



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: Seimone Jurjis, Community Development Director
SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending July 22, 2022.

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS**
(Non-Hearing Items)

Item 1: The Quiet Woman Patio Cover – Staff Approval (PA2022-0150)
Site Address: 3224 East Coast Highway

Action: Approved

Council District 6

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: The Quiet Woman Patio Cover (PA2022-0150)
▪ Staff Approval

APPLICANT: Lynne Campbell

LOCATION: 3224 East Coast Highway

LEGAL DESCRIPTION Lot 4 of Tract 01045

On **July 21, 2022**, the Community Development Director approved a staff approval (PA2022-0150) authorizing the installation of an overhead patio cover and finding the modification to be minor and in substantial conformance with Limited Term Permit No. XP2021-032 (PA2021-230). This approval is based on the findings and subject to the following conditions.

PROJECT SUMMARY

Installation of a temporary patio cover over a 500-square-foot maximum outdoor dining area that was previously authorized for up to a one-year term with Limited Term Permit No. XP2021-032 (PA2021-230). The patio cover will be 620 square feet, to cover the outdoor dining and the accessible ramp.

ZONING DISTRICT/GENERAL PLAN

- **General Plan Land Use Plan Category:** CC (Corridor Commercial)
- **Zoning District:** CC (Commercial Corridor)

I. BACKGROUND

On November 10, 2021, the Zoning Administrator approved an approximately 478-square-foot (500-square-foot-maximum) outdoor dining area for up to a one-year term with Limited Term Permit No. XP2021-032.

II. PROPOSED CHANGES

Initially the temporary outdoor dining request did not include an overhead structure; however, to utilize the compact area to its fullest potential and provide protection from the sun, the applicant is now requesting an overhead patio cover. The patio cover will include three sets of narrow posts with a corrugated metal roofing to cover the previously

approved temporary outdoor dining area as well as the accessibility ramp for a total of 620 square feet. No other changes are proposed.

III. FINDINGS

Pursuant to Newport Beach Municipal Code Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

A. Are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The Zoning designation for this site is CC (Commercial Corridor). The CC designation is intended to provide a range of neighborhood-serving retail and service uses along street frontages that are located and designed to foster pedestrian activity. The temporary outdoor dining use is accessory to the existing food service use with outdoor dining, will be utilized for a limited duration on-site, and will contribute to the neighborhood serving use. The patio cover will benefit the temporary outdoor dining area by providing shade for the temporary outdoor dining that was approved by Limited Term Permit No. XP2021-032.
2. The outdoor dining and patio cover are set back 22 feet to the rear property line adjacent the alley which exceeds the minimum required 10-foot rear alley setback.

Finding:

B. Do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Fact in Support of Finding:

1. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) and Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3. Class 1 exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. The Class 3 exemption includes a store, motel, office, restaurant, or similar structure not involving the use of significant amounts of hazardous substances, not exceeding 2,500 square feet in floor area or 10,000 square feet in floor area in urbanized areas zoned for such use.

2. The proposed scope of work is a maximum 500-square-foot expanded outdoor dining patio at an existing restaurant for a one-year limited term and qualifies under the parameters of the Class 1 and Class 3 exemptions. The addition of the patio cover to provide shade for temporary outdoor dining does not change this finding. There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of these exemptions.

Finding:

- C. *Do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The modified plan demonstrates the ability to comply with all required conditions of approval and said conditions will continue to be required through project implementation.
2. An overhead structure was discussed in the November 10, 2021, Zoning Administrator staff report for Limited Term Permit No. XP2021-032 (PA2021-230) as a future possibility that would need to meet Fire Department regulations for covered areas and require a building permit. Consistent with Condition of Approval No. 37 of Limited Term Permit No. XP2021-032 (Resolution No. ZA2021-062), the patio cover will comply with Fire Department standards for covered outdoor areas.
3. The patio cover is 620 square feet which is larger than the approved outdoor dining area to cover the required accessibility ramp. Consistent with Condition of Approval No. 25 of Limited Term Permit No. XP2021-032 (Resolution No. ZA2021-062), the patio cover will not encroach into the existing drive aisle or alley right of way.

Finding:

- D. *Do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The patio cover does not expand the approved temporary outdoor dining area. As approved by the Limited Term Permit No. XP2021-032, the temporary outdoor dining area occupies one parking space and is limited to a maximum of 500 square feet in area. The covered patio serves to provide shade for the restaurant guests.
2. The patio cover is 620 square feet to cover the required accessible ramp to the outdoor dining area. The outdoor dining area and patio cover will occupy no more than one parking space, as approved by the Limited Term Permit.

IV. DETERMINATION

The Community Development Director of the City of Newport Beach hereby finds the proposed addition of the patio cover minor and in substantial conformance with Limited Term Permit No. XP2021-032 pursuant to the Findings and Conditions of the staff approval.

V. CONDITIONS OF APPROVAL

1. All applicable conditions of approval for Limited Term Permit No. XP2021-032 (PA2021-230) shall remain in effect for the temporary outdoor dining area and patio cover.
2. The applicant shall be required to cease all permitted operations and remove any temporary improvements made to the outdoor spaces, including the subject patio cover, at the end of the effective period for the Limited Term Permit No. XP2021-032 for PA2021-230 (December 31, 2022), unless an extension is granted by the Zoning Administrator in compliance with Municipal Code Section 20.52.040.J (Extension of Limited Term Permit).
3. A copy of this staff approval shall be scanned into all sets of the building permit plans.
4. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of The Quiet Woman Patio Cover, including, but not limited to, Staff Approval of PA2022-0150. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Seimone Jurjis, Community Development Director

By:



Melinda Whelan
Assistant Planner

Attachments: CD 1 Vicinity Map
CD 2 Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



