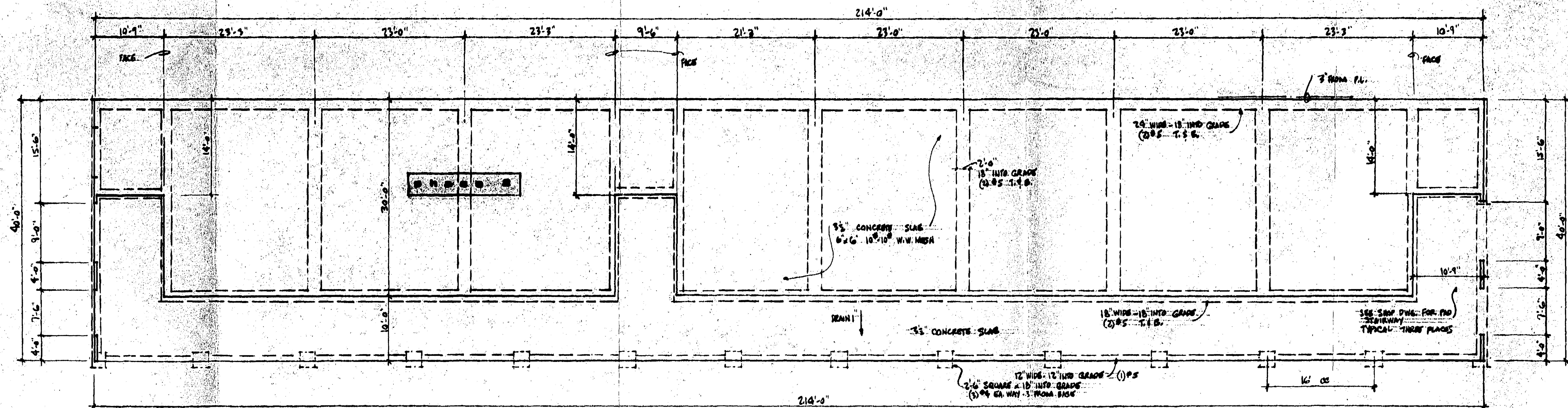
SQUARE FOOTAGE:
 FIRST FLOOR CLASS ROOMS - 4930
 TOILET ROOMS - 630
 STORAGE-EQUIPMENT - 448

CLASSROOM ADDITIONS
CARDEN HALL SCHOOL

1541 MANROVIA, NEWPORT BEACH, CALIF.
 Use Permit # 1137A
 Pg. 2 of 3



EAST ELEVATION



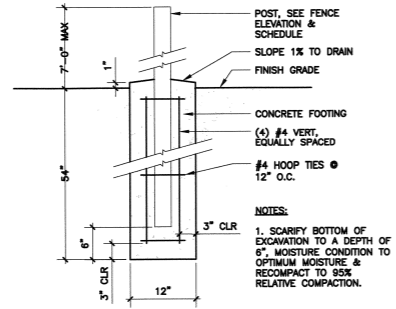
FOUNDATION PLAN

CLASSROOM ADDITION
 GARDEN HALL SCHOOL

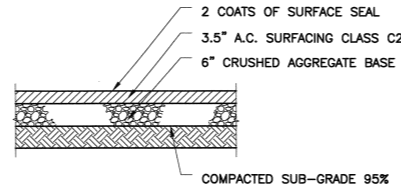
154 MONROVIA - NEWPORT BEACH - CALIF.
 Use Permit # 1137A

Attachment No. CD 3

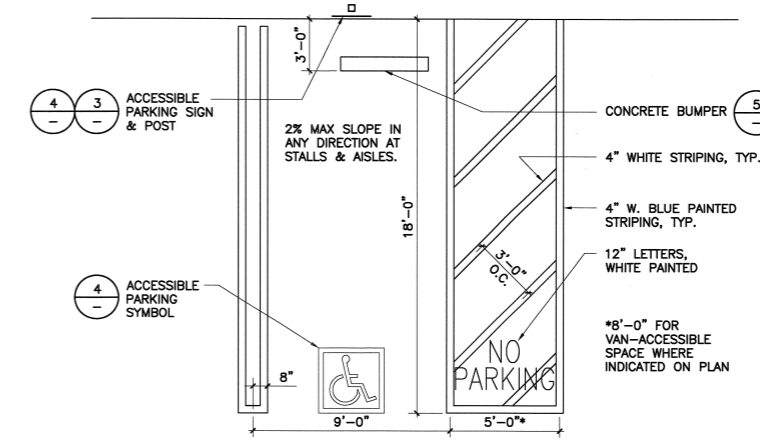
Project Plans



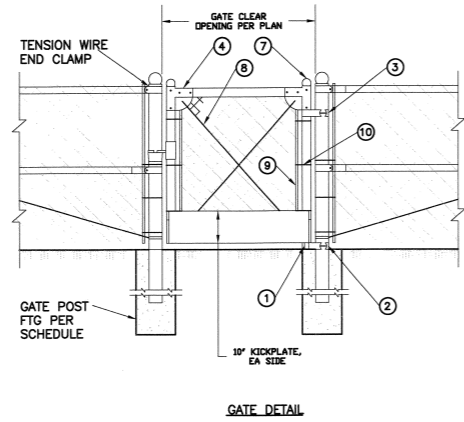
10 FENCE POST FOOTING
SCALE: 3/4"=1'-0"



7 ASPHALT PAVING
SCALE: 1/4"=1'-0"



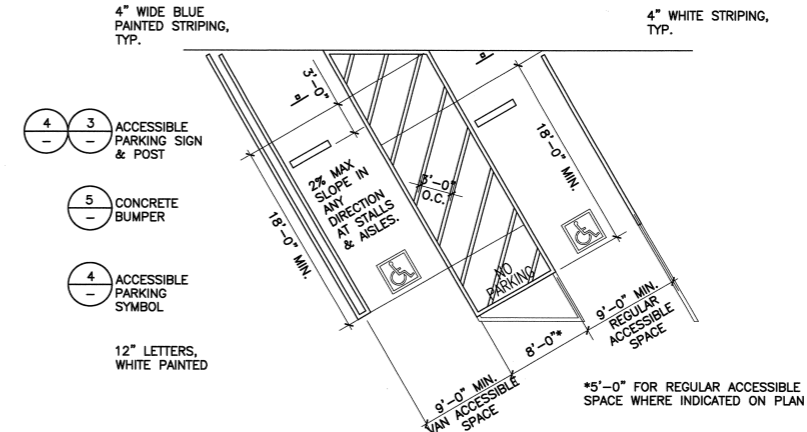
1 ACCESSIBLE PARKING STALLS
SCALE: 1/4"=1'-0"



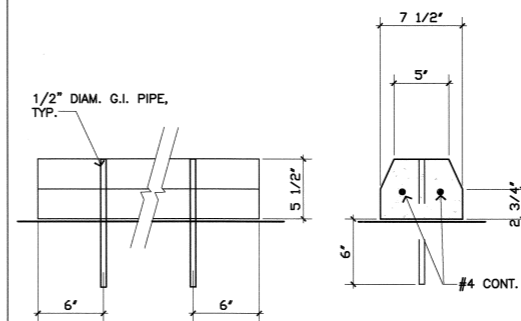
11 CHAIN LINK FENCE GATE
SCALE: N.T.S.

LEGEND

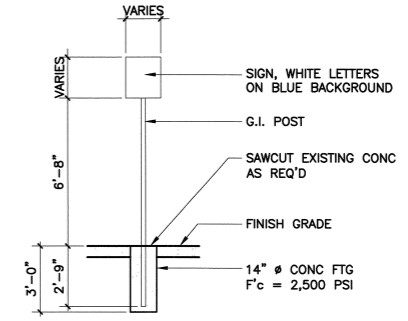
PART NO.	DESCRIPTION
1	STRAIGHT PLUG
2	BOTTOM HINGE
3	TOP HINGE
4	CORNER ELBOW
5	NOT USED
6	NOT USED
7	ORNAMENTAL TOPS
8	TRUSS RODS
9	STRETCHER BAR
10	HOOB BOLTS



2 ACCESSIBLE PARKING STALLS
SCALE: 1/8"=1'-0"



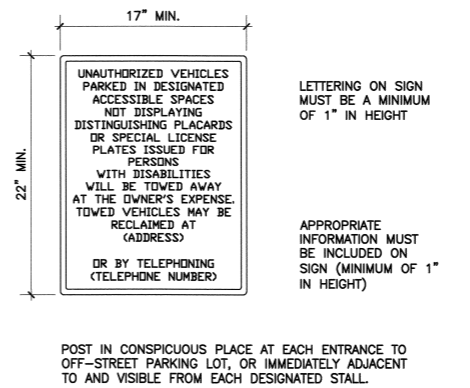
5 CONCRETE BUMPER
SCALE: 1 1/2"=1'-0"



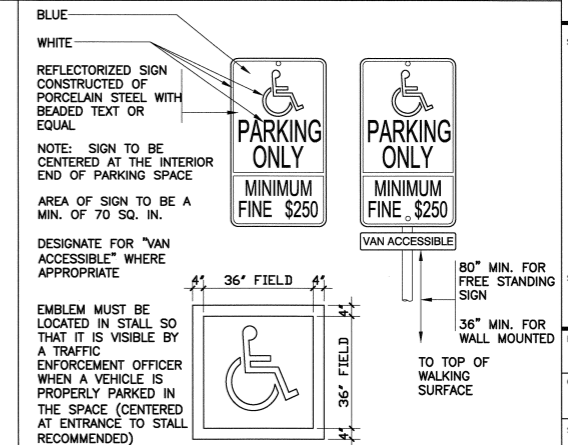
3 SIGN POST
SCALE: 1/4"=1'-0"

12 NOT USED
SCALE: 1 1/2"=1'-0"

8 NOT USED
SCALE: 1 1/2"=1'-0"



6 SITE ENTRANCE SIGN
SCALE: N.T.S.



4 PARKING SPACE SIGNAGE
SCALE: 1/2"=1'-0"

13 NOT USED
SCALE: 1 1/2"=1'-0"

9 NOT USED
SCALE: 1 1/2"=1'-0"

MODULAR BUILDING SITE INSTALLATION
CARDEN HALL

1541 MONROVIA ST.
NEWPORT BEACH, CA 90012

STEVEN FADER ARCHITECTS
www.stevenfaderarchitects.com
3780 Wilshire Blvd. Suite 1010
Los Angeles, CA 90010 213-383-1336



ISSUED FOR:
PLAN CHECK 4/29/2021

SITE DETAILS

SCALE: NA

DATE:

CAD FILE: CAD_FILE

PROJ. NO.:

SHEET NO.

A-052

DRAWING INDEX

- SHEET 1: SPECIFICATIONS AND CONDITIONS
- SHEET 2: FLOOR PLAN, STRUCTURAL LEGEND, DOOR, WINDOW, PLUMBING SCHEDULES, PLUMBING FIXTURE DETAILS
- SHEET 3: ELECTRICAL PLAN, ELECTRICAL SCHEDULE, ELECTRICAL CALCS AND ELECTRICAL NOTES
- SHEET 4: REFLECTED CEILING PLAN, DETAILS, PLUMBING SCHEMATICS
- SHEET 5: HVAC PLAN, HVAC SCHEDULE
- SHEET 6: EXTERIOR ELEVATIONS, BUILDING CROSS-SECTION

DEALER:
MOBILE MODULAR
PROJECT:
NEWPORT BEACH CLASSROOM
36 X 60
PMI-4943-3660

MANUFACTURER:	
MANUFACTURER & ADDRESS	PHOENIX MODULAR 5301 W. MADISON ST. PHOENIX, AZ, 85043 PHOENIXMODULAR.COM
SEE WEBSITE FOR WARRANTY INFORMATION	
DESIGN CRITERIA / LOADS:	
NO OF MODULES	3
BUILDING SQ.FT.	2160
TYPE OF CONSTRUCTION	VB
OCCUPANCY USE GROUP	E (Ages 5 thru 8)
OCCUPANCY LOAD	75 (Classrooms) 4 (Remainder)
FLOOR LIVE LOAD	79 Total 50 psf. (2000 lb concentrated) (100 psf. @ corridor)
ROOF LIVE LOAD	20 psf.
ROOF DEAD LOAD	10 psf.
ROOF SNOW LOAD	20 psf.
WIND LOAD	2019 CBC - 115 MPH, EXP. C
OCCUPANCY/RISK CATG. SEISMIC	II Sp=3, T30, S1=1, 389 Site Class 'D' Design Category 'E'
PERMISSIBLE GAS TYPE	N/A
CLIMATE ZONE	9
NAME AND DATE OF CODES	CA: 2019 CBC, 2019 CPC, 2019 CMC, 2019 CEC, 2019 CA Energy, & 2019 CBC Chapter 11B Accessibility

PHOENIX MODULAR

5301 W. MADISON ST. - PHOENIX, AZ 85043
PH: 602-447-6460 FAX: 602-447-6461

SUNBELT MODULAR, INC.

AMTEX | INDCOM | PHOENIX | M.B. STEEL

SPECIAL CONDITIONS AND OR LIMITATIONS:

SPRINKLERS REQUIRED: NO
 INSTALLED AT: N/A
 CONTRACTED BY: N/A
 INSTALLED BY: N/A

RED TAG:

SITE INSTALLED FIRE ALARM

- NOT INCLUDED IN SCOPE OF WORK:**
1. PORCHES, STEPS, AND RAMPS TO BE SUPPLIED AND INSTALLED BY OTHERS IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT
 2. PORTABLE FIRE EXTINGUISHERS TO BE SUPPLIED AND INSTALLED ON SITE BY OWNER IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT
 3. ACCESSIBLE DRINKING FOUNTAIN TO BE PROVIDED ON SITE BY OWNER LOCATED WITHIN 500 FEET ON AN ACCESSIBLE ROUTE
 4. ADDITIONAL HANDICAP TOILET FACILITIES PROVIDED IN ADJACENT BUILDING ON THE SAME PROPERTY LOCATED WITHIN 500 FEET ON AN ACCESSIBLE ROUTE
 5. SERVICE SINK PROVIDED IN ADJACENT BUILDING ON THE SAME PROPERTY
 6. ANY REQUIRED FIRE/SMOKE DETECTION AND/OR SUPPRESSION TO BE INSTALLED BY OTHERS ON SITE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT
 7. THE BUILDING OWNER IS RESPONSIBLE FOR THE DEVELOPMENT & DESIGN OF ALL SITE REQUIRED ACCESSIBILITY ELEMENTS. THESE ELEMENTS ARE NOT INCLUDED IN THE SCOPE OF THIS DESIGN. SUBMITTALS ARE REQUIRED BY OWNER THROUGH THEIR DESIGN PROFESSIONAL.

IDENTIFICATION:

DATA PLATE AND STATE DECAL TO BE LOCATED ON LOWER RIGHT HAND CORNER OF THE ENDWALL OPPOSITE THE HITCH END OF THE MODULE.

- NOTES:**
1. SITE PLAN NOT AVAILABLE AT THIS TIME. BUILDING DESIGNED TO HAVE FIRE SEPARATION DISTANCE GREATER THAN 10 FT. TO PROPERTY LINES AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS.
 2. THIS PLAN MAY BE REVERSED AND/OR MIRRORRED.
 3. SEE STRUCTURAL PACKAGE FOR ALL STRUCTURAL STANDARDS AND DETAILS.
 4. COMPLIANCE WITH HCD IGNITION RESISTANT CONSTRUCTION SYSTEM REQUIREMENTS? (CBC CHAPTER 7A) NO
 5. TO BE INSTALLED ON A PERMANENT FOUNDATION? NO
 6. THIS BUILDING IS DESIGNED TO COMPLY WITH THE COMMERCIAL MODULAR REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS TITLE 25.

STATE REQUIRED INFORMATION ON USE AND LOCATION OF FACTORY-BUILT BUILDING

1. PROPOSED ADDRESS: 1541 MONROVIA AVE
- AND/OR LOCATION OF UNIT: NEWPORT BEACH, CA 92633
2. EXPLANATION OF BUILDING USE: CLASSROOMS
3. SET TYPE: PAD/PIER PIT SET
ASSUMED F.F. TO BE 4" A.F.G.

- APPROVED
 - APPROVED EXCEPT AS NOTED
 - REVISE AND RESUBMIT
- BY: _____ DATE: _____
- "PLEASE REVIEW DRAWINGS AND SPECIFICATIONS CAREFULLY. WHILE EVERY EFFORT IS MADE TO ASSURE THE DRAWINGS REFLECT THE EXPECTATIONS AND QUOTATION, THE FINAL CONSTRUCTION WILL BE BASED SOLELY ON THE SPECIFICATIONS AND DRAWINGS APPROVED."

THESE DRAWINGS REMAIN THE PROPERTY OF PHOENIX MODULAR AND ARE NOT TO BE USED IN ANYWAY WITHOUT WRITTEN PERMISSION.

DEALER:
MOBILE MODULAR

PROJECT:
NEWPORT BEACH CLASSROOM

STATES:
CALIFORNIA

SERIAL NUMBERS:
PMI-4943-3660

DRAWN BY:
RH / KT

PLOT DATE:
5/13/2021

REV # / DATE:
01 04/20/2021 PR# 4 & 5
02 04/21/2021 PR# 8
03 04/27/2021 PR# 9

FINAL RELEASE

5/13/2021

PRODUCTION SET

R. MARK STEELE, P.E.
 CORPORATE ENGINEER
 SUNBELT MODULAR, INC.
 5301 W. MADISON ST.
 PHOENIX, AZ, 85043
 (602) 327-4769

SHEET:

1
OF
6

FRAME / CHASSIS:

Frame Type: Basement (CH2)
 Quantity: (3) EA
 Size: 11'6" X 60'-0"
 Type: Outrigger @ 96" O.C.
 Crossmember @ 96" O.C.
 Module line Clips @ 96" O.C.
 Main Rails @ 99' 1/2" O.C.

Beam Size: 12" Jr. I-beam
 Axles: Five 6000# rated with (All) brake
 Module 1: Qty: Five 6000# rated with (All) brake
 Offset: 4" (Toward sidewall) See Detail 1/1
 Module 2: Qty: Quad 6000# rated with (All) brake
 Offset: None
 Module 3: Qty: Quad 6000# rated with (All) brake
 Offset: 4" (Toward sidewall) See Detail 1/1

Hitch: Detachable with Standard Hitch
 Tires: 8x14.5 14 ply rated

Additional Frame / Chassis Items Included in Quoted Price:
 Item 1: None

FLOOR CONSTRUCTION:

Floor Joist: 2X8 #2 HF equal or better
 Joist Length: 133-7/8"
 Joist Spacing: 16" O.C.
 Floor: Single layer 3/4" T&G Plywood.
 Insulation: R-19 unfaced fiberglass batt
 Bottom: Reinforced Plastic

Additional Floor Items Included in Quoted Price:
 Item 1: N/A

EXTERIOR WALL CONSTRUCTION:

Framing: Stud: 2X4 #2 HF equal or better @ 16" O.C.
 Top Plate: Double 2X4 #2 HF equal or better
 Bottom Plate: Single 2X4 #2 HF or better
 Header: (2) 2x4 header with (1) 1/2" shim at all exterior openings (UNO)
 Insulation: R-13 Kraft back fiberglass batt
 Siding Type: 3/8" LP Smart-panel vertical siding (8" grooves) with barricade wrap underlayment.
 Sidewall Height: See cross section for heights

INTERIOR WALL CONSTRUCTION:

Framing: Stud: 2X4 #2 HF equal or better @ 16" O.C.
 Top plate: Single 2X4 #2 HF equal or better (Double as needed)
 Bottom plate: Single 2X4 #2 HF or better bottom plate
 Stud length: 92-5/8" (Ceiling Ht.)
 Insulation: R-11 unfaced battens (at Classroom walls only - see hatch) (Ceiling Ht.)

Additional Interior Wall Items Included in Quoted Price:
 Item 1: Full height walls (to rafters) between classrooms only for sound control.
 Item 2: See Post Detail 4/2 for Post #3.

ROOF CONSTRUCTION:

Roof Type: Complex
 Roof Slope: 1/4 in 12
 Rafter size: 2X8 #2 HF equal or better
 (Roof diaphragm chord strap 'ST2215' at rafters installed on-site, see 5/2)
 Rafter Length: MOD 1 & 3: 135' 1/2"
 MOD 2: 134"
 Spacing: 16" O.C.
 Mate Beam: Multi-layer plywood
 Height: 20" to 27' 1/2" to 20"
 Length: 60'
 No. of Layers: 3
 No. of Beams: 4
 Insulation: R-19 unfaced fiberglass batt with support netting
 Sheathing: 1/2" 24/0 Sheathing
 Roofing: 45 mil single ply EPDM over 1/2" Gypsum
 Color: White

Additional Roof Items Included in Quoted Price:
 Item 1: N/A

FINISHES:

FLOOR COVERING:

Type 1: 1/8" V.C.T. Tile to be 50% OFFSET.
 Location: (RESTROOMS ONLY)
 Color to be: (FORTRESS WHITE)
 26 oz. carpet.
 Location: (REMAINDER)
 Color to be: (RITZ BLITS 66764)

BASE:

Cove Base 1: 4" Vinyl cove.
 Location: (THRU-OUT)
 Color to be: (BROWN 47)

WALLS:

Covering 1: 1/2" VINYL TACKBOARD (CHATFIELD CLARKE GROUP 1 TYPE 1) over 1/2" raw gypsum. VCG only on Corridor 105 side and Office 106 side of walls.
 Location: (CLASSROOMS ONLY) - see hatch
 Covering height: 8'
 Color to be: (SNOWBANK)
 Location: (REMAINDER)
 Covering height: 8'
 Color to be: (TIKI GRASS CHALK)

Covering 3: Standard FRP panels (per code)
 Location: (Restrooms)
 Covering height: 4'
 Color: (White)

TRIM:

Wall Trim 1: Vinyl Covered batt strips at all tackboard seams (Classrooms only)
 Color to be: (SNOWBANK)
 Wall Trim 2: Vinyl Covered trim
 Color to be: (To match VCG)

CEILING:

Type 1: 2x4 HEAVY DUTY T-Grid w/ Struts & wires (Armstrong Tile #769A or Equal)
 Height: 7'-10"
 Installed at factory, held back at module lines.
 Completion of ceiling installation on-site by others; not in PMI's scope.

EXTERIOR:

Siding body: Color: (BEHR BENNINGTON GRAY) 8' sheets
 Hood: Color: (BEHR MIDSUMMER NIGHT)
 Corner trim: Color: (BEHR MIDSUMMER NIGHT)
 Door & window trim: Color: (BEHR MIDSUMMER NIGHT)
 Bottom horizontal trim: Color: (BEHR MIDSUMMER NIGHT)
 Intermediate horizontal trim: Color: (BEHR MIDSUMMER NIGHT) separates hood & body
 Top horizontal trim: Color: (BEHR MIDSUMMER NIGHT)
 Module line trim: Color: (Match hood above intermediate horizontal trim & match body below)
 All paint to be: COLOR MATCH WITH GLIDDEN (Satin Finish)

EXTERIOR/INTERIOR DOORS: (SEE DOOR SCHEDULE)

WINDOWS: (SEE WINDOW SCHEDULE)

CLOSEUP:

Type: Medium
 Notes: Module WILL NOT exceed 12'-0" (Except door hardware)

APPLIANCES:

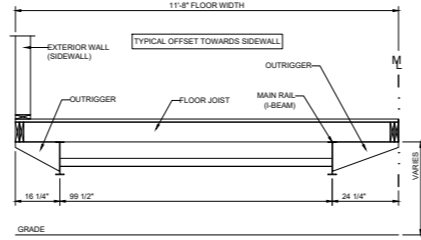
None provided

ACCESSORIES:

None provided

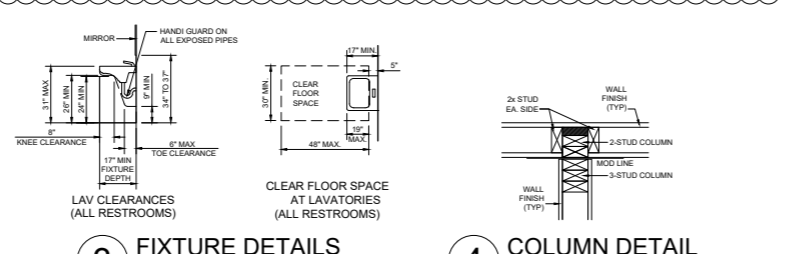
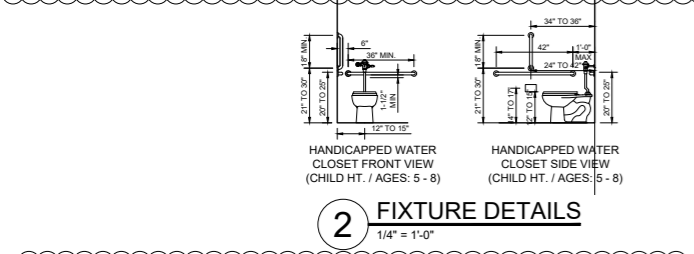
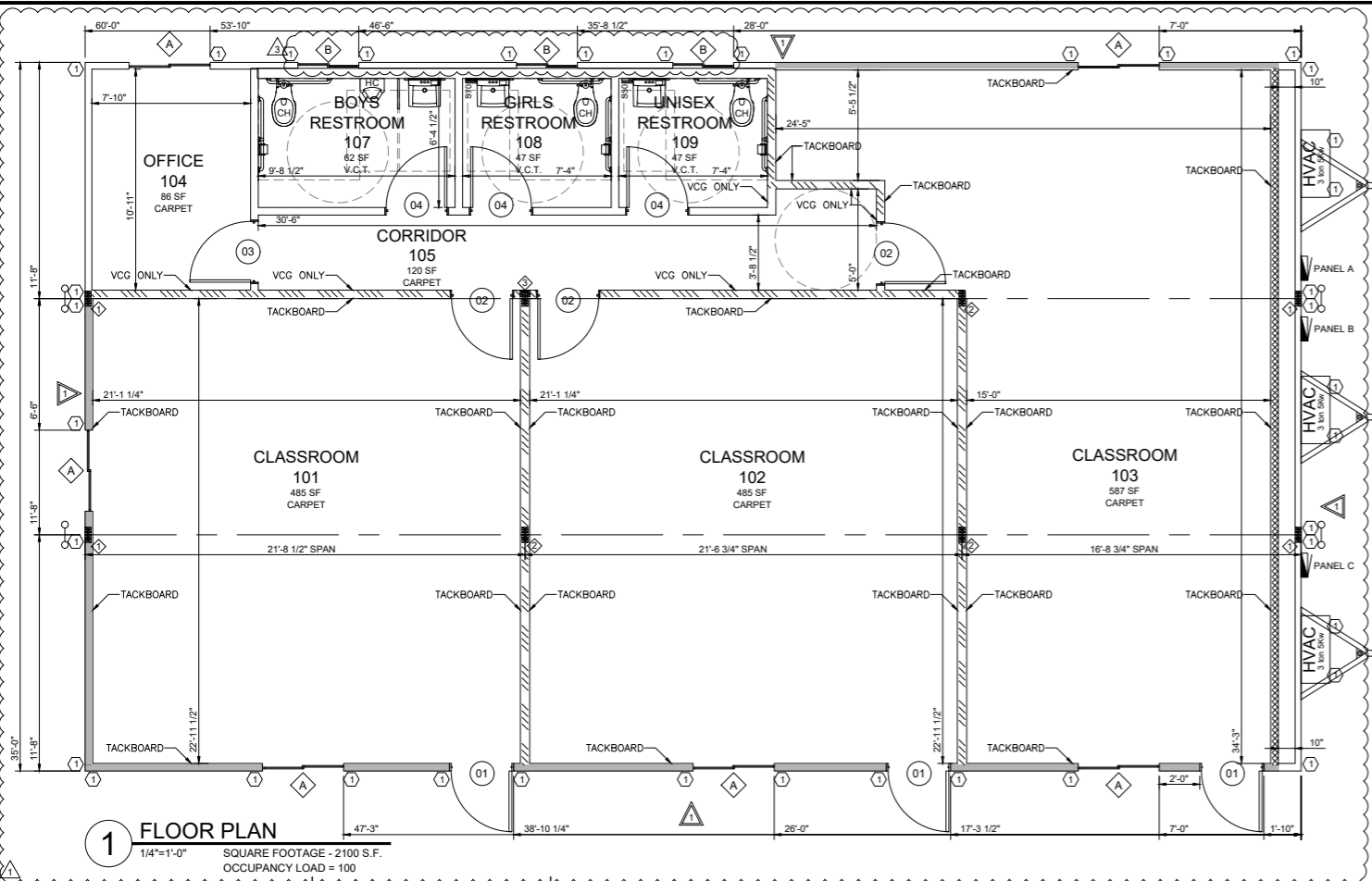
SKIRTING:

None provided



1

AXLE OFFSET
3/8" = 1'-0"



WINDOWS:

Qty	NO.	Type	Glazing	Size	Rough Opening	U-Factor	SHGC	Mini-Blind	Notes
6	A	PARAMOUNT VINYL FINISH (WHITE) HORIZONTAL SLIDER	CLEAR, DUAL GLAZED, 16 LITE FRENCH GRID	45X30	46" x 36"	0.31	0.20	NONE	HEADER AT 81" AFF
3	B	WHITE VINYL HORIZONTAL SLIDER	CLEAR, DUAL GLAZED, LOW-E	30X18	30" x 18"	0.31	0.22	NONE	HEADER AT 81" AFF

DOORS:

Qty	NO.	Type	Jamb	Wall Thickness	Glazing	Size	Rough Opening	U-Factor	Color	Closer	Deadbolt	Hardware	Fire Rating	Keying	Notes
3	01	STEEL INSULATED 18 GA. BRONZE	TELL 18 GA. BRONZE	4.78"	24" X 60" FRENCH 15 LITE KIT, DUAL GLAZED	30X68	38" x 81"	0.31	BEHR MIDSUMMER NIGHT (SAME BOTH SIDES)	HYDRAULIC	NONE	CLASSROOM LOCK, GRADE 2	NONE	ALKE	SWP CAP (2) STD & (1) NRP HINGE, WEATHERSTRIPPING, THRESHOLD & DOOR SWEEP
3	02	PREFINISHED WOOD HOLLOW CORE	TIMELY METAL JAMB BROWN/TONE	5"	NONE	30X68	37 1/2" x 81 1/4"	N/A	LEGACY OAK	NONE	NONE	PASSAGE LEVER, TELL, GRADE 2	NONE	N/A	HINGES & WALL MOUNT STOPS
1	03	PREFINISHED WOOD HOLLOW CORE	TIMELY METAL JAMB BROWN/TONE	4 1/2"	NONE	30X68	37 1/2" x 81 1/4"	N/A	LEGACY OAK	NONE	NONE	KEYED LEVER, GRADE 2 (WITH SHIMS)	NONE	SEPERATE	HINGES & WALL MOUNT STOPS
3	04	PREFINISHED WOOD HOLLOW CORE	TIMELY METAL JAMB BROWN/TONE	4 1/2"	NONE	30X68	37 1/2" x 81 1/4"	N/A	LEGACY OAK	NONE	NONE	PRIVACY LEVER, TELL, GRADE 2 (WITH SHIMS)	NONE	N/A	HINGES & WALL MOUNT STOPS

STRUCTURAL LEGEND

"ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH & ALL EXTERIOR DIMENSIONS ARE FROM STUD TO STUD"

Symbol	Description	Qty
(A)	SHEARWALL TAG (SEE STRUCTURAL PACKAGE FOR DESCRIPTION, SEE SHEET 24)	TYP @ 4 LOCATIONS
(X)	HOLD DOWN TAG (SEE STRUCTURAL PACKAGE FOR DESCRIPTION, SEE SHEET 24)	TYP @ 40 LOCATIONS
(O)	DIAHRAGM CHORD TIE (SIMPSON ST2215) (SEE DETAIL 52)	TYP @ 4 LOCATIONS
(1)	(3) 2x4 HF #2 POST ON EACH SIDE OF MODLINE W/ BLOCKING UNDER POST (TYP. #3 HOLD-DOWN STRAP @ TOP & BOTTOM)	TYP @ 4 LOCATIONS
(2)	(3) 2x4 HF #2 POST ON EACH SIDE OF MODLINE W/ BLOCKING UNDER POST (TYP. #3 HOLD-DOWN STRAP @ TOP & BOTTOM)	TYP @ 3 LOCATIONS
(3)	(1) 2x4 HF #2 POST ON CLASSROOM SIDE AND (4) 2x4 HF #2 POST ON CORRIDOR SIDE OF MODLINE (SEE DETAIL 42) W/ BLOCKING UNDER POST (TYP. #3 HOLD-DOWN STRAP @ TOP & BOTTOM)	TYP @ 1 LOCATIONS

HATCHING LEGEND:

2x4 WALLS (92 5/8" STUDS) w/ R-11 UNFACED CEILING HEIGHT INSULATION, CEILING HEIGHT 12" TACKBOARD OVER 1/2" RAW GYPSUM. SEAMS COVERED WITH VINYL COVERED BATTS.

2x4 EXTERIOR WALLS w/ CEILING HEIGHT 12" TACKBOARD OVER 1/2" RAW GYPSUM. SEAMS COVERED WITH VINYL COVERED BATTS.

2x4 WALLS (FULL HEIGHT) w/ FULL HEIGHT R-11 UNFACED INSULATION, CEILING HEIGHT 12" TACKBOARD (CLASSROOM SIDE) OVER 1/2" RAW GYPSUM. SEAMS COVERED WITH VINYL COVERED BATTS. 1/2" RAW GYPSUM REMAINDER WAY TO RAFTERS ON BOTH SIDES OF WALL. CEILING HEIGHT 1/2" VCG (RAW GYP. ABOVE) ON NON-CLASSROOM SIDE ONLY. SEE FLOOR PLAN.

PLUMBING:

Symbol	Type	Qty	Note	Description
WC	Water Closet	3	AS2599001.20 Low Flow ASS047.121.022 Flush Valve w/ Ferguson F-182 Outside Stem, ASS50g.055.020 Seat	Floor mid. ADA elongated chair height with flush valve and shut off valve / flush handle to be on open side of r. / (Factory standard) See Fixture Details 2/2 for mounting heights.
U	Urinal	1	Low Flow	Wall hung white vitreous with commercial grade flush valve w/ rim at 15" a.f.f. (Factory standard)
GB	Grab Bars	3		Set(s) with (1) each 42", 36" horizontal, and 18" vertical
PH	Paper Holder	3		Single roll wall mount toilet paper holder mid. ADA height (Factory standard)
L	Lavatory	3	Low Flow Mixing Valves	12" x 17" White vitreous wall hung with ADA handles and shut off valves mounted at child height. (Factory standard) See Fixture Details 3/2 for mounting heights.
M	Mirror	3		24"x38" w/ clips mid. 38" to bottom edge (Factory standard)
WH	Water Header	1	Chronomite: S30LMB120V or equal	Insta-Hot Chronomite S-30 (Electric - 120V)
WH	Water Header	1	Chronomite: S70WMD240V or equal	Insta-Hot Chronomite S-70 (Electric - 240V)
WA	Water Hammer	2	1"	Water hammer arrester
IS	In-line Strainer	1	2"	Strainer at supply entrance
S	Supply	1	Copper inlet	Type M copper or Pex
DW	DWV System	1		ABS Schedule 40 (Manifold is by others)
R.R. Sign	Door Mtd	1		Unisex ADA restroom sign w/ braille mid. 59" a.f.f. to center
R.R. Sign	Door Mtd	1		Women's ADA restroom sign w/ braille mid. 59" a.f.f. to center
R.R. Sign	Door Mtd	1		Men's ADA restroom sign w/ braille mid. 59" a.f.f. to center
P	Partition(s)	1	Color to be (S32 LATTE)	18" Prefinished metal urinal partition(s).

5 ROOF DIAPHRAGM MODLINE CHORD TIE
 3/4" = 1'-0"

STRAP TYPE: SIMPSON ST2215
 FASTENERS: (20) 1/2" NAILS (Ø 1/4" @ 1'-1 1/2")
 VALUE (LBS): 1500#

PHOENIX MODULAR
 5301 W. MADISON ST. - PHOENIX, AZ 85043
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SUNBELT MODULAR, INC.
 AMEX 1 INDCOM 1 PHOENIX 1 M.B. STEEL

THESE DRAWINGS REMAIN THE PROPERTY OF PHOENIX MODULAR AND ARE NOT TO BE USED IN ANYWAY WITHOUT WRITTEN PERMISSION.

DEALER: MOBILE MODULAR

PROJECT: NEWPORT BEACH CLASSROOM

STATES: CALIFORNIA

SERIAL NUMBERS: PMI-4943-3660

DRAWN BY: RH / KT

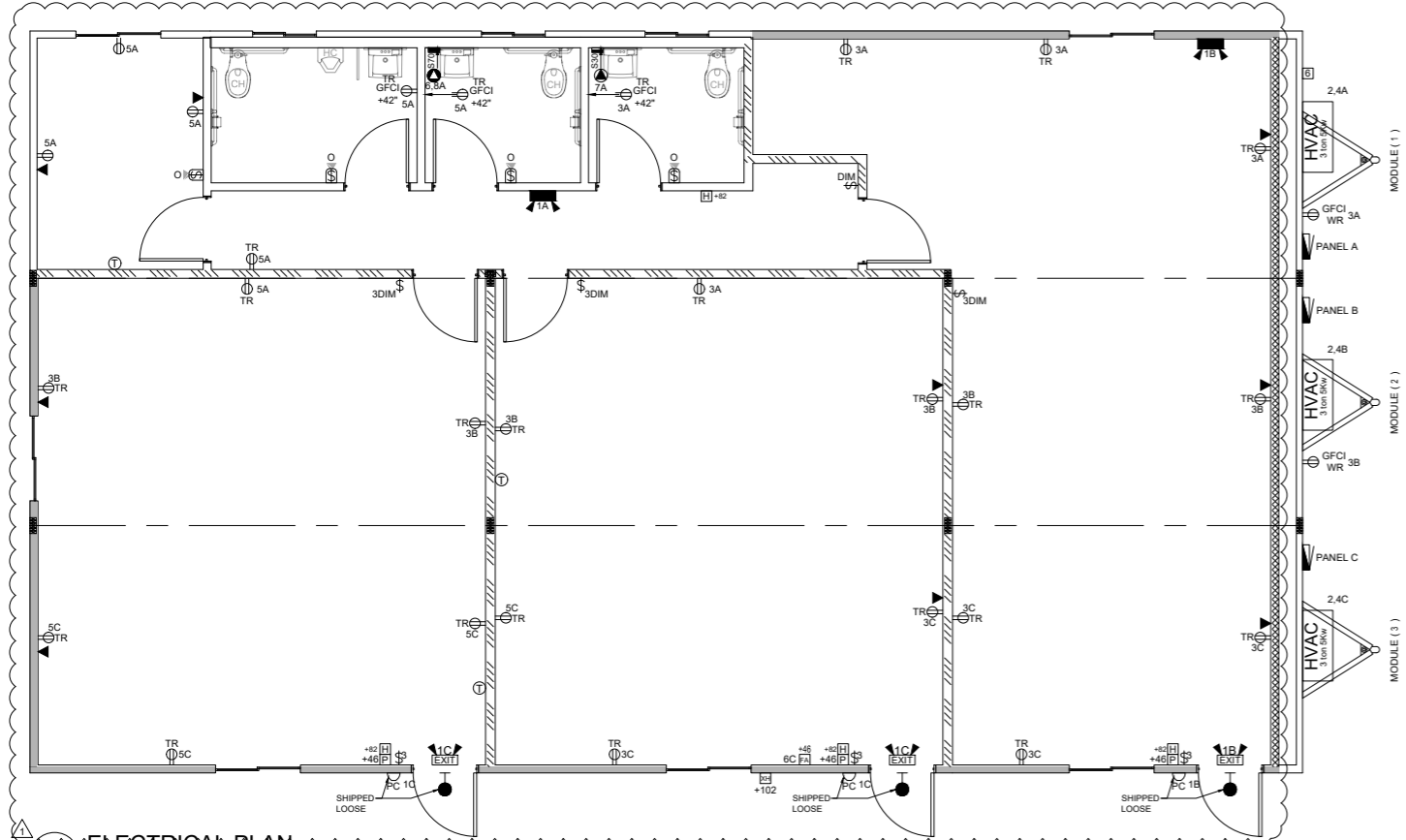
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FINAL RELEASE
 5/13/2021
 PRODUCTION SET