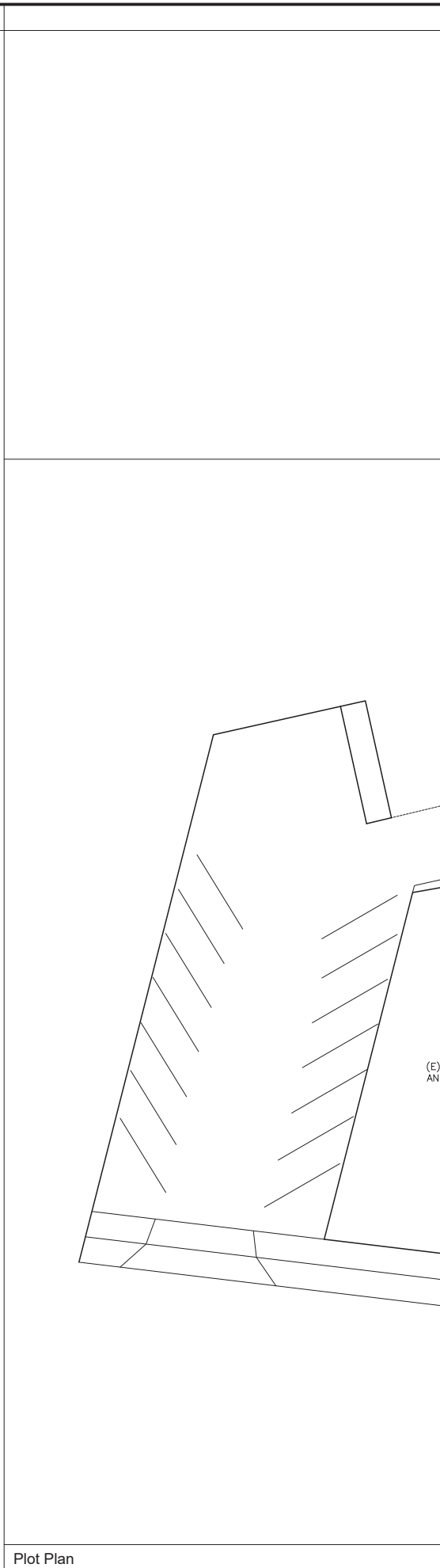
Staff Approval of PA2022-0150

3224 East Coast Highway

Attachment No. CD 2

Plans

Abbreviations and Symbol Legend	
A	ANCHOR BOLT
AB	ASPHALT CONCRETE
AC	AIR CONDITIONING
ACC	ACCESSIBLE
ACS	ACOUSTIC
ACT	ACOUSTIC CEILING TILE
ADA	AMERICANS DISABILITY ACT
ADJ	ADJUSTABLE
ADD	ADDITIONAL
AFT	ABOVE FINISHED FLOOR
AGGR	AGGREGATE
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT (URAL)
ASPH	ASPHALT
B	BOARD
BD	BITUMINOUS
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BTWN	BETWEEN
BUL	BUILT-UP
C	CABINET
CB	CATCH BASIN
CBG	CA BUILDING CODE
CF	CUBIC FEET
CLKG	CAULK(ING)
CLNG	CEILING
CL	CLOSET
CHNL	CHANNEL
CJ	CONTROL JOINT
CLR	CLEAR
COL	COLUMN
COMP	COMPOSITION
CMJ	CONC. MASONRY UNIT
CONT	CONTINUOUS
CONC	CONCRETE
CT	CERAMIC TILE
CTR	COUNTER
CTSK	COUNTERSINK
D	DOUBLE
DBL	DOWN DRAIN
DD	DOWN DRAIN
DF	DRINKING FOUNTAIN
DA	DIAMETER
DIAG	DIAGONAL
DM	DIMENSION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
DWR	DRAWER
E	EXISTING
EA	EAST
E	EACH
EF	EXHAUST FAN
EHD	ELEC HAND DRYER
EJ	EXPANSION JOINT
EIFS	EXTERIOR INSUL FINISH SYSTEM
EL	ELEVATION HEIGHT
ELEC	ELECTRIC(AL)
ELEV	ELEVATION VIEW
ELVR	ELEVATOR
EMER	EMERGENCY
EQ	EQUAL
EQUIP	EQUIPMENT
ESCL	ESCALATOR
E.W.	EACH WAY
EW	ELEC WATER COOLER
EXP	EXPANSION
EXT	EXTERIOR
F	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FE CABINET
FMS	FLATHEAD METAL SCREW
FWS	FLATHEAD WOOD SCREW
FIN	FINISH
FLSHG	FLASHING
FLR	FLOOR
FLUOR	FLUORESCENT
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
FRP	FIRE PROOF
FRPF	FIBERGLASS REINFORCED PANEL
FTG	FOOTING
FT	FOOT / FEET
FURR	FURRING
FWY	FREEWAY
G	GALVE
GA	GALV
GALV	GALVANIZED
G.B.	GRAB BAR
GL	GLASS
GLB	GLUE LAMINATED BEAM
GRD	GRADE
GYP	GYPSPUM
GWB	GYPSPUM WALL BOARD
H	HOSE BIB
HDWD	HARDWOOD
HC	HOLLOW CORE
HDIR	HARDWARE
HM	HOLLOW METAL
HOR	HORIZONTAL
HSB	HIGH STRENGTH BOLT
HT	HEIGHT
HVAC	HEATING, VENTILATION, AC
HWY	HIGHWAY
I	INTERIOR DESIGN
ID.	INSIDE DIAMETER
IDEN	IDENTITY
INT	INTERIOR
INSUL	INSULATION
J	JANITOR
JS	JOIST
K	KNOCK-DOWN METAL FRAME
KDMF	KNOCK-DOWN METAL FRAME
L	LAMINATE(D)
LAM	LAMINATE(D)
LAV	LAVATORY
M	MATERIAL
MAT	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MECH	MECHANICAL
MED	MEDIUM
MEP	MECH, ELEC, PLUMBING
MID	MIDDLE
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MM	MILLIMETER
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MUL	MULLION
N	NUMBER
NO.	NUMBER
(N)	NEW
N	NORTH
NFV	NET FREE VENTING
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
O	OVERALL
OA	ON CENTER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OJ	OVER
P	POURED-IN-PLACE
P.P.C.	POURED-IN-PLACE
PR	PAIR
PERF	PERFORATED
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYW	PLYWOOD
PMF	PRESSED METAL FRAME
P.T.	PRESSURE TREATED
Q	QUARTER
QTR	QUARTER
QTY	QUANTITY
R	RENOVATED
(R)	RENOVATED
R	RADIUS
RD	ROOF DRAIN
RO	ROUGH OPENING
RM	ROOM
REF	REFERENCE
REFG	REFRIGERATOR
REQ'D	REQUIRED
RHW	ROUND HEAD WOOD SCREW
R.O.W.	RIGHT OF WAY
S	SOUTH
SC	SOLID CORE
SCHD	SCHEDULE
SF	SQUARE FEET
SI	SQUARE INCHES
SHT	SHEET
SHTG	SHEATHING
SM	SIMILAR
SO	SQUARE
SMS	SHEET METAL SCREW
SS	STAINLESS STEEL
STAG	STAGGERED
STD	STANDARD
STL	STEEL
STOR	STORAGE
SUSP	SUSPEND(ED)
SYM	SYMMETRICAL
T	TOP AND BOTTOM
TAB	TONGUE AND GROOVE
T&G	TONGUE AND GROOVE
TEMP	TEMPORARY
THK	THICK
T.P.	TUBE STEEL
TYP	TYPICAL
(T)	TEMPERED GLAZING
U	UNLESS NOTED OTHERWISE
U.N.O.	UNLESS NOTED OTHERWISE
UR	URINAL
V	VENDOR BARRIER
VB	VENDOR BARRIER
VAR	VARIABLE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
V.R.	VENT THRU ROOF
W	WEST
W	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WP	WATER PROOF
Y	YEAR
YR	YEAR



Description of Work

- 620 SF DECK WITH OVERHEAD CANOPY TO REAR OF PROPERTY/EXISTING RESTAURANT

Project Contacts

Owner
 LYNNE CAMPBELL
 3224 PACIFIC COAST HWY
 CORONA DEL MAR, CA 92625
 PH: 949-903-2111

Architect
 OLDHAM ARCHITECTS
 680 LANGSDORF DRIVE #202B
 FULLERTON, CALIFORNIA 92831
 PH: 714-482-8296
 CONTACT: RYAN OLDHAM

Governing Agencies
 CITY OF NEWPORT BEACH
 100 CIVIC CENTER DRIVE
 NEWPORT BEACH, CA 92660
 PH: 949-718-1888 (BLDG)
 949-644-3200 (PLANNING)
 949-644-3106 (FIRE)
 949-644-3311 (PUBLIC WORKS)

Structural Engineer
 AQX ENGINEERING
 1520 BROOKHOLLAND DR. #45
 SANTA ANA, CA 92705
 PH: 714-662-0510
 CONTACT: CHUNG XIAO

Architect's Notes to Contractor / Owner

- THESE PLANS REPRESENT A FINAL BUILD-OUT DESIGN. ALL EXISTING BUILDING CONDITIONS MAY NOT BE REPRESENTED IN THESE PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF PROPERTY AND STRUCTURES PRIOR TO BIDDING AND COMMENCING WORK.
- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING & ZONING CODES EVEN IF NOT EXPLICITLY CALLED-OUT IN THIS PLAN SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW ALL THE GOVERNING CODES RELATED TO CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL REVIEW ALL SHEETS OF THIS PLAN SET TO GAIN A FULL UNDERSTANDING OF THE PROJECT. NOT ALL INFORMATION WITHIN THIS PLAN SET IS GRAPHICAL. CONTRACTOR SHALL REVIEW ALL NOTES, SPECIFICATIONS, FORMS, AND CALCULATIONS WITHIN THE PLAN SET AND PROCEED ACCORDINGLY IN COMPLIANCE WITH THE PLANS.
- CONTRACTOR SHALL VERIFY ALL INFORMATION IN THIS PLAN SET FOR ACCURACY AND SHALL ALERT THE ARCHITECT OF ANY CONFUSION, DISCREPANCIES, ERRORS, OR OMISSIONS. CONTRACTOR SHALL SEEK ARCHITECT'S INSTRUCTION PRIOR TO COMMENCING WORK AT KNOWN AREAS OF CONFUSION, DISCREPANCY, ERROR, OR OMISSION.
- NO DIMENSION SHALL BE SCALED OFF THE PLANS. CONTRACTOR SHALL VERIFY ANY MISSING DIMENSIONS WITH ARCHITECT PRIOR TO CONTINUING WORK. DIMENSIONS FOR EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO WORK. DIMENSIONS SHALL GOVERN OVER GRAPHICAL INFORMATION.
- THE CONTRACTOR SHALL CONFIRM ALL SPECIFICATIONS WITH THE OWNER PRIOR TO PURCHASE OF ALL MANUFACTURED/FABRICATED MATERIALS, FIXTURES AND EQUIPMENT SUCH AS BUT NOT LIMITED TO WINDOWS, DOORS, EXTERIOR FINISH, ROOF FINISH MATERIAL, INTERIOR FINISHES, FINISH CARPENTRY, PLUMBING FIXTURES, HVAC EQUIPMENT, FINISH ELECTRICAL, ETC. ARCHITECT SHALL NOT BE RESPONSIBLE FOR MIS-SPECIFIED ITEMS ON PLAN IF CONTRACTOR AND OWNER DID NOT CONFIRM THE SPECIFICATION OF SUCH ITEMS PRIOR TO PURCHASE. IF THERE IS A DISCREPANCY BETWEEN THE SPECIFICATION AND THE OWNER'S WISHES THE ARCHITECT SHALL BE NOTIFIED.