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 CORPORATE ENGINEER
 SUNBELT MODULAR, INC.
 5301 W. MADISON ST.
 PHOENIX, AZ. 85043
 (602) 327-4769

SHEET: 2 OF 6



1 ELECTRICAL PLAN
1/4"=1'-0"


Main Breaker: 22kAIC		125 AMP 120/240 1 PHASE		Branch Breakers: 10kAIC		PANEL WITH 125 AMP MAIN BREAKER (NEMA 3R)		Description		WS	
WS	Description	Circuit	BRK	A	B	BRK	Circuit	Description	WS		
12	Lights	1	20	6360	60		2	1P HP Unit 3 Ton w/ 5KW	6		
12	Receptacles	3	20	6360	2		4				
12	Space	5	20	3500	35		6	M-70 Insta Water Heater 35A(2P)	8		
10	M-30L Insta Water Heater 30A(1P)	7	30	3600	2		8				
	Space	9		3500			10				
	Space	11					12				
ELECTRICAL CALCULATION:				10484		14000		Total			
GENERAL LIGHTING:											
624 LIGHTS x 125% = 780 watts											
10 RECEPTACLES = 1800 watts											
1 HVAC UNITS = 12720 watts											
2 WATER HEATER = 10600 watts											
										25800 watts divide by 240 volts= 107.52 AMPS TOTAL	

Main Breaker: 22kAIC		125 AMP 120/240 1 PHASE		Branch Breakers: 10kAIC		PANEL WITH 125 AMP MAIN BREAKER (NEMA 3R)		Description		WS	
WS	Description	Circuit	BRK	A	B	BRK	Circuit	Description	WS		
12	Lights	1	20	1243	60		2	1P HP Unit 3 Ton w/ 5KW	6		
12	Receptacles	3	20	1260	2		4				
	Space	5		6360			6				
	Space	7					8				
	Space	9					10				
	Space	11					12				
ELECTRICAL CALCULATION:				8603		7620		Total			
GENERAL LIGHTING:											
243 LIGHTS x 125% = 303.8 watts											
7 RECEPTACLES = 1260 watts											
1 HVAC UNITS = 12720 watts											
										14284 watts divide by 240 volts= 59.516 AMPS TOTAL	

Main Breaker: 22kAIC		125 AMP 120/240 1 PHASE		Branch Breakers: 10kAIC		PANEL WITH 125 AMP MAIN BREAKER (NEMA 3R)		Description		WS	
WS	Description	Circuit	BRK	A	B	BRK	Circuit	Description	WS		
12	Lights	1	20	386	60		2	1P HP Unit 3 Ton w/ 5KW	6		
12	Receptacles	3	20	900	2		4				
	Space	5	20	720			6	F.A.C.P.	12		
	Space	7		180			8				
	Space	9					10				
	Space	11					12				
ELECTRICAL CALCULATION:				7646		7260		Total			
GENERAL LIGHTING:											
386 LIGHTS x 125% = 482.5 watts											
9 RECEPTACLES = 1620 watts											
1 HVAC UNITS = 12720 watts											
1 F.A.C.P. = 180 watts											
										15003 watts divide by 240 volts= 62.51 AMPS TOTAL	


ELECTRICAL:			
Symbol	Type	Qty	Note
	Elec Service	1	120/240V 60 HZ single phase
	Elec Raceway	1	M/C CableTray
	Elec Panel	3	120/240V 1 PH 125 amp panel w/ 125 amp main breaker, Exterior NEMA 3R mounted 60" a.f.f. to top (Factory standard)
	Lights	3	2x4' Diffused LED recessed bay-in with (removable electronic ballast) (Factory standard)
	Lights	10	2x4' Diffused LED recessed bay-in with (removable electronic ballast) (Factory standard)
	Lights	3	Westgate: 30W LED porch light with photocell mtd. 82" a.f.f. (Shipped loose)
	Lights	3	Topaz: F-FM115150N/ P130WH or equal 15W Surface mounted 1100 lumen LED light
	Emerg. Light	3	Red lens Combo dual emergency light/exit sign with battery backup mtd. 80" a.f.f. (Factory standard)
	Emerg. Light	3	Exterior remote head mtd. 90" a.f.f. (Mounted in octagon box) (Shipped loose)
	Exit Sign	1	Red lens Ceiling mount, 120v with battery backup
	Exit Sign	1	Red lens Wall mount (88" a.f.f.), 120v with battery backup
	Emerg. Light	2	Removable double head battery pack mtd. 80" a.f.f. (Factory standard)
	Switch	3	15a/120v 3-Way wall mtd. single toggle w/ cover plate (Factory standard)
	Switch	4	Wallstopper: 10S-DOV or equal 20a/120v Wall mtd. occupancy / vacancy sensor w/ cover plate mtd. 46" a.f.f.
	Switch	1	Lutron: DV/TV or equal 0-10v Wall mtd. dimming w/ cover plate mtd. 46" a.f.f.
	Switch	3	Lutron: DV/STV or equal 0-10v Wall mtd. 3-way dimming w/ cover plate
	Occupancy Sensor	4	Sensor: C1-205 / Power pack: B2-150 or equal Ceiling mounted occupancy sensor w/ power pack
	Receptacle	3	20a/120v Duplex w/ cover plate mtd. 18" a.f.f. (Factory standard)
	Receptacle	2	20a/120v GFCI WR rated exterior receptacle with weatherproof in-use cover mtd. 18" a.f.f. (Factory standard)
	Receptacle	21	20a/120v Tamper resistant duplex w/ cover plate mtd. 18" a.f.f. (Factory standard)
	Receptacle	3	20a/120v GFCI Tamper resistant duplex w/ cover plate mtd. 42" a.f.f. (Factory standard)
	J-Box	9	3/4" Conduit stubbed above ceiling 4x4 Empty box w/ gang mud ring, and blank cover plate mtd. 18" a.f.f. for future phone/dial (Factory standard)
	J-Box	1	8x8x8 Empty semi-recessed NEMA-3R box w/ metal cover and 3/4" conduit stubbed above ceiling (Factory standard)
	J-Box	1	20a/120v 4x4 Wired J-box w/ gang mud ring, and cover plate mtd. 46" a.f.f. for future fire alarm control panel provided by fire alarm installer (Factory standard)
	J-Box	3	4x4 Empty J-box w/ gang mud ring, cover plate and 3/4" conduit stubbed above ceiling mtd. 46" a.f.f. for pull station by alarm provider (Factory standard)
	J-Box	4	4x4 Empty J-box w/ extension ring, cover plate and 3/4" conduit stubbed above ceiling mtd. 82" a.f.f. for horn / strobe by alarm provider (Factory standard)
	J-Box	1	4x4 Empty exterior J-box w/ gang mud ring, cover plate and 3/4" conduit stubbed thru wall mtd. 102" a.f.f. for horn by alarm provider (Factory standard)
	Water Heater J-Box	1	120v/30a 4x4 Wired box w/ gang mud ring and cover plate for water heater mtd. 18" a.f.f. (Factory standard)
	Water Heater J-Box	1	240v/30a 4x4 Wired box w/ gang mud ring and cover plate for water heater mtd. 18" a.f.f. (Factory standard)
	J-Box	3	Relay: #90370 Relay mounted in 4x4 J-box w/ cover plate mtd. to rafter / install low voltage wire to HVAC terminal block (See Details 3/5 & 4/5)
	Audio / Visual Indicator	3	Air Products (MS Series): MS-RAP/A or equal 4x4 J-box w/ gang mud ring, and face flush w/ ceiling for Audio/Visual indicator w/ 24 AWG wire in flex conduit connected to smoke dust detector @ HVAC unit (See Details 3/5 & 4/5)
	Exhaust Fan	3	Bronze: 671 or equal 70 CFM Ceiling mounted / vent thru wall
	T-Stat	3	White Rodgers: 1F961277 Programmable T-Stat(s) mtd. 46" a.f.f.
	Device Color	1	Color to be (IVORY) / Exterior device(s) and masonry boxes with metal cover plate as replicable

NOTE:
1. ALL A.F.F. DIMENSIONS ARE TO THE CENTER OF THE DEVICE BOX UNLESS NOTED OTHERWISE (REFER TO SCHEDULE AND PLANS FOR HEIGHTS).
2. ALL ELECTRICAL ITEMS ARE FACTORY STANDARD UNLESS NOTED OTHERWISE.
3. BLANK COVERS WILL BE PROVIDED ON J-BOXES UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR ELECTRICAL DEVICES TO BE WEATHERPROOF.



PHOENIX MODULAR

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SUNBELT MODULAR, INC.

AMTEX | INDIAN | PHOENIX | M.B. STEEL

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DEALER: MOBILE MODULAR

PROJECT: NEWPORT BEACH CLASSROOM

STATES: CALIFORNIA

SERIAL NUMBERS: PMI-4943-3660

DRAWN BY: RH / KT

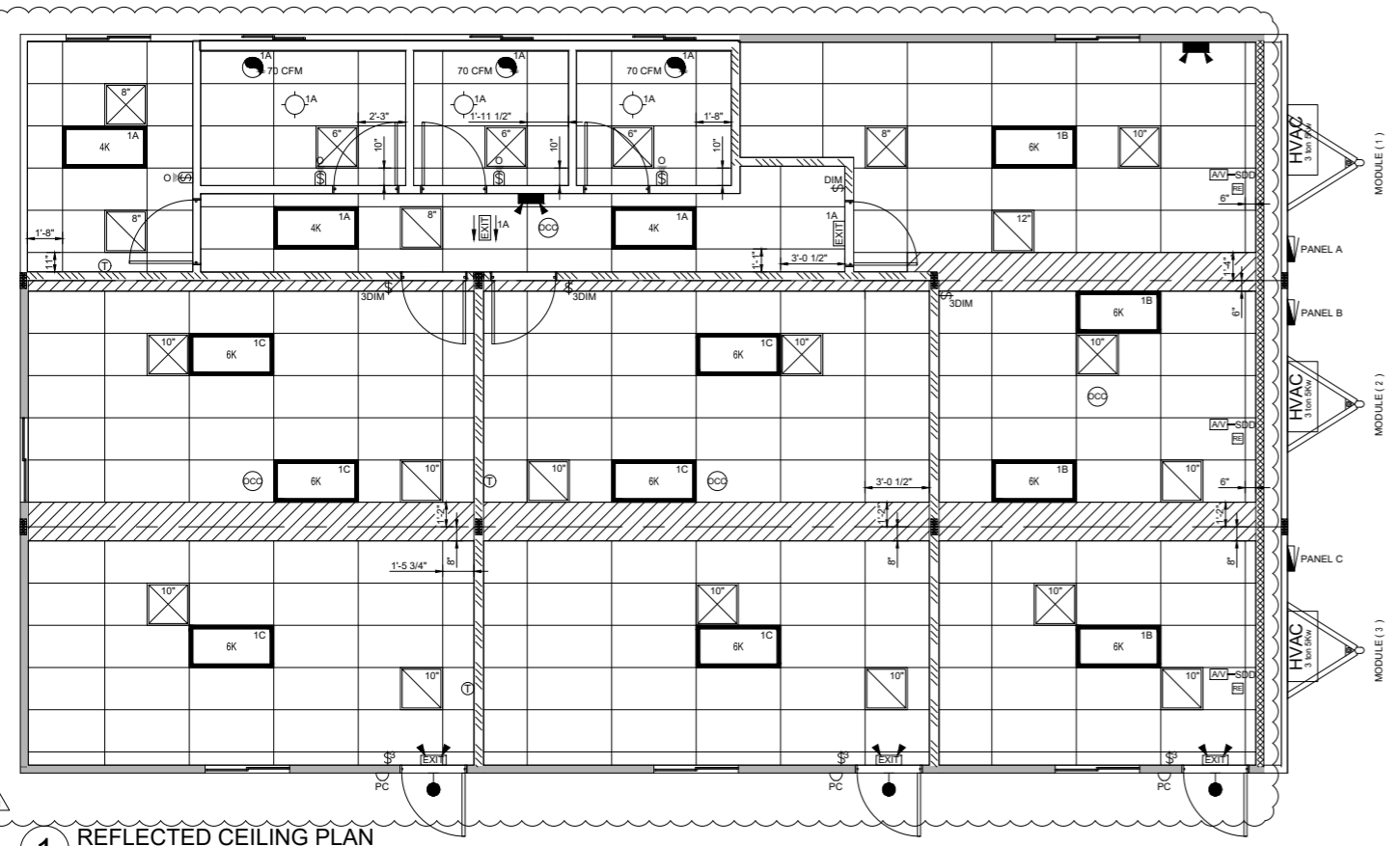
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(602) 327-4769