Sheet Index

ARCHITECTURE

A0.0 PROJECT INFORMATION / PLOT PLAN
 A2.0 FLOOR PLAN
 A2.1 DECK FRAMING PLAN / ROOF PLAN
 A2.2 ENLARGED RESTROOM PLAN / ACCESSIBLE CODE DETAILS
 A4.0 BUILDING SECTIONS / CONSTRUCTION DETAILS

STRUCTURAL

SN-1 STRUCTURAL NOTES
 S-1 FOUNDATION PLAN / FRAMING PLAN / DETAILS

Zoning & Code Information

PROPERTY ADDRESS: 3224 PACIFIC COAST HWY
 CORONA DEL MAR, CA 92625

ASSESSOR'S PARCEL NO: 459-195-16

TRACT NO: -

ZONE: CC- COMMERCIAL CORRIDOR

TOTAL SITE AREA: -

REQUIRED SETBACKS: FRONT YARD = N/A
 SIDE YARD = N/A
 REAR YARD = N/A

MAX ALLOWABLE HEIGHT: N/A

ALLOWABLE STORIES: N/A

PARKING SPACES REQUIRED: N/A

C.B.C. CHAPTER 6 CONSTRUCTION TYPE: V-B

FIRE SPRINKLERS: NO

C.B.C. CHAPTER 3 OCCUPANCY GROUP: A-2

APPLICABLE CODES: CITY OF NEWPORT BEACH MUNICIPAL CODE
 2019 CALIFORNIA BUILDING CODE (C.B.C.)
 2019 CALIFORNIA RESIDENTIAL BUILDING CODE (C.R.C.)
 2019 CALIFORNIA MECHANICAL CODE (C.M.C.)
 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.)
 2019 CALIFORNIA PLUMBING CODE (C.P.C.)
 2019 CALIFORNIA FIRE CODE (C.F.C.)
 2019 CALIFORNIA GREEN BUILDING CODES
 2019 CALIFORNIA ENERGY CODE

Vicinity Map

oldham architects

oldham architects
 680 Langsdorf Drive, Suite 202B
 Fullerton, California 92831
 714.482.8296 | oldham-architects.com

REGISTERED ARCHITECT
 RYAN OLDHAM
 No. C-29715
 4-30-23
 STATE OF CALIFORNIA

© COPYRIGHT: Oldham Architects expressly reserves all rights to these plans by common copyright privileges. These plans may not be reproduced, changed, or copied in any manner or turned over to a third party without the expressed written consent of Ryan E. Oldham.

**New Covered Patio To
 The Quiet Woman**

3224 Pacific Coast Highway, Corona Del Mar, California 92625

PROJECT No.: 22026
 DRAWN: CG
 CHECK: RO

ISSUE:

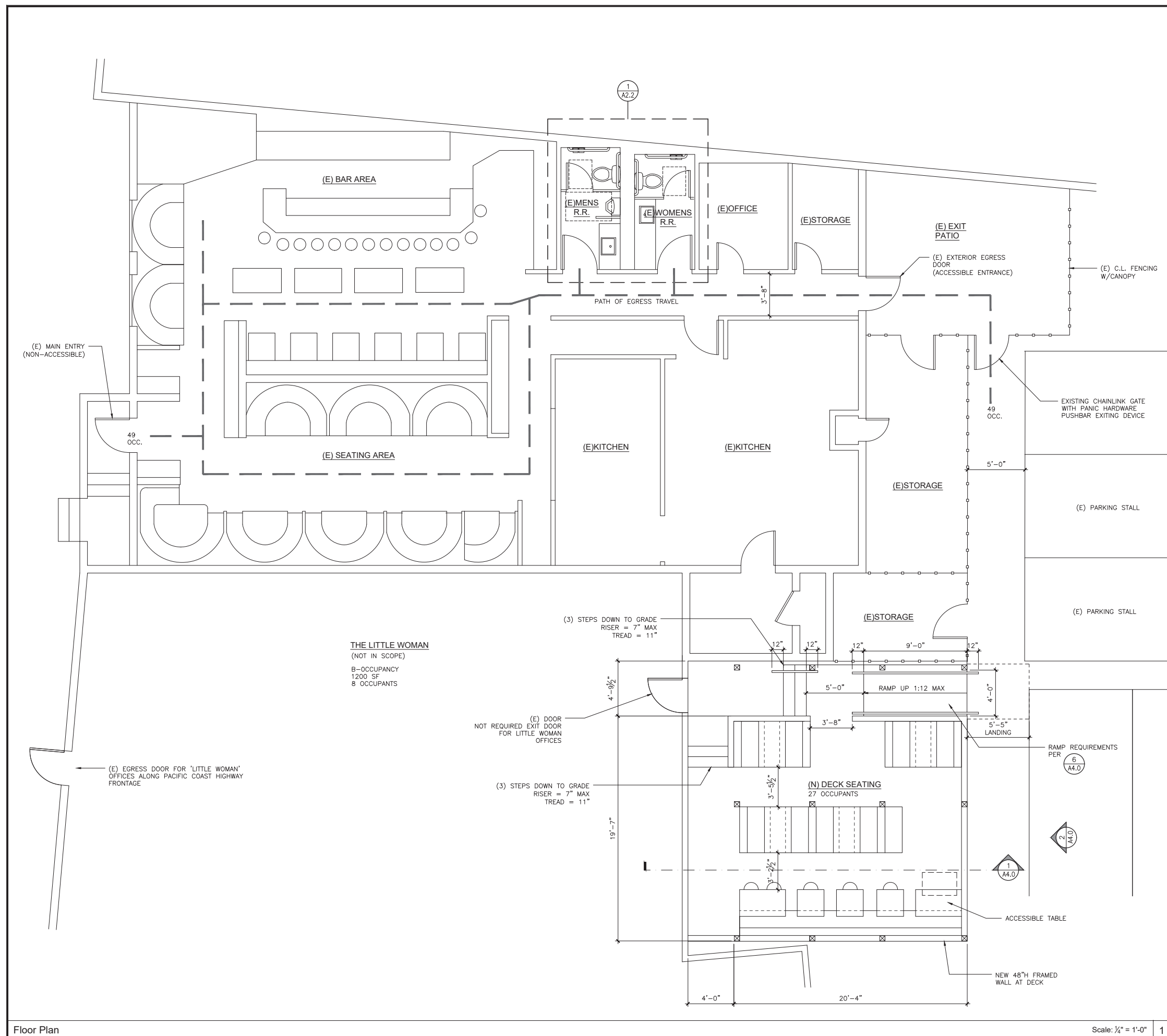
- 06.06.22 BLDG SUBMITTAL #1
- 07.12.22 BLDG SUBMITTAL #2

A0.0

Project Information
 Plot Plan

The Quiet Woman

Scale: 1" = 10'-0" 1



Egress Occupancy

EXISTING INTERIOR PATRON AREA (BAR & SEATING) = 1,384 SF
 OCCUPANCY FACTOR = FIXED SEATING PER 1004.6
 98 OCCUPANTS

NEW EXTERIOR FIXED DECK SEATING = 27 OCCUPANTS

PROJECT No.: 22026
 DRAWN: CG
 CHECK: RO
 ISSUE:
 ▲ 06.06.22 BLDG SUBMITTAL #1
 ▲ 07.12.22 BLDG SUBMITTAL #2
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲

A2.0

Floor Plan

The Quiet Woman

Scale: 1/4" = 1'-0" 1

oldham
architects

oldham architects
 680 Langsdorf Drive, Suite 2028
 Fullerton, California 92831
 714.482.8296 | oldham-architects.com

REGISTERED ARCHITECT
 RYAN OLDHAM
 No. C-29715
 4-30-23
 STATE OF CALIFORNIA

© COPYRIGHT: Oldham Architects expressly reserves all rights to these plans by common copyright privileges. These plans may not be reproduced, changed, or copied in any manner or turned over to a third party without the expressed written consent of Ryan E. Oldham.

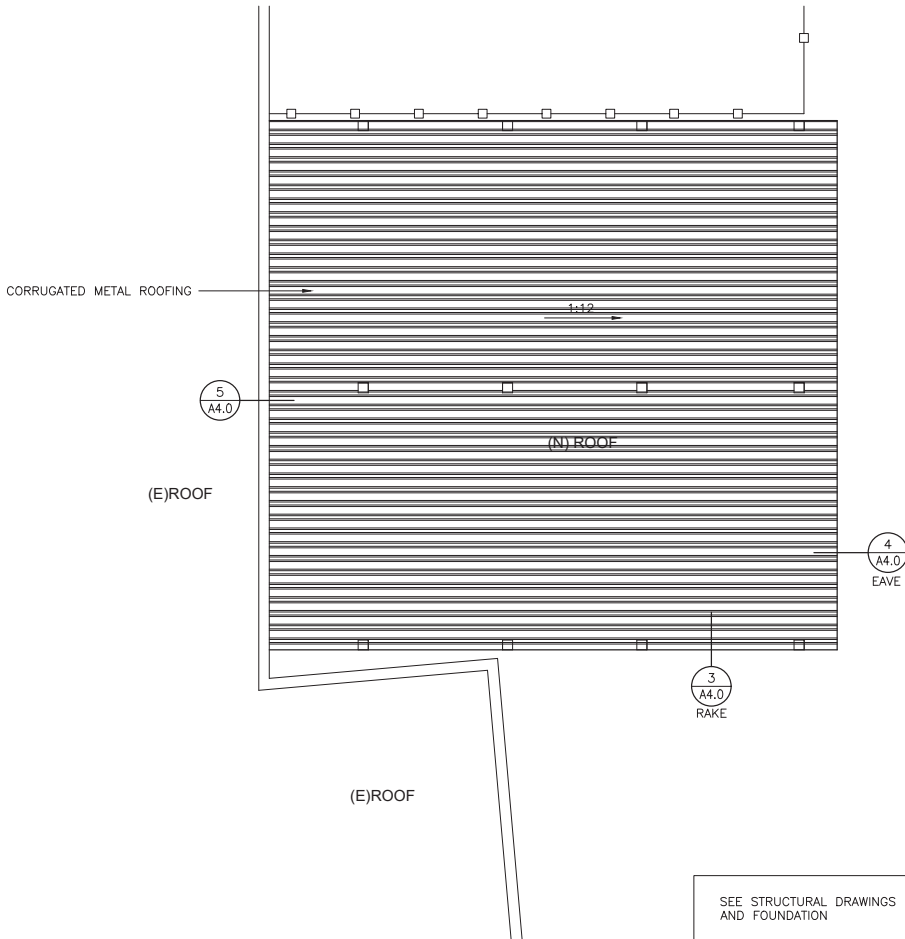
New Covered Patio To
The Quiet Woman
 3224 Pacific Coast Highway, Corona Del Mar, California 92625

PROJECT No.: 22026
 DRAWN: CG
 CHECK: RO
 ISSUE:
 ▲ 06.06.22 BLDG SUBMITTAL #1
 ▲ 07.12.22 BLDG SUBMITTAL #2
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲

A2.0

Floor Plan

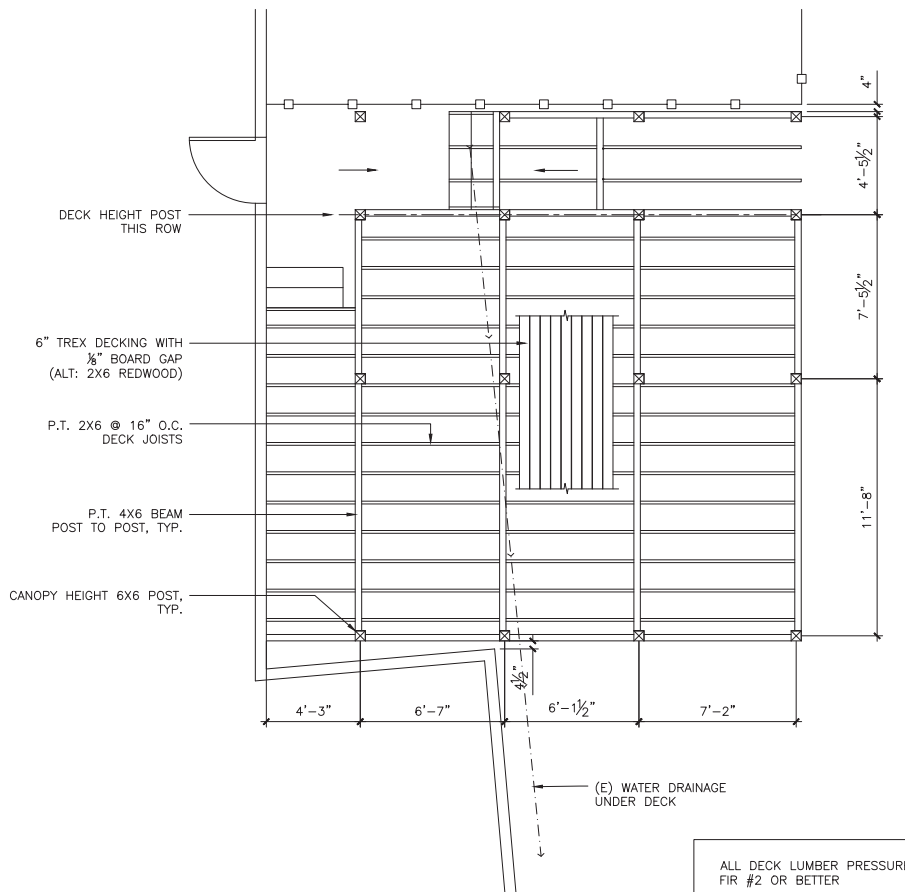
The Quiet Woman



Roof Plan

Scale: 1/4" = 1'-0"

2



Deck Framing Plan

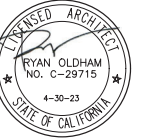
Scale: 1/4" = 1'-0"

1

Keynotes

oldham architects

oldham architects
680 Langsdorf Drive, Suite 202B
Fullerton, California 92831
714.482.8296 | oldham-architects.com



© COPYRIGHT: Oldham Architects expressly reserves all rights to these plans by common copyright privileges. These plans may not be reproduced, changed, or copied in any manner or turned over to a third party without the expressed written consent of Ryan E. Oldham.

New Covered Patio To
The Quiet Woman

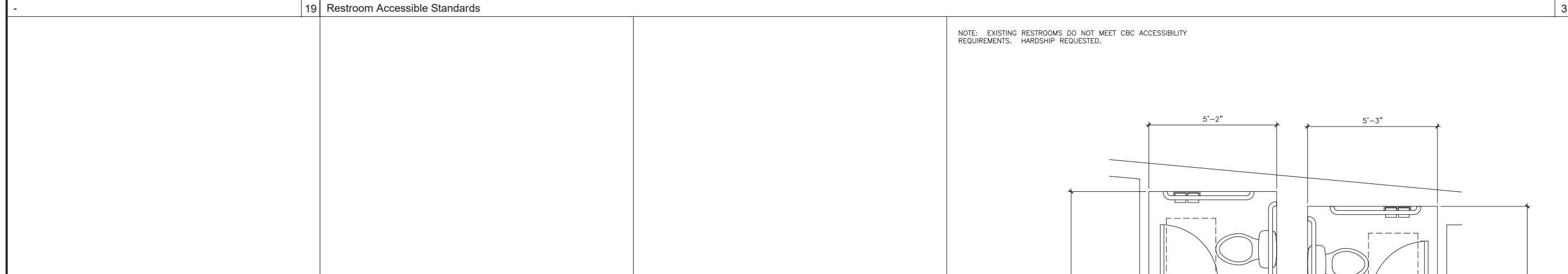
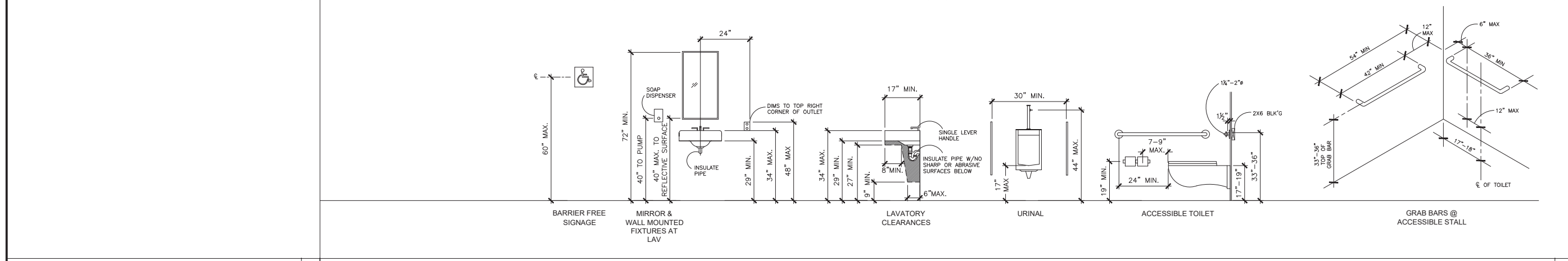
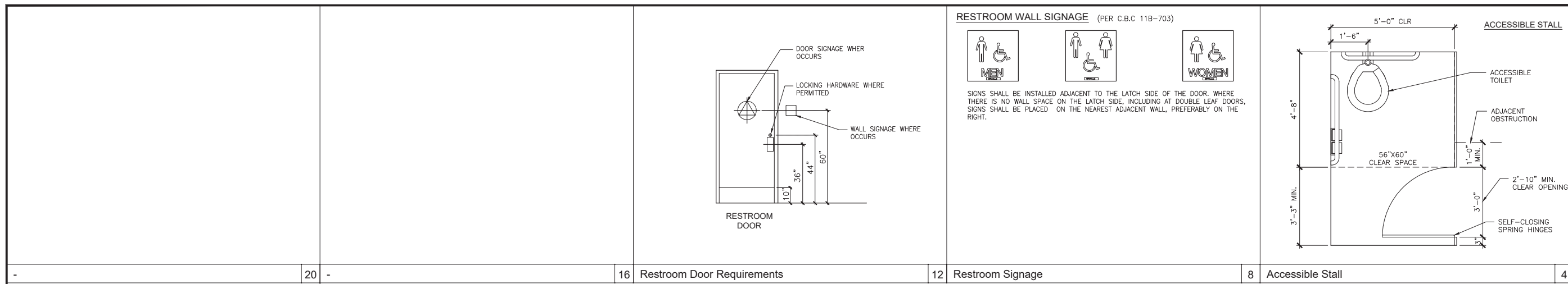
3224 Pacific Coast Highway, Corona Del Mar, California 92625