SHEET: **3** OF **6**



CEILING LEGEND

	INDICATES T-GRID SUSPENDED CEILING INSTALLED @ FACTORY
	INDICATES SUSPENDED CEILING HOLD-BACK @ METELINES, TO BE COMPLETED ON-SITE BY OTHERS

PHOENIX MODULAR
 5301 W. MADISON ST. - PHOENIX, AZ 85043
 PH: 602-447-6460 - FAX: 602-447-6478

SUNBELT MODULAR, INC.
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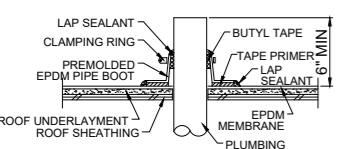
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 01 04/20/2021 PR# 4 & 5
 02 04/21/2021 PR# 8
 03 04/27/2021 PR# 9

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 PRODUCTION SET

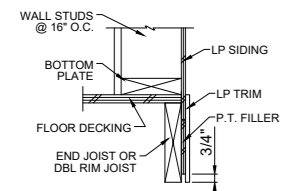
R. MARK STEELE, P.E.
 CORPORATE ENGINEER
 SUNBELT MODULAR, INC.
 5301 W. MADISON ST.
 PHOENIX, AZ. 85043
 (602) 327-4769

SHEET:
4
 OF
6

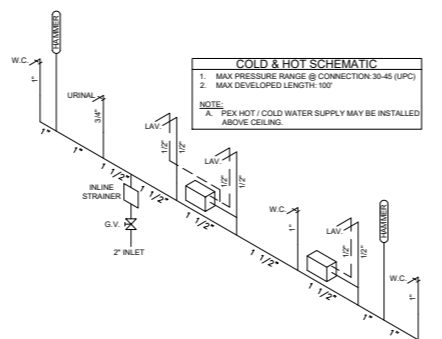
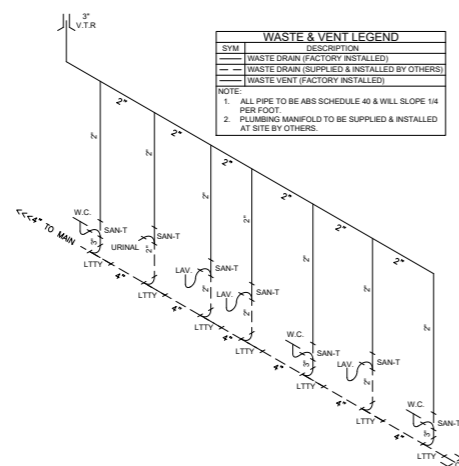
1 REFLECTED CEILING PLAN
 1/4"=1'-0"

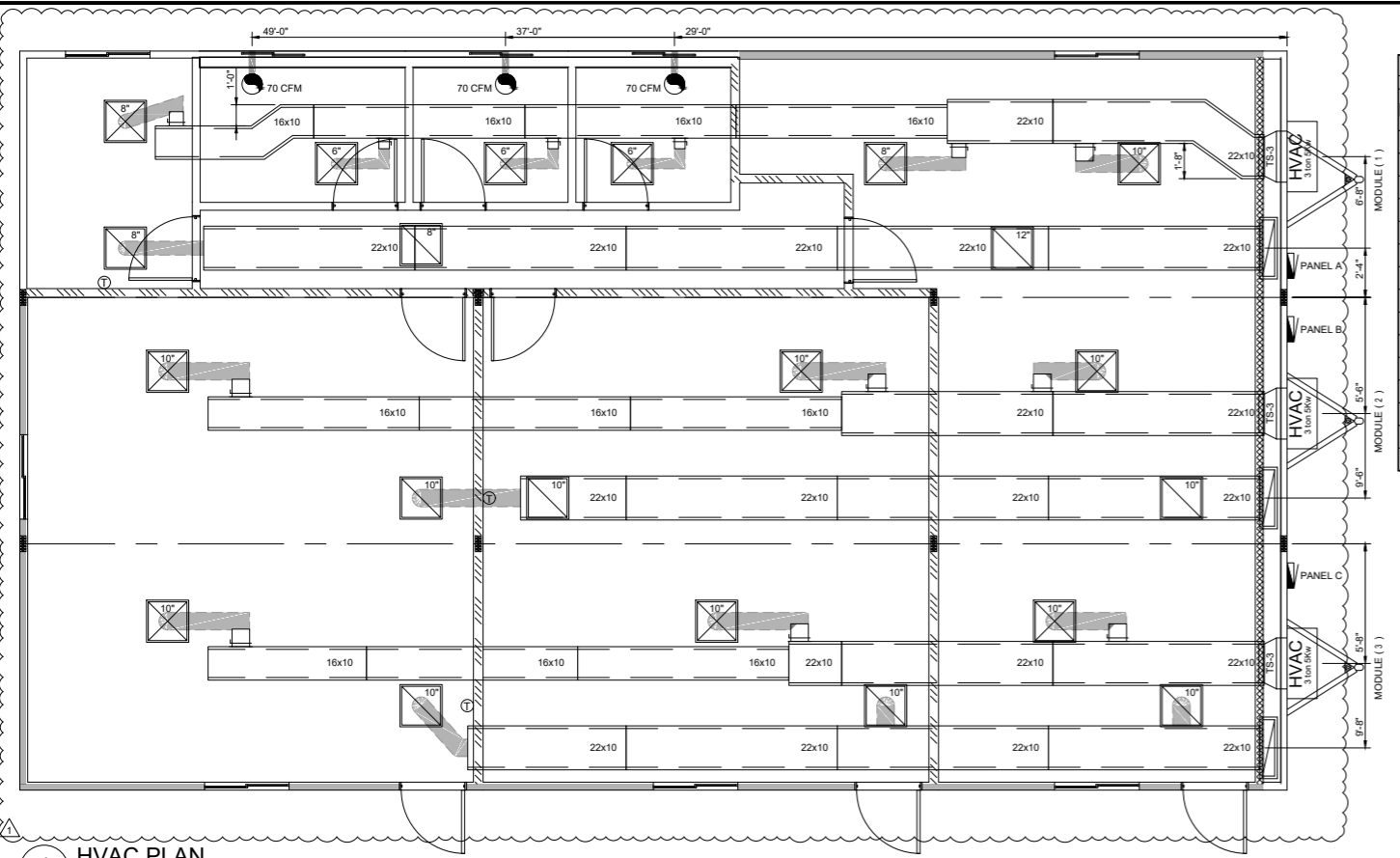


2 PLUMBING VENT
 1 1/2"=1'-0" FACTORY INSTALLED



3 WALL FINISH
 1 1/2"=1'-0" AT FLOOR





1 HVAC PLAN
1/4"=1'-0"

Symbol	Type	Qty	Note	Description
HPAC	Heat Pump HVAC Unit	3	CRV - Smoke Detector - FIRE ALARM RELAY	3 Ton heat pump with 9KW heat strip 11 EER and mount unit / Model: W38HB-A05 or equal (See Details 3/5 and 4/5 for J-box locations and wiring diagram)
Duct	Duct	3		25"x6" To 22"x10" Galvanized sleeve, 10' long
Return Air Plenum	Return Air Plenum	3		32"x7" Return air plenum w/ 28"x14"x4" tap-in
Fiberglass Duct	Fiberglass Duct	8		16"x10"x10'-0" Fiberglass
Fiberglass Duct	Fiberglass Duct	2		16"x10"x7'-0" Fiberglass
Fiberglass Duct	Fiberglass Duct	1		22"x10"x2'-0" Fiberglass
Fiberglass Duct	Fiberglass Duct	10		22"x10"x10'-0" Fiberglass
Fiberglass Duct	Fiberglass Duct	1		22"x10"x7'-0" Fiberglass
Fiberglass Duct	Fiberglass Duct	2		22"x10"x5'-0" Fiberglass
Supply Diffusers	Supply Diffusers	3	6"	24" x 24" 4-way throw diffuser with start collar, collar w/ scoop and damper, and flex (Factory standard)
Supply Diffusers	Supply Diffusers	2	8"	24" x 24" 4-way throw diffuser with start collar, collar w/ scoop and damper, and flex (Factory standard)
Supply Diffusers	Supply Diffusers	7	10"	24" x 24" 4-way throw diffuser with start collar, collar w/ scoop and damper, and flex (Factory standard)
RIA Grille	RIA Grille	2	6"	24" x 24" Perforated lay-in with start collar, collar, and flex (Factory standard)
RIA Grille	RIA Grille	6	10"	24" x 24" Perforated lay-in with start collar, collar, and flex (Factory standard)
RIA Grille	RIA Grille	1	12"	24" x 24" Perforated lay-in with start collar, collar, and flex (Factory standard)
Duct type	Duct type	1		R-4.2 Fiberglass insulation. Flex duct not to exceed 5'

PHOENIX MODULAR
5301 W. MADISON ST. - PHOENIX, AZ 85043
PH: 602-447-6800 FAX: 602-447-6878

SUNBELT MODULAR, INC.
AMTEX 1 INDCOM 1 PHOENIX 1 M.E. STEEL

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DEALER: MOBILE MODULAR

PROJECT: NEWPORT BEACH CLASSROOM

STATES: CALIFORNIA

SERIAL NUMBERS: PMI-4943-3660

DRAWN BY: RH / KT

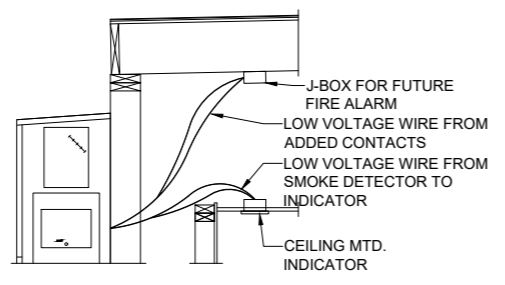
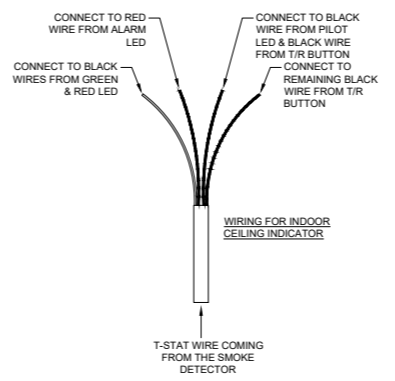
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REV # / DATE:
01 04/20/2021 PR# 4 & 5
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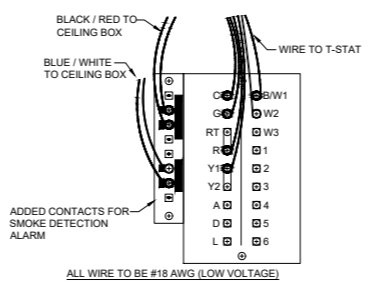
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SHEET: **5**
OF
6