PROJECT No.:	22026
DRAWN:	CG
CHECK:	RO
ISSUE:	
△	06.06.22 BLDG SUBMITTAL #1
△	07.12.22 BLDG SUBMITTAL #2
△	
△	
△	
△	
△	
△	
△	
△	

A2.1

Demo Plan
New Floor Plan

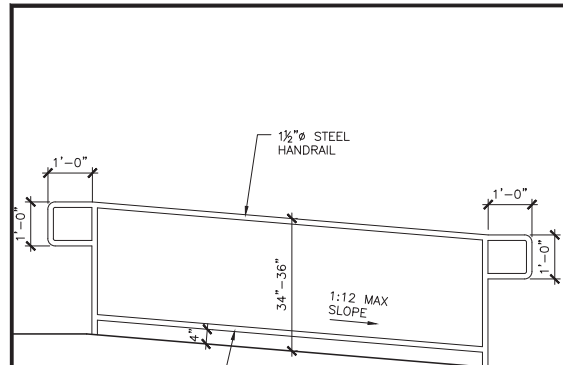
The Quiet Woman



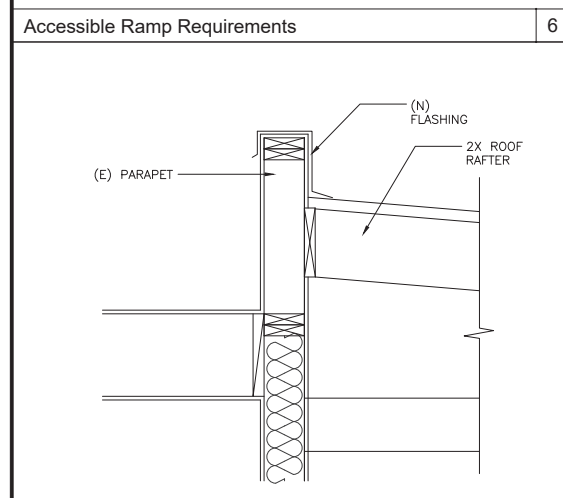
© COPYRIGHT: Oldham Architects expressly reserves all rights to these plans by common copyright privileges. These plans may not be reproduced, changed, or copied in any manner or turned over to a third party without the expressed written consent of Ryan E. Oldham.

New Covered Patio To
The Quiet Woman
 3224 Pacific Coast Highway, Corona Del Mar, California 92625

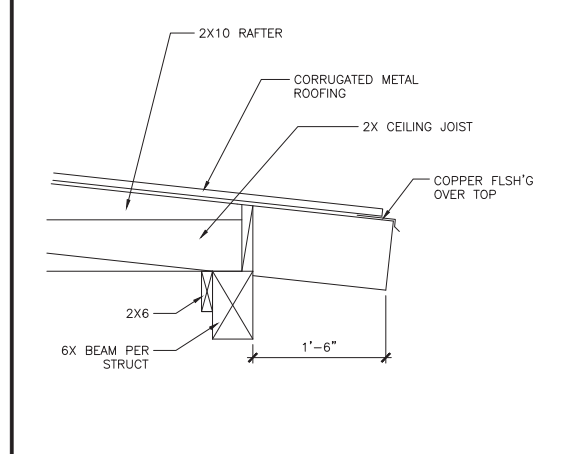
PROJECT No.:	22026
DRAWN:	CG
CHECK:	RO
ISSUE:	
▲	06.06.22 BLDG SUBMITTAL #1
▲	07.12.22 BLDG SUBMITTAL #2
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	