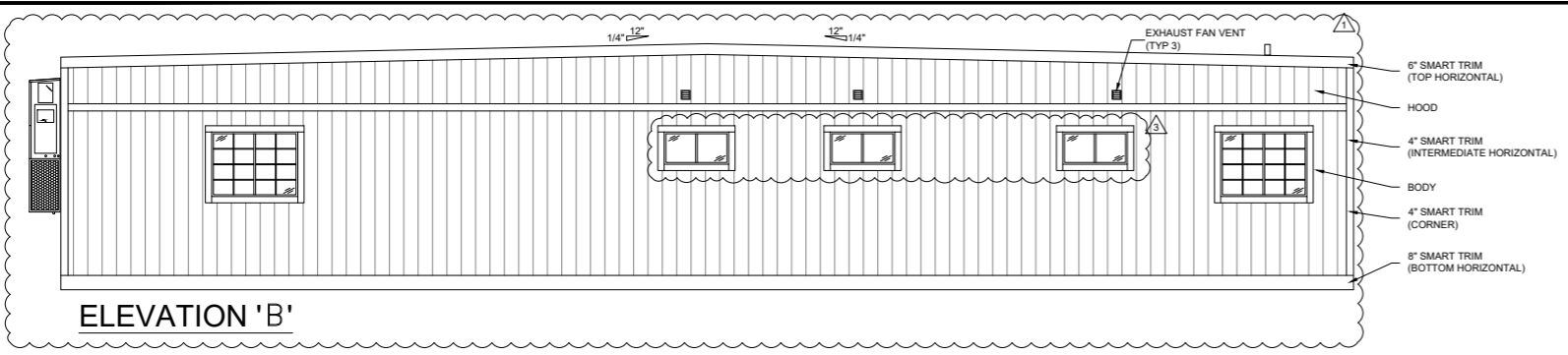


3 ADDED WIRE TO BOXES
3/4"=1'-0"

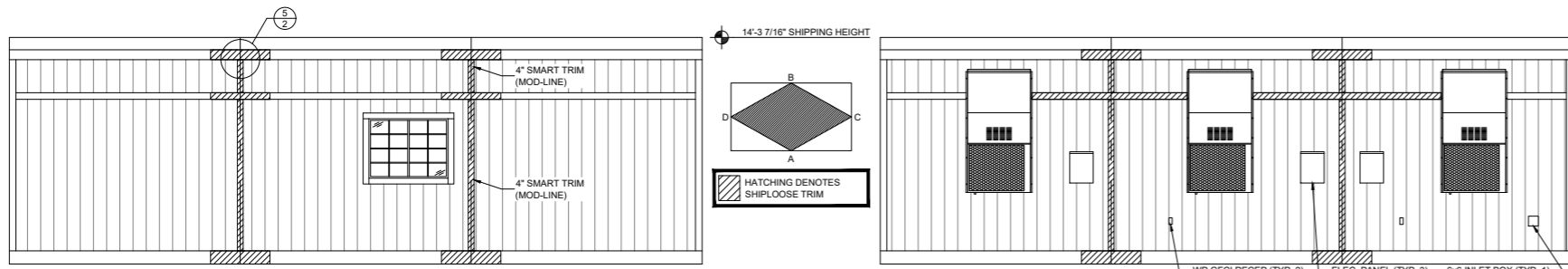


4 WIRING DIAGRAM
N.T.S.

ALL WIRE TO BE #18 AWG (LOW VOLTAGE)

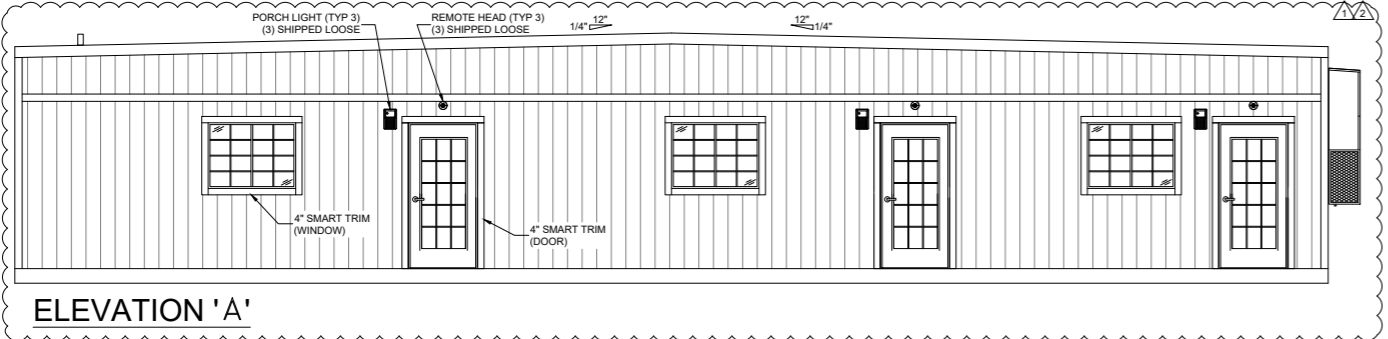


ELEVATION 'B'

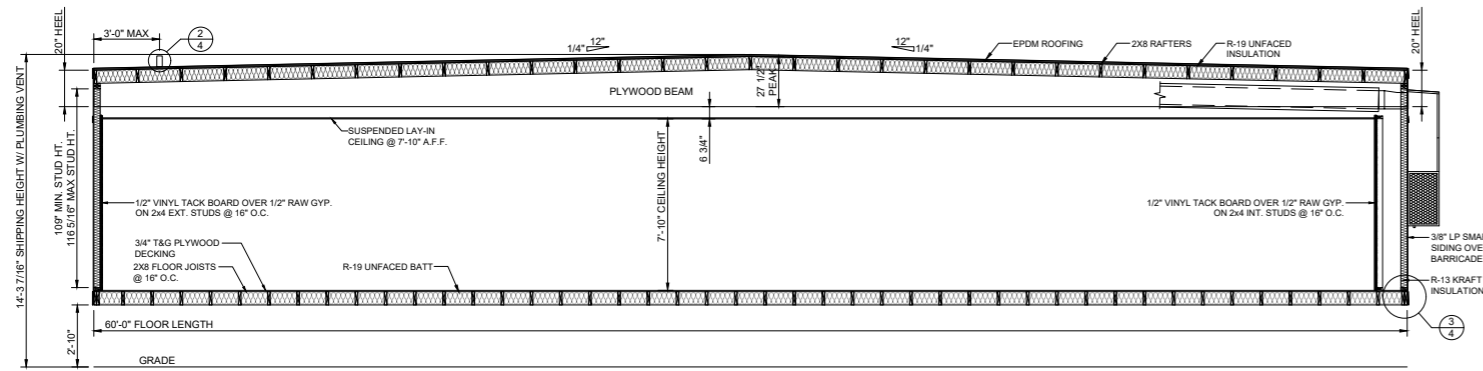


ELEVATION 'D'

ELEVATION 'C'



ELEVATION 'A'



1 BUILDING CROSS-SECTION
1/4" = 1'-0"

PHOENIX MODULAR

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AMTEX | INDIAN | PHOENIX | M.E. STEEL

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DEALER:
MOBILE MODULAR

PROJECT:
NEWPORT BEACH CLASSROOM

STATES:
CALIFORNIA

SERIAL NUMBERS:
PMI-4943-3660

DRAWN BY:
RH / KT

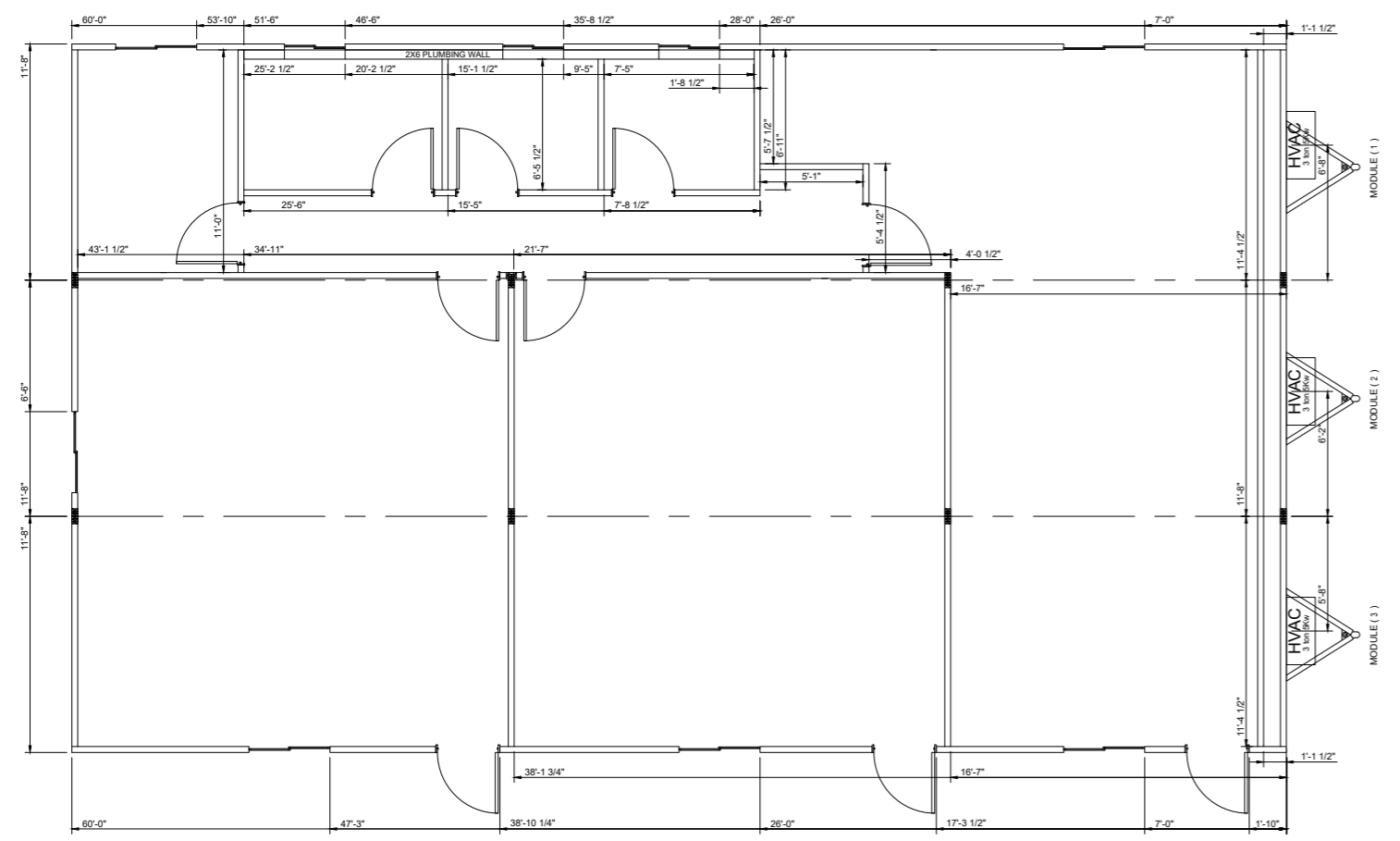
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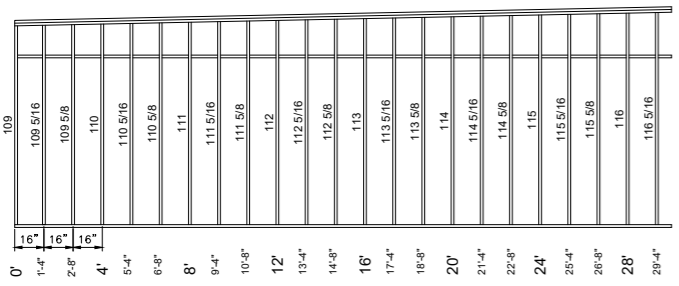
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5301 W. MADISON ST.
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(602) 327-4769

SHEET:
6
OF
6



1 WALL SET
1/4"=1'-0"



2 BALLOON WALL
1/4"=1'-0"

PHOENIX MODULAR
5301 W. MADISON ST. - PHOENIX, AZ 85043
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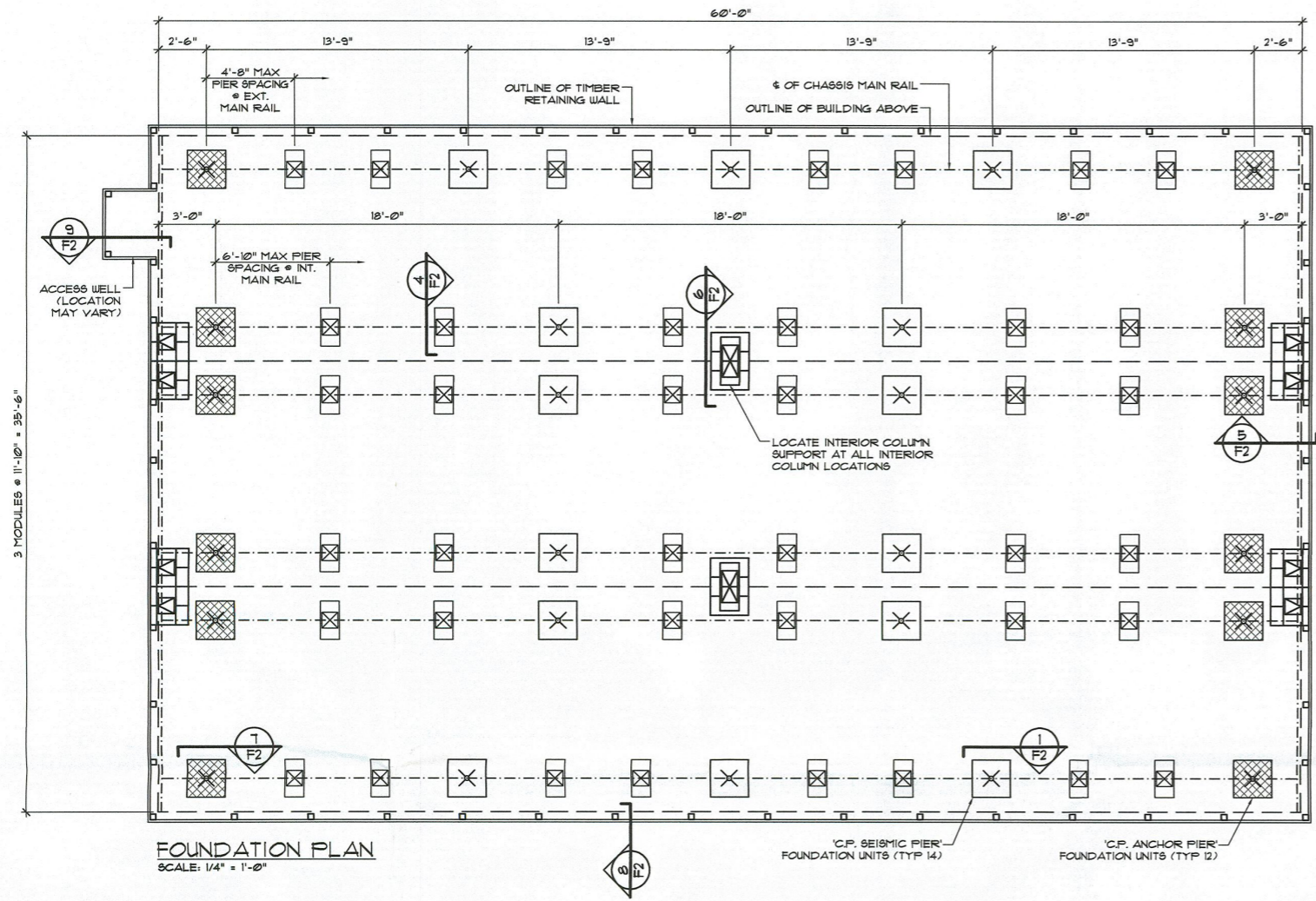
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SUNBELT MODULAR, INC.
5301 W. MADISON ST.
PHOENIX, AZ 85043
(602) 327-4769

SHEET:
WS
OF
6



- CONSTRUCTION NOTES:**
- 1.) FOUNDATION DESIGN LOADS:
 ROOF LIVE LOAD = 20 PSF
 FLOOR LIVE LOAD = 50 PSF
 ULT. WIND LOAD = 115 MPH, EXPC'
 EARTHQUAKE DESIGN DATA:
 a.) SEISMIC IMPORTANCE FACTOR: 1.00
 RISK CATEGORY: II
 b.) MAPPED SPECTRAL RESPONSE ACCELERATIONS:
 S_s = 1.500g
 S₁ = 0.600g
 S₂ = 0.400g (DEFAULT)
 c.) SITE CLASS: S_s = 1.200
 d.) SPECTRAL RESPONSE COEFFICIENTS:
 S₁ = 0.600
 S₂ = 0.600
 e.) SEISMIC DESIGN CATEGORY: D
 f.) BASIC SEISMIC FORCE RESISTING SYSTEM:
 CANTILEVERED COLUMN SYSTEM USING SPECIAL STEEL MOMENT FRAMES
 g.) DESIGN BASE SHEAR: 0.480 W
 h.) SEISMIC RESPONSE COEFFICIENT: R = 2.5
 i.) RESPONSE MODIFICATION FACTOR: EQUIVALENT LATERAL FORCE ANALYSIS
 j.) ANALYSIS PROCEDURE USED:
 k.) REDUNDANCY FACTOR USED: 1.3
 - 2.) ALL WORK SHALL CONFORM TO 2019 CBC AND/OR LOCAL BUILDING CODES.
 - 3.) ACUMEN ENGINEERING HAS NOT INVESTIGATED THE SOILS SUPPORTING THIS BUILDING. THE ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 1500 PSF. IF ACTUAL SOIL CONDITIONS AT THIS SITE ARE KNOWN TO VARY FROM THESE ASSUMPTIONS, THEN ACUMEN ENGINEERING MUST BE NOTIFIED IMMEDIATELY.
 - 4.) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
 - 5.) THIS DESIGN IS BASED ON THE FLOOR & ROOF ASSEMBLIES ACTING AS CONTINUOUS DIAPHRAGMS TO DISTRIBUTE LATERAL LOADS. REFER TO BUILDING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR PROPER INTER-MODULE CONNECTIONS.
 - 6.) ALL LUMBER IN CONTACT WITH OR WITHIN 8" OF SOIL TO BE PRESERVATIVE TREATED.
 - 7.) ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
 - 8.) ADJACENT GROUND SURFACES SHOULD BE SLOPED AWAY FROM STRUCTURE AT 2% FOR A MINIMUM DISTANCE OF 10 FEET. DRAINAGE OF SURROUNDING AREA SHALL BE PROVIDED TO PREVENT ACCUMULATION OF SURFACE WATER.
 - 9.) SKIRTING (IF USED) MUST BE SELF SUPPORTING AND MAY NOT TRANSFER ANY LOAD.
 - 10.) IF SKIRTING IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FT. FOR EACH 150 SQ. FT. OF FLOOR AREA. OPENING MUST BE COVERED W/ CORROSION RESISTANT MESH WITH OPENINGS OF 1/4 INCH.
 - 11.) IF SKIRTING IS USED, AN ACCESS OPENING WITH DIMENSIONS NOT LESS THAN 18"x24" SHALL BE PROVIDED WITH HASP AND LOCK.
 - 12.) HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 8".
 - 13.) ALL UTILITY/RAMP/STAIR DESIGN AND SITE/UTILITY/GRADING DESIGN BY OTHERS.
 - 14.) PRE-FABRICATED SEISMIC PIER FOUNDATION UNITS SHALL BE 'CP SEISMIC PIER' COMMERCIAL MOBILE FOUNDATION (CALIFORNIA HCD STATE APPROVAL NO. 30-TF) MANUFACTURED BY CENTRAL PIERS, INC.
 - 15.) SEISMIC PIER FOUNDATION UNITS SHALL BE FIRMLY SET ON FINISHED GRADE SO THAT REASONABLY FIRM BEARING IS ACHIEVED.
 - 16.) IF DIFFERENTIAL SETTLEMENT EXCEEDS 1/4", THE PIERS SHALL BE READJUSTED TO PROVIDE PROPER SUPPORT.
 - 17.) STEEL PIERS TO BE MANUFACTURED BY 'BEDCO' OR APPROVED EQUAL. (PIER DESIGN CAPACITY TO BE 3000# UNLESS NOTED)
 - 18.) THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS.
 - 19.) ALL UTILITY CONNECTIONS AT ENTRANCE TO BUILDING SHALL BE MADE WITH FLEXIBLE TYPE CONNECTORS.
 - 20.) MODULAR BUILDING TO BE CALIFORNIA HCD APPROVED COMMERCIAL COACH.
 - 21.) ACUMEN ENGINEERING WILL NOT INSPECT THE INSTALLED FOUNDATION SYSTEM. THE OWNER OF THIS BUILDING AGREES TO INDEMNIFY ACUMEN ENGINEERING FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.

REVISIONS	
DATE	BY

ACUMEN ENGINEERING DESIGN, LLC
 11624 NORTH 151ST LANE SURPRISE, AZ 85379
 (602) 571-9911

mobile modular
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1450 MISSION BLVD.
 MIRA LOMA, CA 91752
 (951) 360-6600

COMMERCIAL MODULAR FOUNDATION DESIGN
 (STATE APPROVAL 30-TF)
 (1) 36' x 60' MODULAR OFFICE BUILDING
 CARDEN HALL, LLC
 1541 MONROVIA AVENUE
 NEWPORT BEACH, CALIFORNIA 92663

Adam M. Nieman
 051181
 Civil Engineer
 STATE OF CALIFORNIA

MAY 04 2021

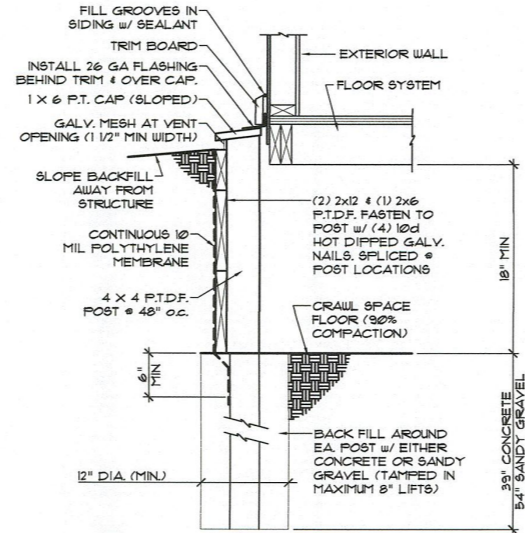
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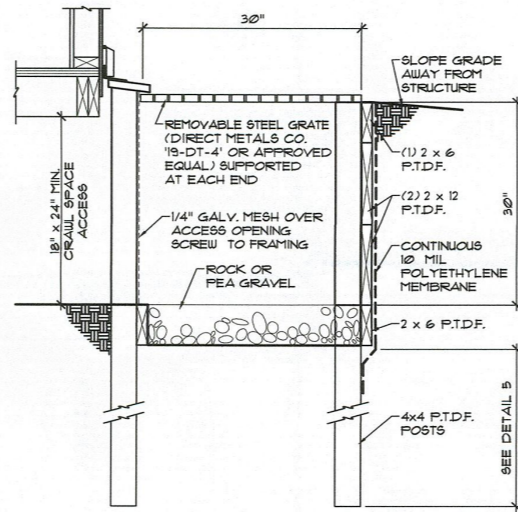
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 DWG: AN.
 JOB: 210446
 SHEET: F1

OF 2 SHEETS

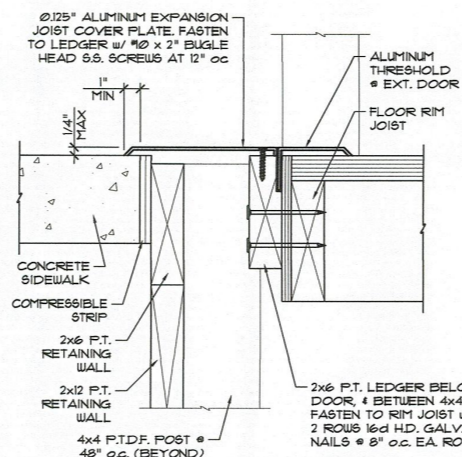
TITLE TO THESE PLANS REMAINS WITH ACUMEN ENGINEERING DESIGN, LLC. THE INFORMATION HEREIN IS FOR THE SOLE USE OF THE CUSTOMER LISTED AND SHALL BE HELD CONFIDENTIAL. REUSE OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED.



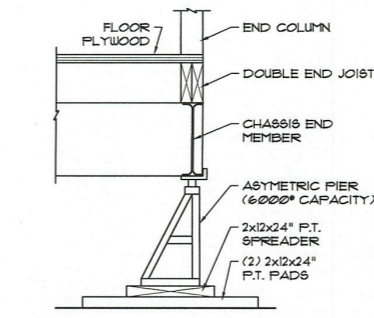
8 DETAIL (TIMBER RETAINING WALL)
SCALE: 1" = 1'-0"



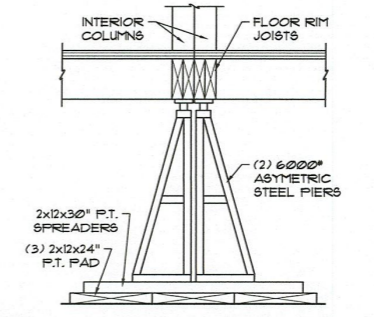
9 DETAIL (ACCESS WELL)
SCALE: 1" = 1'-0"



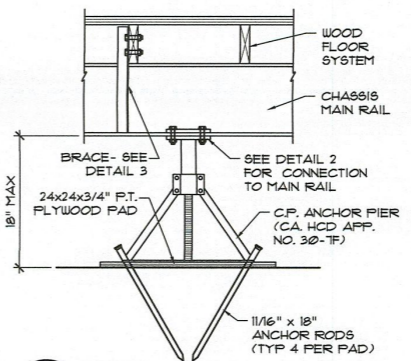
10 DETAIL (TIMBER RETAINING WALL / BUILDING INTERFACE)
SCALE: 3\"/>



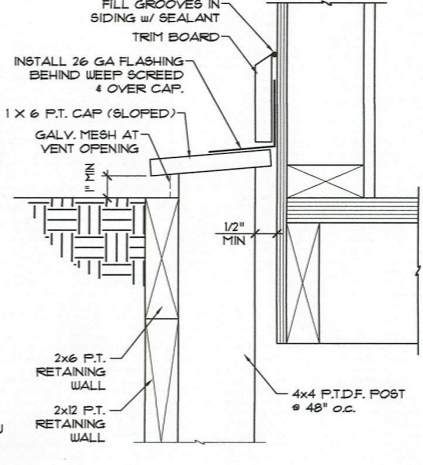
5 DETAIL (END COLUMN SUPPORT)
SCALE: 1" = 1'-0"



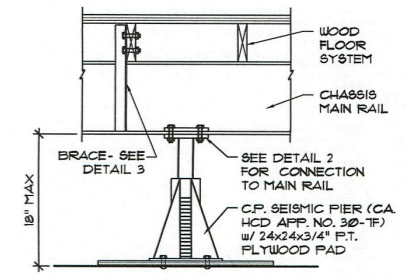
6 DETAIL (INT. COLUMN SUPPORT)
SCALE: 1" = 1'-0"



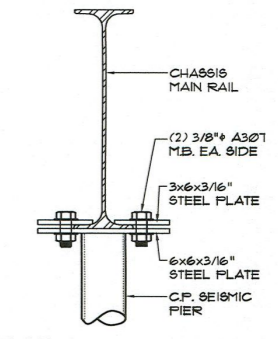
7 DETAIL (ANCHOR PIER)
SCALE: 1" = 1'-0"



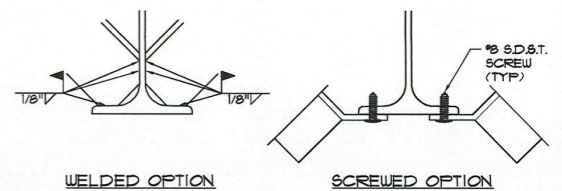
REMAINDER



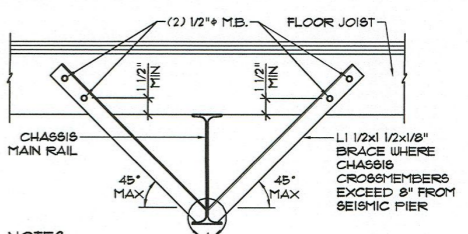
1 DETAIL (SEISMIC PIER)
SCALE: 1" = 1'-0"



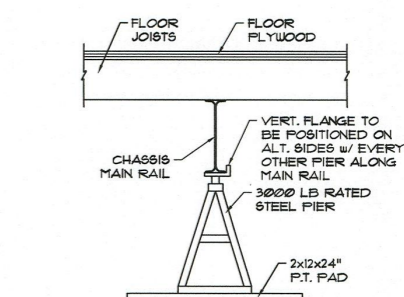
2 DETAIL (SEISMIC PIER TO CHASSIS)
SCALE: 3\"/>



'A' SECTION
N.T.S.