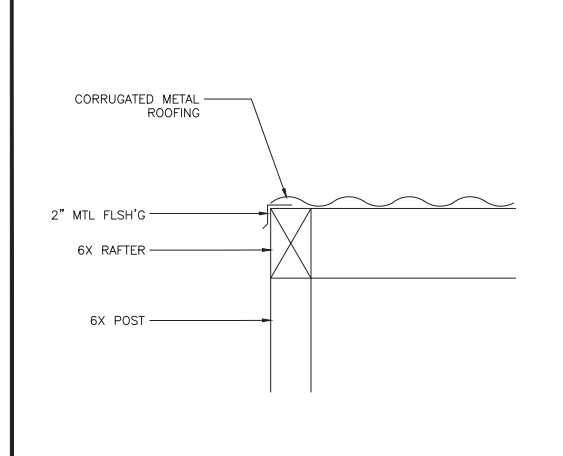
Accessible Ramp Requirements 6



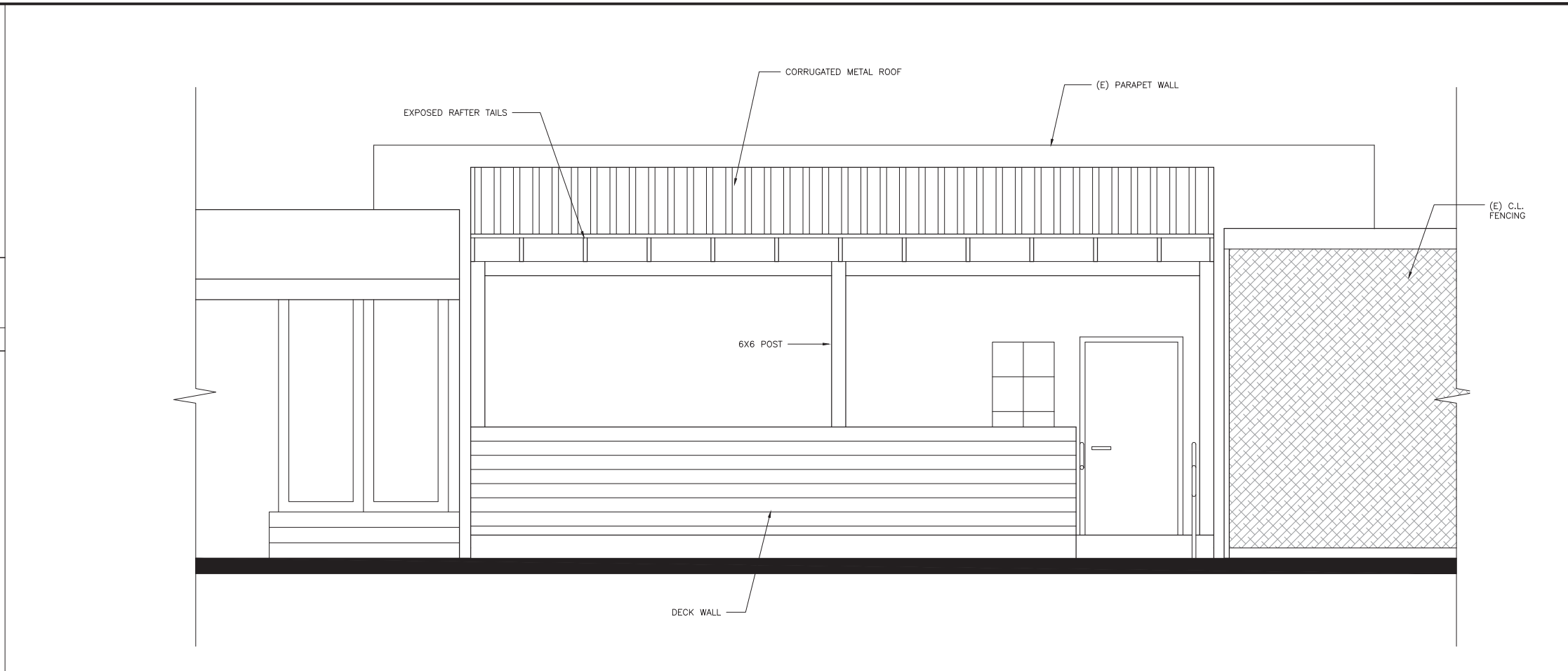
Canopy to Parapet Scale: NTS 5



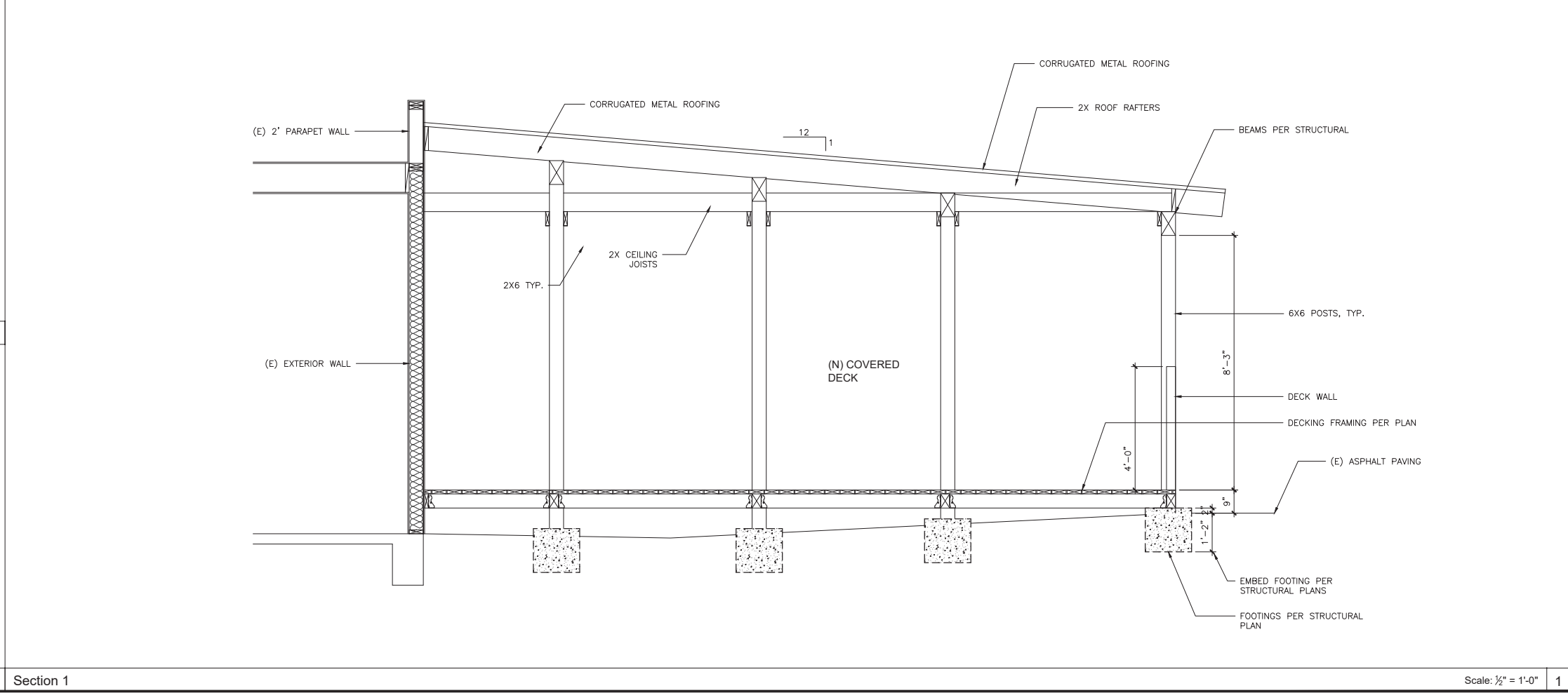
Eave Canopy Scale: NTS 4



Rake Canopy Scale: NTS 3



Elevation Scale: 1/2" = 1'-0" 2



Section 1 Scale: 1/2" = 1'-0" 1



© COPYRIGHT: Oldham Architects expressly reserves all rights to these plans by common copyright privileges. These plans may not be reproduced, changed, or copied in any manner or turned over to a third party without the expressed written consent of Ryan E. Oldham.

New Covered Patio To
The Quiet Woman
3224 Pacific Coast Highway, Corona Del Mar, California 92625

PROJECT No.:	22026
DRAWN:	CG
CHECK:	RO
ISSUE:	
△	06.06.22 BLDG SUBMITTAL #1
△	07.12.22 BLDG SUBMITTAL #2
△	
△	
△	
△	
△	
△	
△	
△	

A4.0