3 DETAIL (BRACE CONNECTION)
SCALE: 1-1/2\"/>



4 DETAIL (TYPICAL PIER)
SCALE: 1" = 1'-0"

- NOTES:
- ALL BRACES SHALL RECEIVE 2 COATS OF RED OXIDE PRIMER.
 - BRACES ARE REQUIRED AT EACH SEISMIC PIER UNLESS CHASSIS CROSS MEMBER IS LESS THAN 8" FROM SEISMIC PIER (SEE PLAN FOR LOCATIONS).
 - SEISMIC PIER MAY BE RELOCATED +/- 12" TO ALIGN w/ CROSSMEMBER SO THAT BRACING IS NOT REQUIRED.

REVISIONS	
DATE	BY

ACUMEN
ENGINEERING DESIGN, LLC
11624 NORTH 151ST LANE, SURPRISE, AZ 85379
(602) 511 - 9811

11450 MISSION BLVD.
MIRA LOYA, CA 91522
(951) 360 - 6600

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CUSTOMER

COMMERCIAL MODULAR FOUNDATION DESIGN
(STATE APPROVAL 30-TF)

(1) 36' x 60' MODULAR OFFICE BUILDING
GARDEN HALL, LLC
1541 MONROVIA AVENUE
NEWPORT BEACH, CALIFORNIA 92663

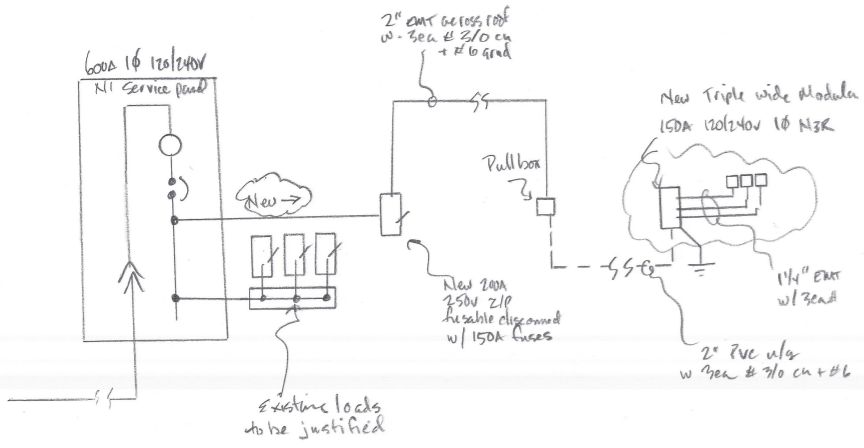
PROJECT

REGISTERED PROFESSIONAL ENGINEER
Adam M. Nieman
01181
Civil Engineer
STATE OF CALIFORNIA
MAY 04 2021
SEAL

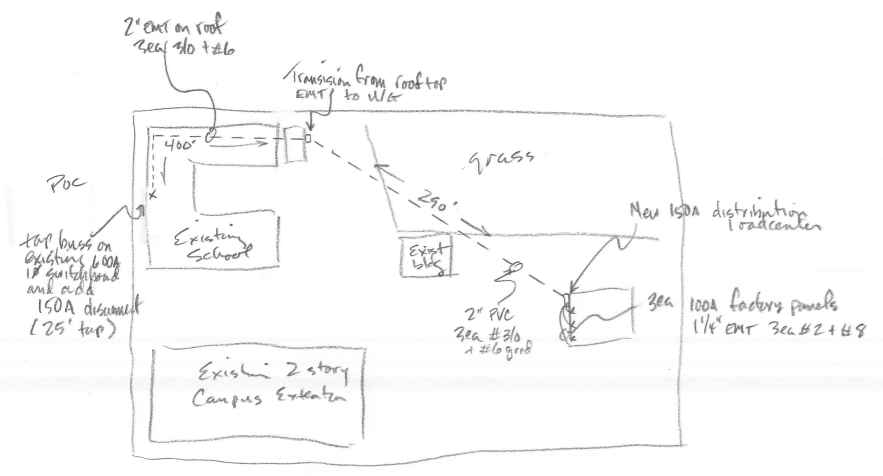
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DATE: 4/2021
SCALE: SHOWN
DWN: AN.
JOB: 210446
SHEET: F2
OF 2 SHEETS

- Single line -



- Site -



SHEET INDEX

T-001 TITLE SHEET
 A-052 SITE DETAILS

SUMMARY OF WORK

INSTALLATION OF ONE 2,160 SQ. FT. CLASSROOM MODULAR BUILDING, ACCESSIBLE PARKING AND PATH OF TRAVEL IMPROVEMENTS.

GENERAL NOTES

1. PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS AT LEAST 48 INCH WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAXIMUM SLOPE; EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. MAXIMUM CROSS-SLOPE 2% TYPICAL AND MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IS 5% UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
2. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

PARKING CALCULATIONS

ENROLLMENT:

STUDENTS:	435
FACULTY:	67

PARKING REQUIREMENT: 1 SPACE/ 7 STUDENTS

	REQUIRED	PROVIDED
PARKING SPACES - TOTAL	62	72
PARKING SPACES - ACCESSIBLE		
TOTAL ACCESSIBLE	3	4
VAN ACCESSIBLE	1	1

**MODULAR BUILDING SITE INSTALLATION
 CARDEN HALL**

1541 MONROVIA ST.
 NEWPORT BEACH, CA 90012

STEVEN FADER ARCHITECTS
 www.stevenfaderarchitects.com
 3780 Wilshire Blvd. Suite 1010
 Los Angeles, CA 90010 213-383-1336



ISSUED FOR:
 PLAN CHECK 4/29/2021

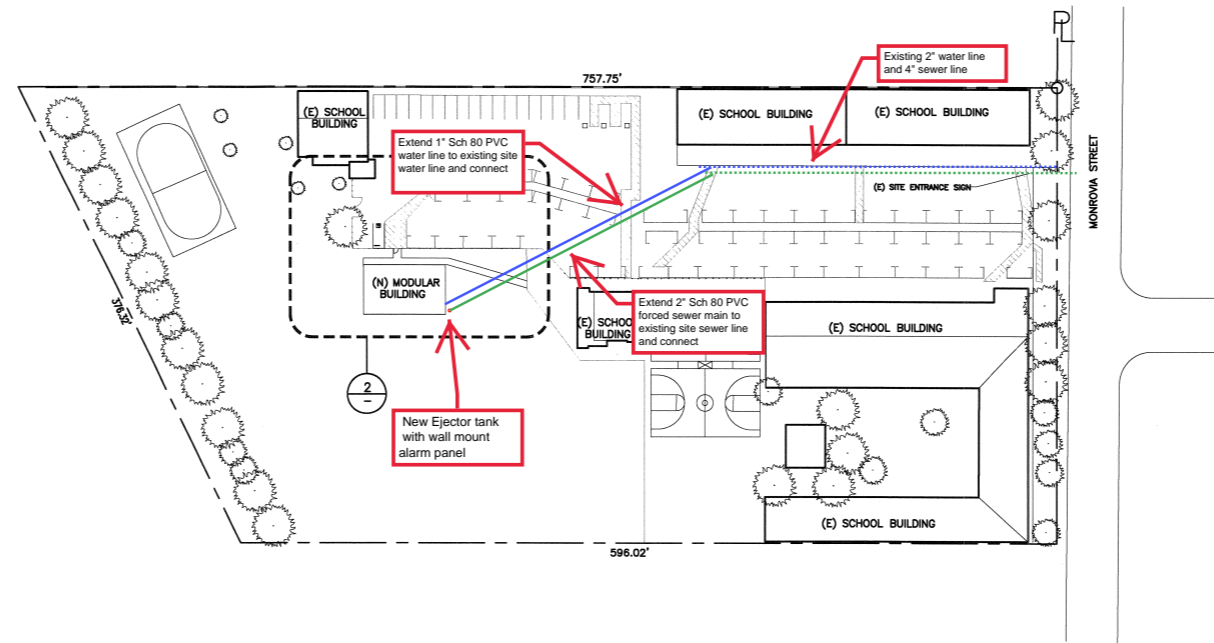
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TITLE SHEET

SCALE:
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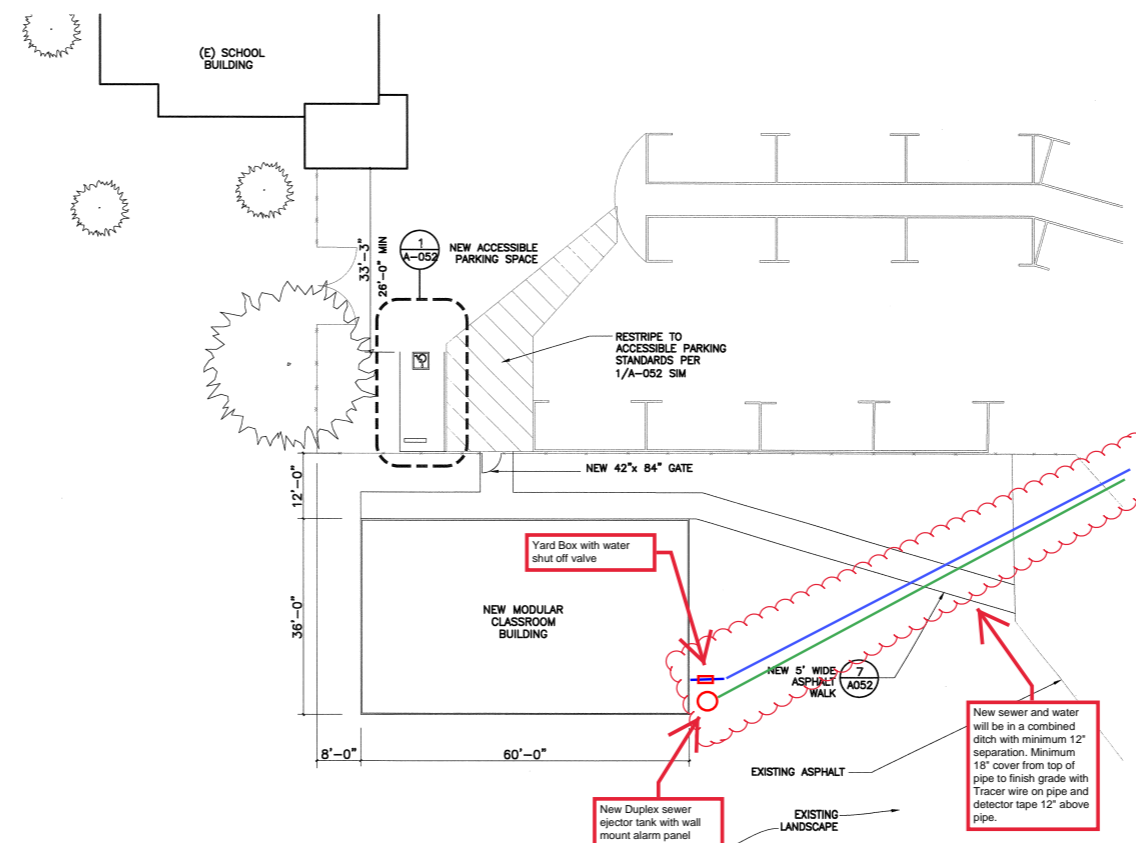
DATE:

CAD FILE: CAD_FILE PROJ. NO.:

SHEET NO. **T-001**



1 SITE PLAN
 SCALE: 1/64"=1'-0"



2 PARTIAL SITE PLAN
 SCALE: 1/16"=1'-0"

